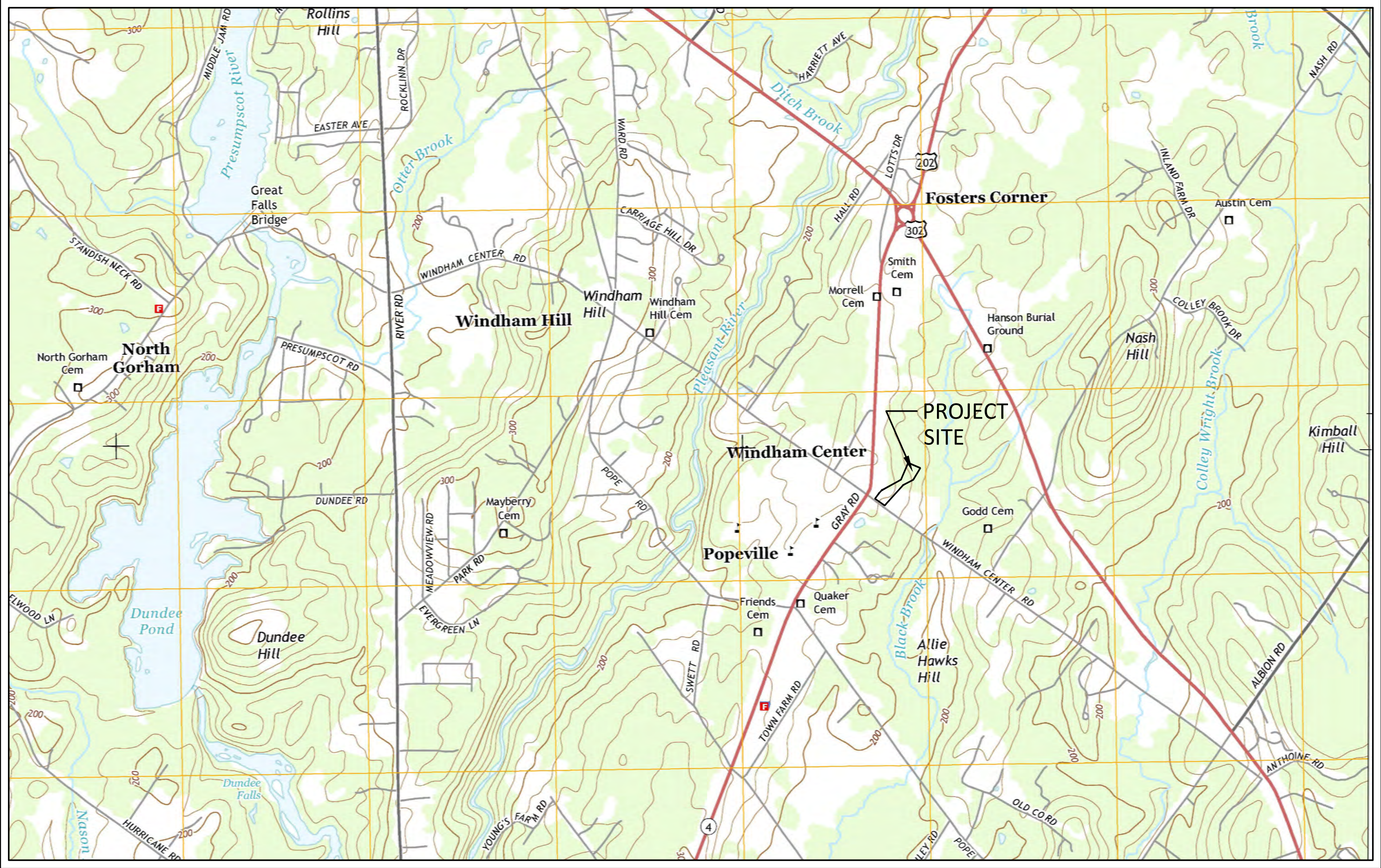


250 WINDHAM CENTER ROAD

250 WINDHAM CENTER ROAD
WINDHAM, MAINE

CONSULTANTS	
CIVIL ENGINEER	DM ROMA CONSULTING ENGINEERS
LAND SURVEYOR	SURVEY INC.
SITE EVALUATOR	MAINELY SOILS, LLC.



PROJECT VICINITY MAP

ISSUED FOR MAJOR SUBDIVISION REVIEW - NOT FOR CONSTRUCTION
SEPTEMBER 2, 2025

PREPARED BY:

DM ROMA

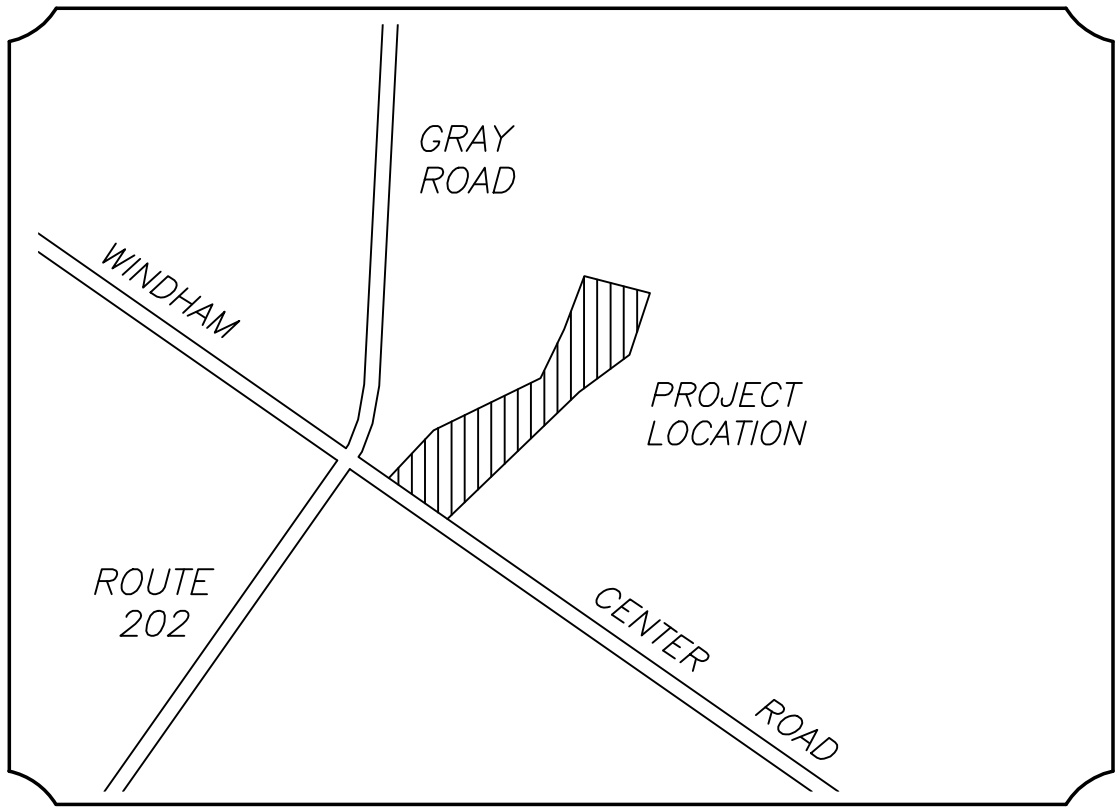
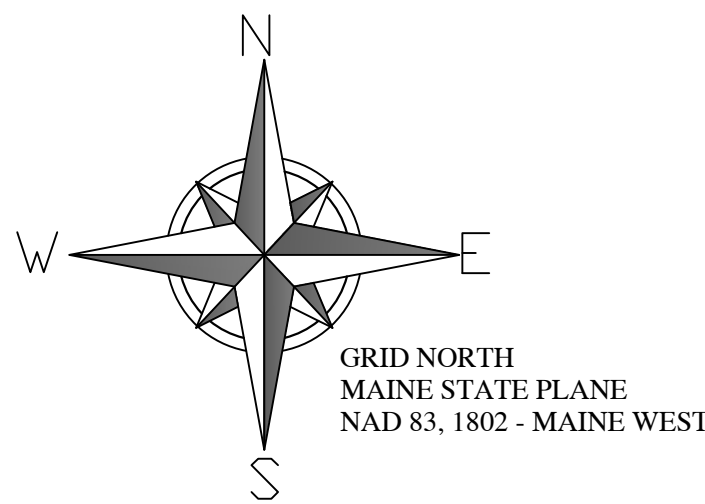
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

APPLICANT:
CASCO BAY HOLDINGS, LLC
PO BOX 275
CUMBERLAND, ME 04021

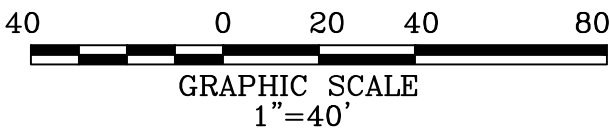
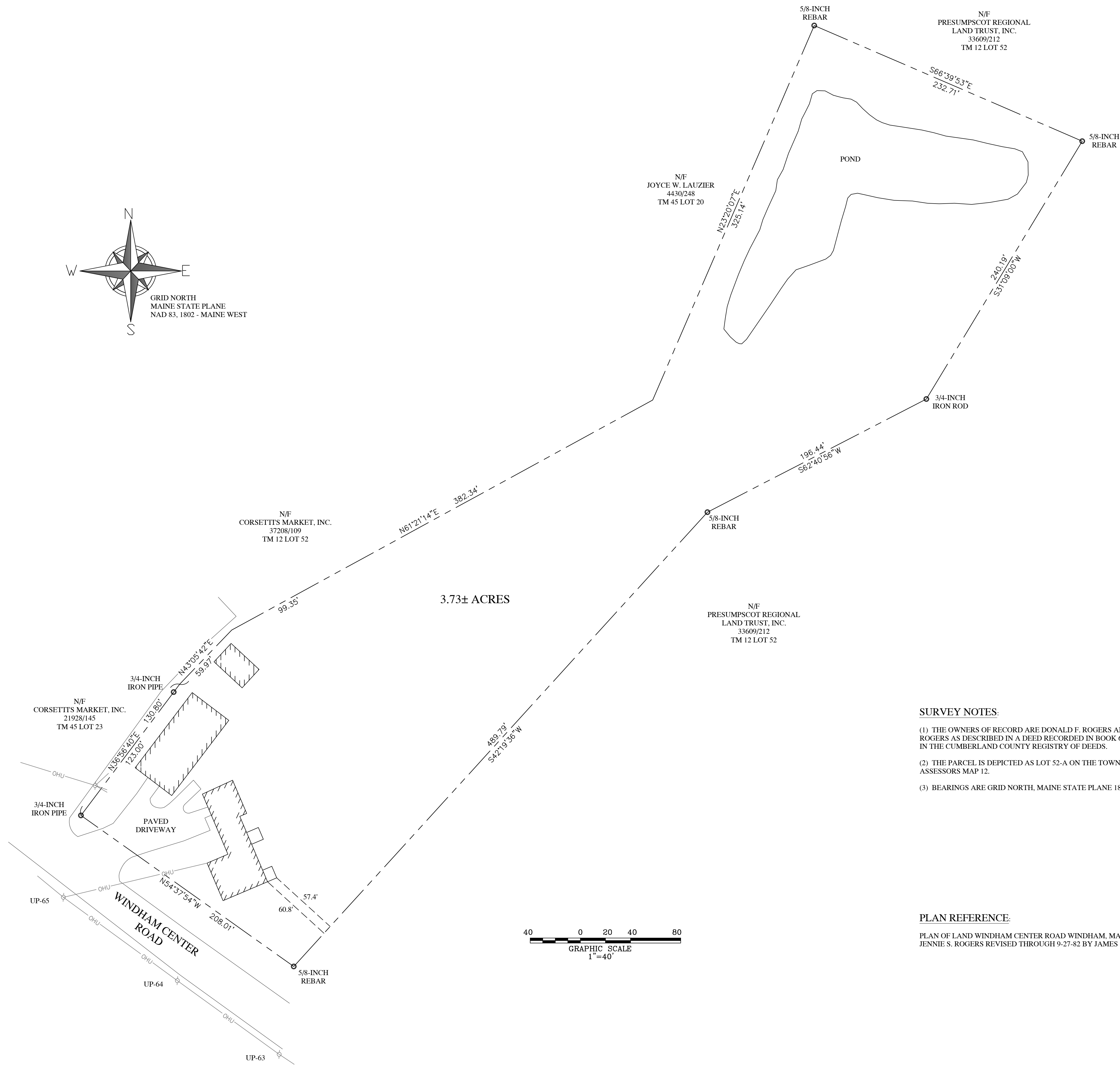
250 WINDHAM CENTER ROAD

DRAWING SHEET INDEX

PAGE NO.	DESCRIPTION
1	TITLE SHEET
2	BOUNDARY SURVEY
3	SUBDIVISION PLAN
4	SITE & LANDSCAPING PLAN
5	GRADING & UTILITY PLAN
6	PLAN & PROFILE
7	DETAIL SHEET
8	DETAIL SHEET



LOCATION MAP
(NOT TO SCALE)



CERTIFICATION:

I CERTIFY THAT THIS SURVEY CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

WILLIAM C. SHIPPEN P.L.S. 2118

SURVEY NOTES:

- (1) THE OWNERS OF RECORD ARE DONALD F. ROGERS AND NORMA K. ROGERS AS DESCRIBED IN A DEED RECORDED IN BOOK 6160 PAGE 245 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- (2) THE PARCEL IS DEPICTED AS LOT 52-A ON THE TOWN OF WINDHAM ASSESSORS MAP 12.
- (3) BEARINGS ARE GRID NORTH, MAINE STATE PLANE 1802 WEST ZONE.

PLAN REFERENCE:

PLAN OF LAND WINDHAM CENTER ROAD WINDHAM, MAINE FOR JENNIE S. ROGERS REVISED THROUGH 9-27-82 BY JAMES C. LAUZIER.

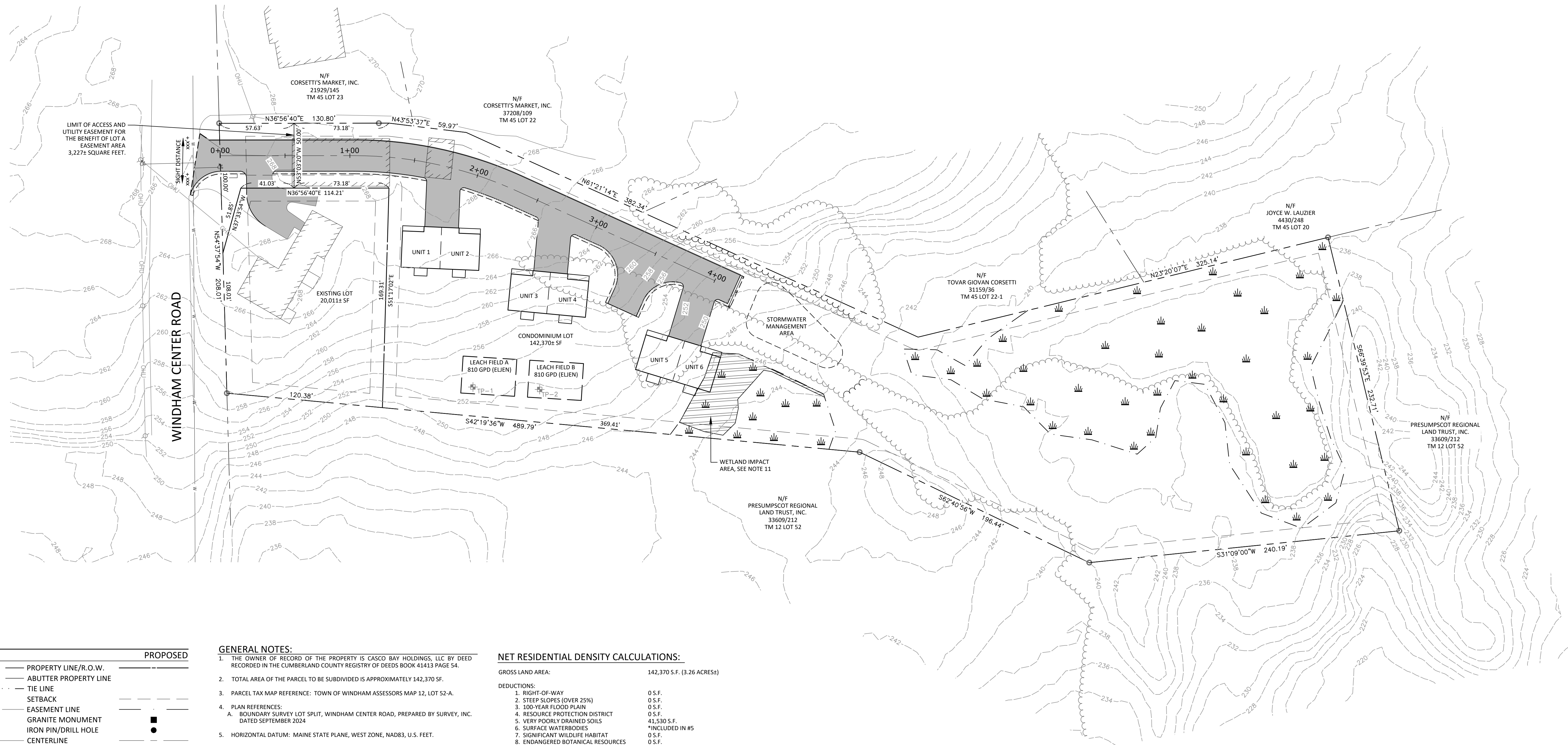
BOUNDARY SURVEY
WINDHAM CENTER ROAD
WINDHAM, MAINE

FOR: **DM ROMA CONSULTING ENGINEERS**
WINDHAM, MAINE

SURVEY BY: **SURVEY, INC.**
P.O. BOX 210
WINDHAM, ME 04062
(207) 892-2556
INFO@SURVEYINCORPORATED.COM

DWN: WCS
DATE: SEPTEMBER 2024

CHK: DRR
JOB NO. 24-192



GENERAL NOTES:

1. THE OWNER OF RECORD OF THE PROPERTY IS CASCO BAY HOLDINGS, LLC BY DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 41413 PAGE 54.
2. TOTAL AREA OF THE PARCEL TO BE SUBDIVIDED IS APPROXIMATELY 142,370 SF.
3. PARCEL TAX MAP REFERENCE: TOWN OF WINDHAM ASSESSORS MAP 12, LOT 52-A.
4. PLAN REFERENCES:
 - A. BOUNDARY SURVEY LOT SPLIT, WINDHAM CENTER ROAD, PREPARED BY SURVEY, INC., DATED SEPTEMBER 2004.
5. HORIZONTAL DATUM: MAINE STATE PLANE, WEST ZONE, NAD83, U.S. FEET.
6. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
7. BOUNDARY SHOWN HEREON IS BASED ON PLAN REFERENCE 4A.
8. TOPOGRAPHIC CONTOURS SHOWN HEREON ARE BASED ON 2-FOOT LIDAR OBTAINED FROM THE MAINE OFFICE OF GIS.
9. THE PROPERTY IS LOCATED IN THE WINDHAM CENTER DISTRICT WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS FOR LOTS CONNECTED TO PUBLIC WATER:

MIN LOT SIZE:	20,000 SF
MIN STREET FRONTAGE:	100 FT
MIN FRONT YARD:	20 FT
MIN SIDE/REAR YARD:	10 FT
MAX BUILDING COVERAGE:	50%
10. WETLAND DELINEATION PERFORMED BY ALEX FINAMORE WITH MAINELY SOILS LLC IN JUNE 2025.
11. THE DEVELOPMENT OF THIS PROJECT REQUIRES IMPACT TO 2,360 SF OF FORESTED WETLANDS.
12. ANY TREE CLEARING BEYOND THE LIMITS OF TREE CLEARING SHOWN ON THIS PLAN SHALL NOT BE PERMITTED FOR A PERIOD OF 5 YEARS FOLLOWING THE PLANNING BOARD APPROVAL DATE PRINTED ON THIS PLAN, UNLESS AN AMENDMENT IS APPROVED BY THE PLANNING BOARD.
13. ALL ROADS IN THE SUBDIVISION SHALL REMAIN PRIVATE ROADS TO BE MAINTAINED BY THE DEVELOPER, LOT OWNERS OR ROAD ASSOCIATION, AND SHALL NOT BE OFFERED FOR ACCEPTANCE, OR MAINTAINED, BY THE TOWN OF WINDHAM UNTIL THE ROAD MEETS ALL MUNICIPAL STREET DESIGN AND CONSTRUCTION STANDARDS APPLICABLE TO PUBLIC STREETS.

GROSS LAND AREA:	142,370 S.F. (3.26 ACRES)
DEDUCTIONS:	
1. RIGHT-OF-WAY	0 S.F.
2. STEEP SLOPES (OVER 25%)	0 S.F.
3. 100-YEAR FLOOD PLAIN	0 S.F.
4. RESOURCE PROTECTION DISTRICT	0 S.F.
5. VERY POORLY DRAINDED SOILS	41,530 S.F.
6. SURFACE WATERBODIES	"INCLUDED IN #5"
7. SIGNIFICANT WILDLIFE HABITAT	0 S.F.
8. ENDANGERED BOTANICAL RESOURCES	0 S.F.
TOTAL NET AREA:	
REQUIRED NET AREA PER DWELLING:	100,840 S.F.
MAXIMUM ALLOWABLE LOTS/DWELLINGS:	15,000 S.F.
NUMBER OF LOTS/DWELLINGS PRODUCED:	6.72



STATE OF MAINE	
_____ COUNTY SS. REGISTRY OF DEEDS	
RECEIVED _____,	20_____
AT _____h _____m _____M AND RECORDED IN	
PLAN BOOK _____	PAGE _____
ATTEST: _____	REGISTER



REV	DATE	BY	DESCRIPTION
A	9-2-25	DMR	ISSUED FOR PERMIT REVIEW

PO BOX 275
CLIMBERLAND ME 04021

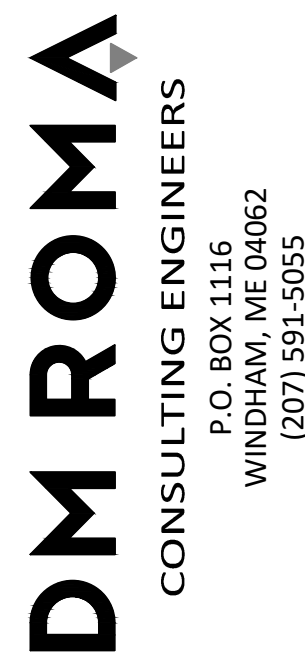
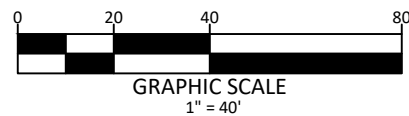
SB-1



PLANTING NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS.
5. ALL PLANTING BEDS ARE TO REMAIN FREE OF WEEDS DURING THE 1 YEAR GUARANTEE PERIOD.
6. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR HIS DESIGNATED DESIGN PROFESSIONAL PRIOR TO AND AFTER PLANTING.
7. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER OR HIS DESIGNATED DESIGN PROFESSIONAL.
8. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE OWNER OR HIS DESIGNATED DESIGN PROFESSIONAL. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
9. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF PLANTS, REPLACEMENT OF NEW OR DEAD PLANTS, RESETTLE PLANTS TO PROPER GRADE OR UPRIGHT (FLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.

ABBREVIATIONS
 REV. = REVISION
 QTY. = QUANTITY
 HT. = HEIGHT
 B&B = BALL AND BURLAP
 GAL. = GALLON
 CAL. = CALIPER



SITE & LANDSCAPING PLAN

250 WINDHAM CENTER ROAD
250 WINDHAM CENTER ROAD
WINDHAM, MAINE

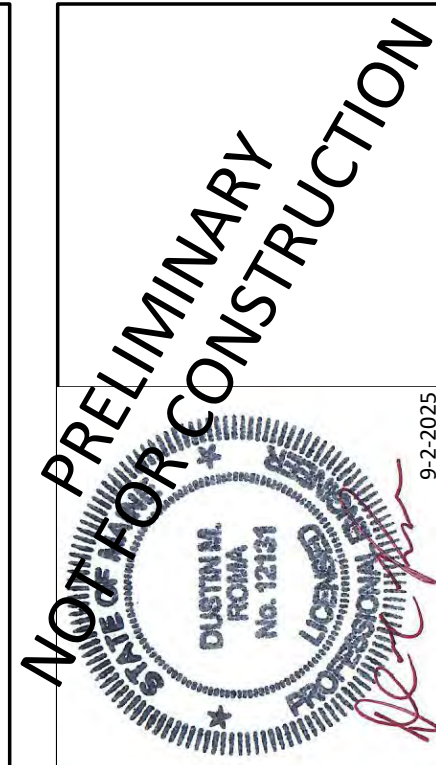
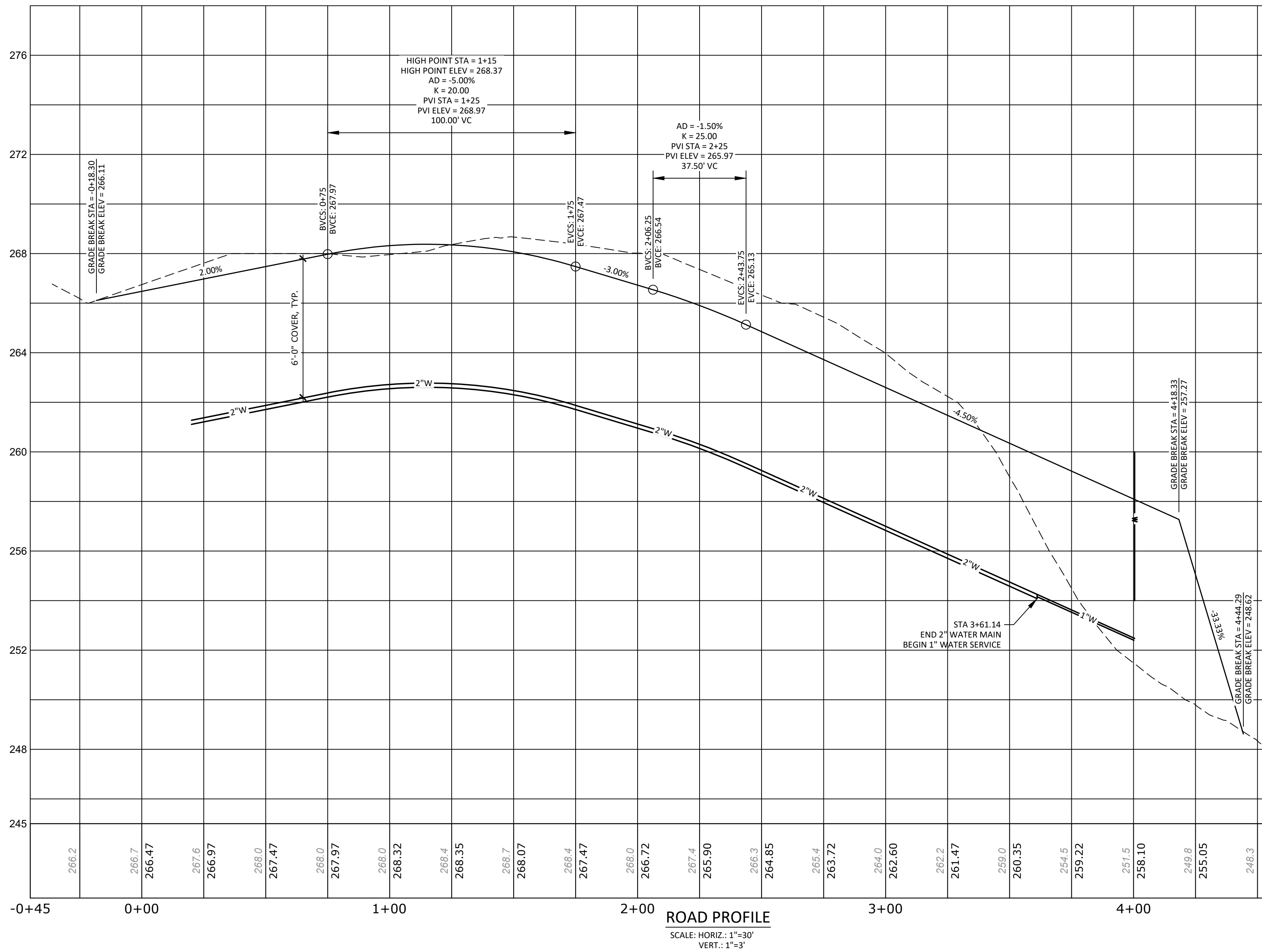
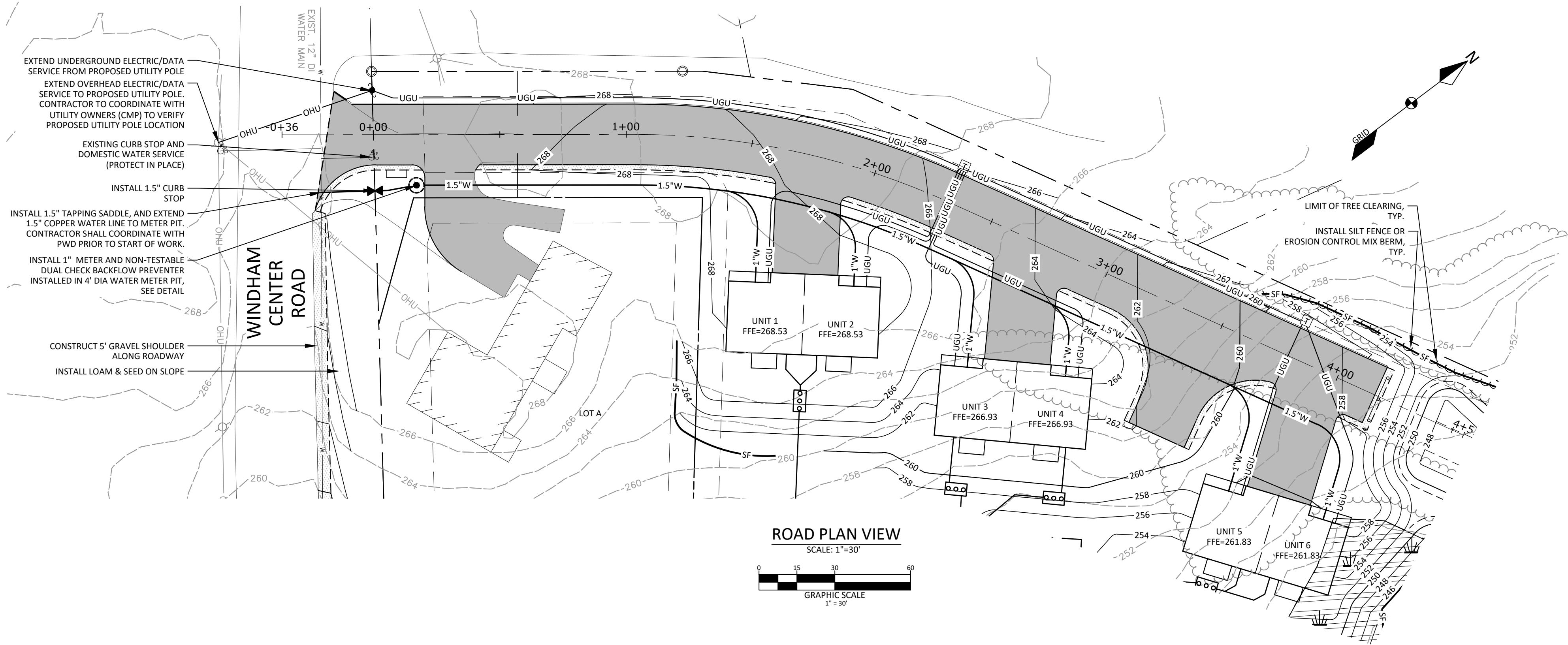
FOR:

CASCO BAY HOLDINGS, LLC
PO BOX 275
CUMBERLAND, ME 04021

24035 JOB NUMBER:
1" = 40' SCALE:
9-2-2025 DATE:
SHEET 4 OF 8
S-1

LEGEND

EXISTING	PROPOSED



DM ROMA
CONSULTING ENGINEERS

P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

REV	DATE	BY	DESCRIPTION
A	9-2-25	DMR	ISSUED FOR PERMIT REVIEW

ROADWAY PLAN & PROFILE

250 WINDHAM CENTER ROAD

250 WINDHAM CENTER ROAD
WINDHAM, MAINE

FOR: CASCO BAY HOLDINGS, LLC

PO BOX 275
CUMBERLAND, ME 04021

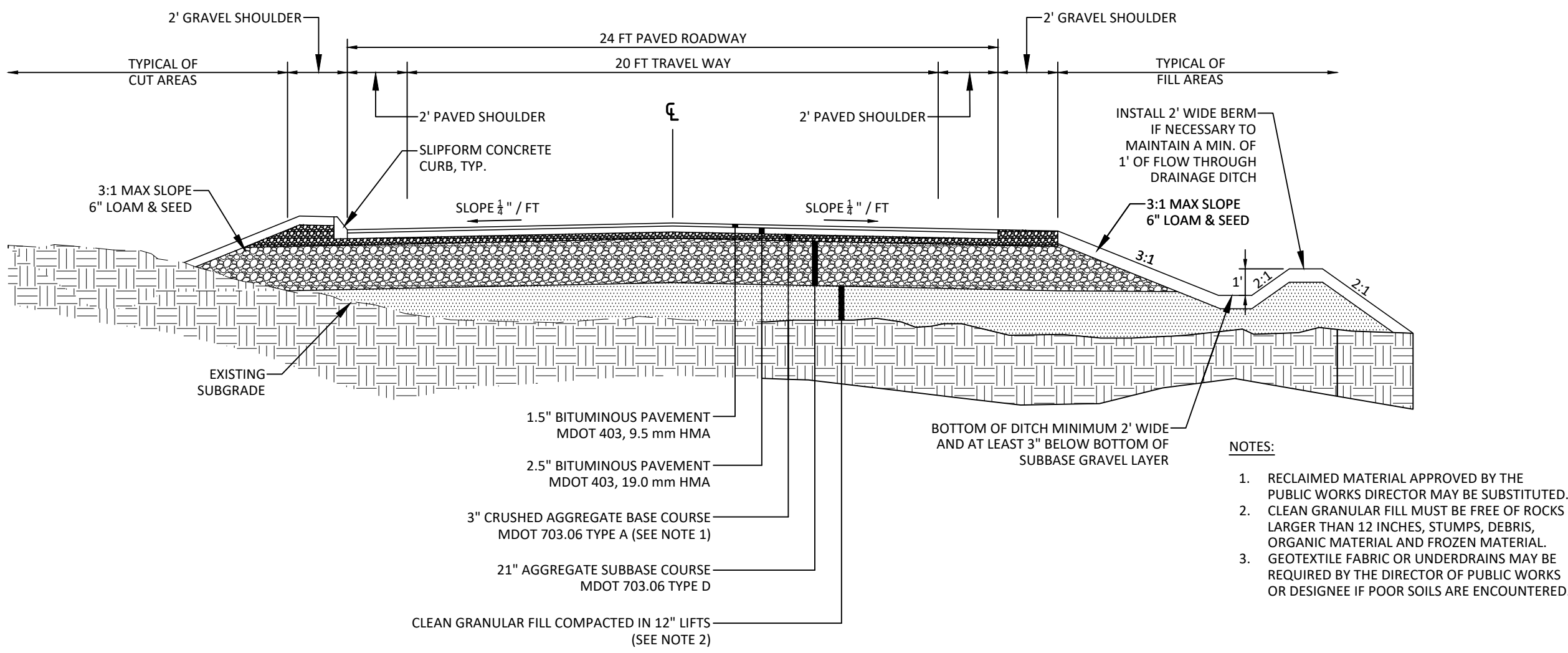
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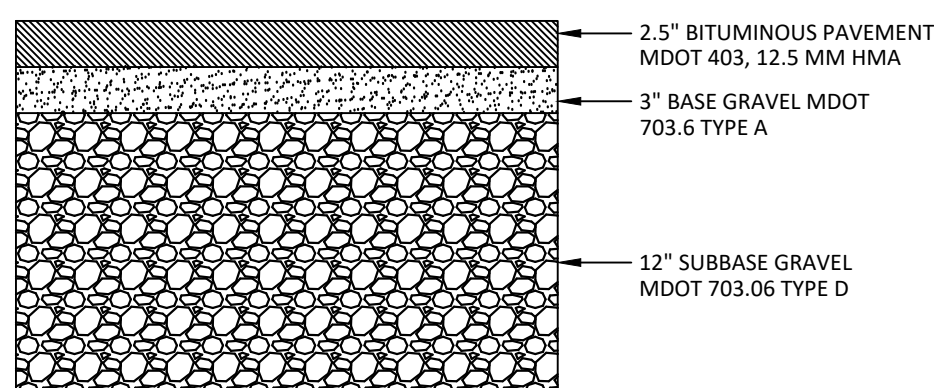
9-2-2025
DATE:

SHEET 6 OF 8

PP-1

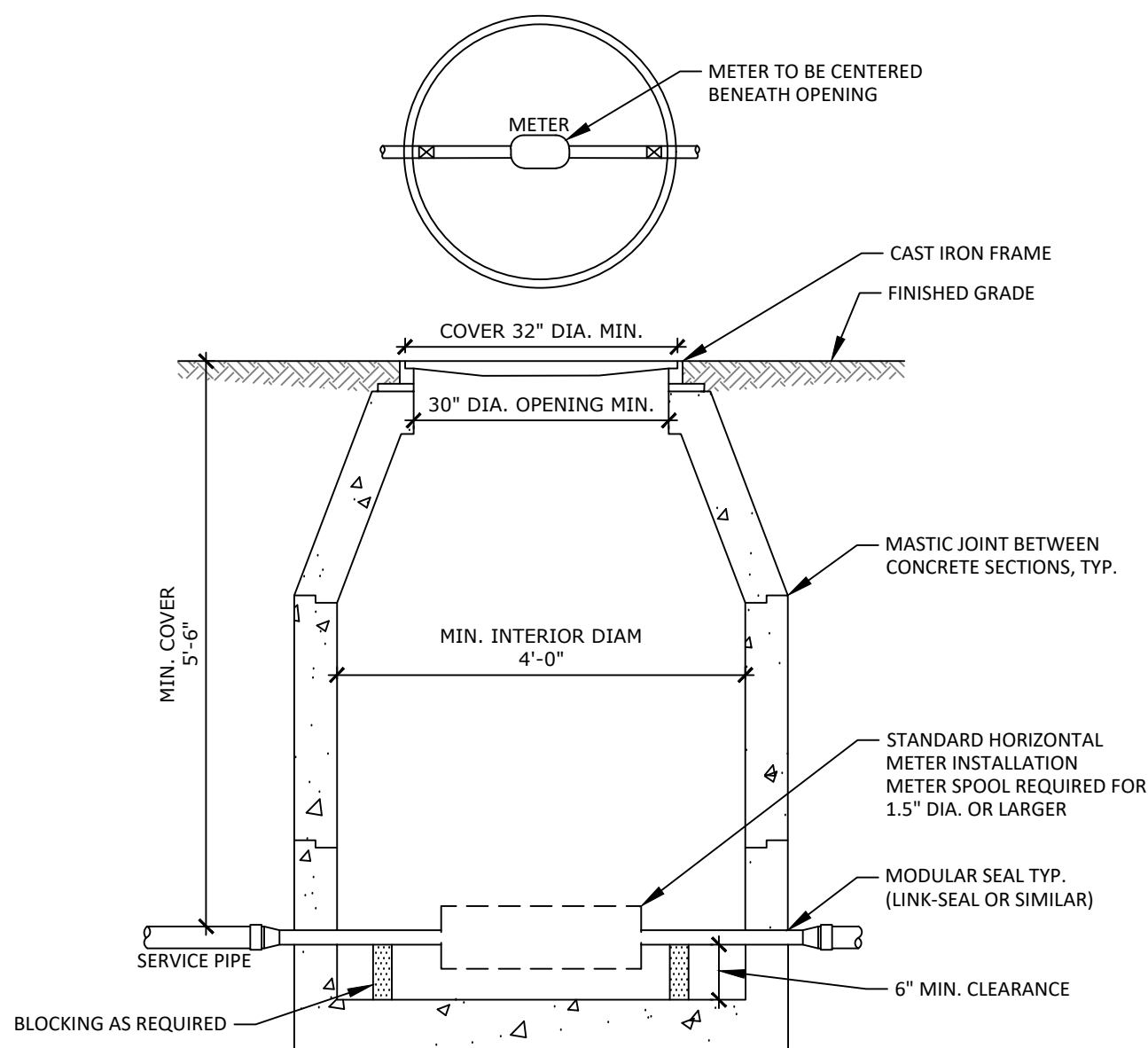


TYPICAL ROADWAY SECTION
NOT TO SCALE



TYPICAL DRIVEWAY SECTION
NOT TO SCALE

- NOTES:
- CLEAN GRANULAR FILL MUST BE FREE OF ROCKS LARGER THAN 12 INCHES, STUMPS, DEBRIS, ORGANIC MATERIAL AND FROZEN MATERIAL.



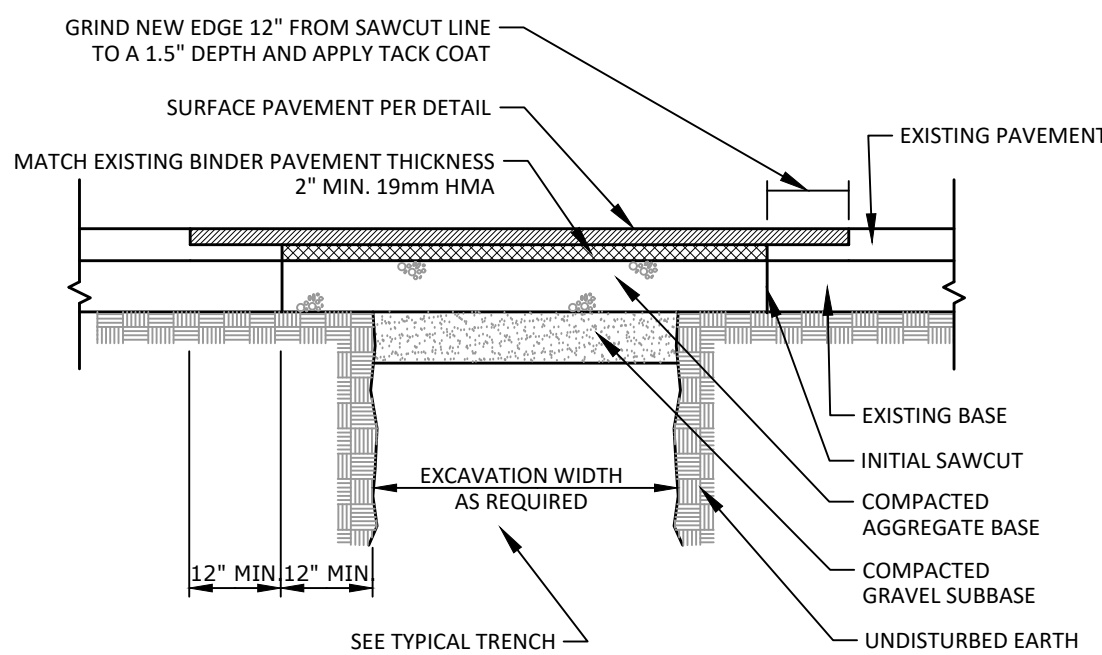
METER PIT AND COVER NOTES:

- SPECIAL APPROVAL BY PWD IS REQUIRED, PRIOR TO CONSTRUCTION, FOR ALL PROPOSED METER PIT INSTALLATIONS.
- BACKFLOW PREVENTION DEVICES MAY NOT BE INSTALLED WITHIN SMALL METER PITS.
- A METER PIT MAY HOUSE UP TO TWO 5/8", 3/4" OR 1" METERS WITH PRIOR APPROVAL FROM PWD.
- METER PIT SHALL BE LOCATED ON PRIVATE PROPERTY BETWEEN 10' AND 20' FROM PROPERTY LINE UNLESS OTHERWISE APPROVED BY PWD.
- THE METER PIT SHALL BE MADE OF PRECAST CONCRETE OF SUFFICIENT SIZE TO PROVIDE 5.5' MIN. GROUND COVER FROM FINISHED GRADE TO THE TOP OF THE SERVICE PIPE.
- ALL SEAMS BETWEEN CONCRETE SECTIONS SHALL BE SEALED WITH MASTIC JOINT. ALL OPENINGS IN THE CONCRETE FOR SERVICE PIPING SHALL BE SEALED WITH A MODULAR SEAL (LINK-SEAL OR SIMILAR).
- METER PIT INTERIOR MUST BE AT LEAST 48" IN DIAMETER. THE OPENING MUST BE AT LEAST 30" IN DIAMETER, WITH A CAST IRON FRAME. THE COVER SHALL BE CAST IRON OR STEEL, 32" MIN. IN DIAMETER, AND BE EITHER PERMANENTLY LABELED "WATER" OR HAVE NO LABEL. STEEL PLATE MATERIAL SHALL BE COATED WITH A RUST INHIBITOR PAINT.
- WALL-MOUNTED LADDER RUNGS ARE NOT TO BE INSTALLED WITHIN METER PIT.
- ALL PIPING INSIDE AND EXTENDING THROUGH THE METER PIT WILL BE MADE OF COPPER, WITH A MIN. OF 6" CLEARANCE FROM THE METER PIT FLOOR. USE BLOCKING AS NEEDED TO SUPPORT THE PIPE.
- CUSTOMER SHALL ENSURE THE METER PIT AND COVER ARE PROPERLY RATED FOR TRAFFIC FLOW, IF APPLICABLE.

METER INSTALLATION NOTES:

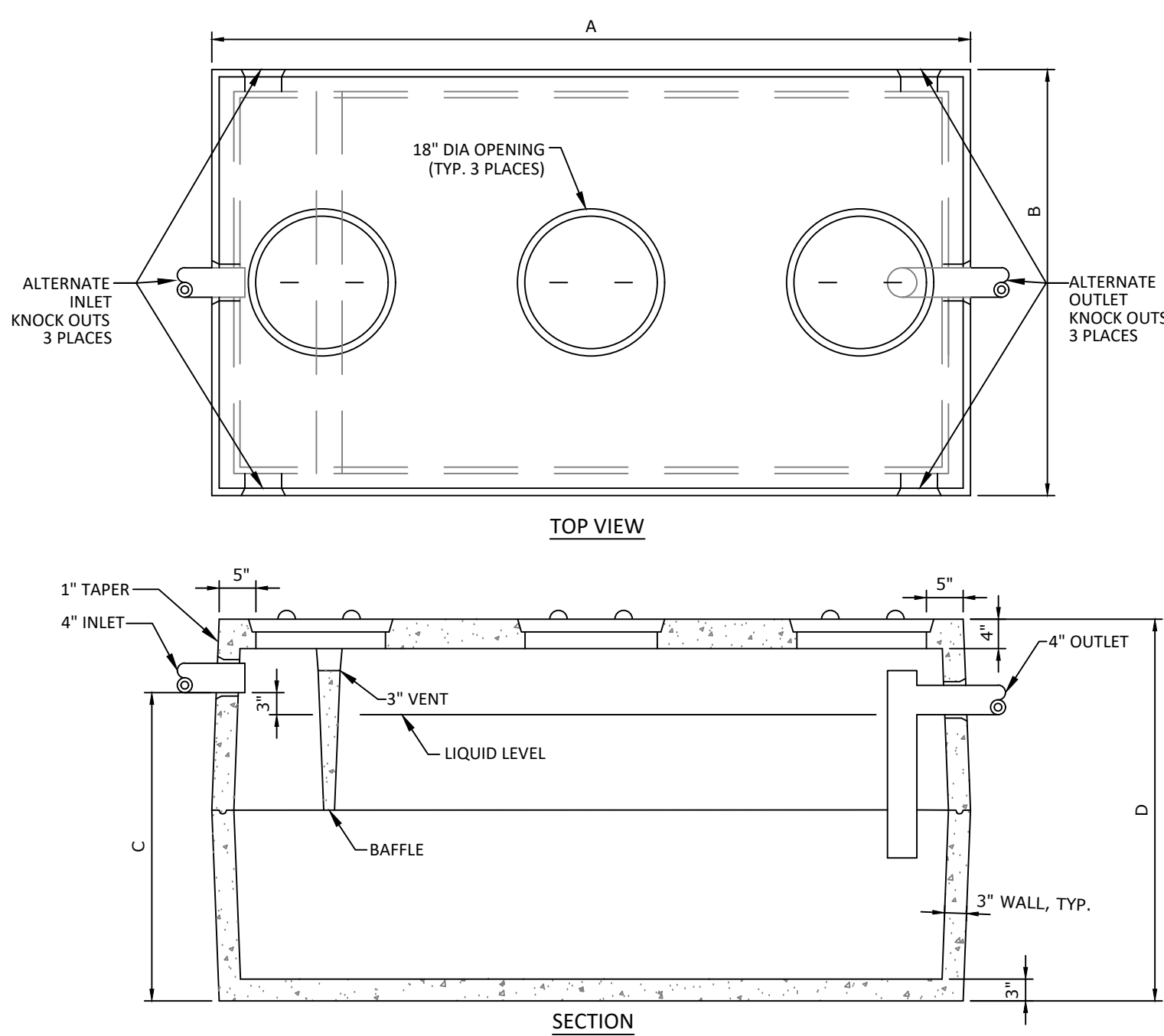
- ONLY PWD PERSONNEL ARE AUTHORIZED TO INSTALL WATER METERS. PWD PERSONNEL ARE ADDITIONALLY AUTHORIZED TO OPERATE METER VALVES AS NEEDED FOR INSTALLATION AND MAINTENANCE.
- PWD WILL SUPPLY THE WATER METER. ALL OTHER FITTINGS, INCLUDING A METER RESETTER FOR 1" OR SMALLER METERS SHALL BE SUPPLIED AND INSTALLED BY CUSTOMER.
- FOR 1.5" AND 2" METERS, CUSTOMER WILL INSTALL A FLANGED METER SPOOL PIECE SUPPLIED BY PWD AT NO ADDITIONAL CHARGE, PRIOR TO METER SET. THE METER SPOOL WILL BE MADE AVAILABLE FOR CUSTOMER PICKUP AT PWD CUSTOMER SERVICE, 225 DOUGLAS STREET, PORTLAND DURING NORMAL BUSINESS HOURS.
- CUSTOMER WILL INSTALL TWO BALL VALVES AT LEAST 24" APART FOR METER INSTALLATION, ALLOWING FOR THE WATER METER TO BE CENTERED UNDER THE METER PIT OPENING. THE BALL VALVES SHALL BE SOLDERED IN PLACE.

SMALL METER PIT (5/8" TO 2" METER)
NOT TO SCALE



- NOTES:
- SEE TYPICAL ROAD SECTION FOR REQUIRED DEPTHS OF AGGREGATE AND PAVEMENT COURSES

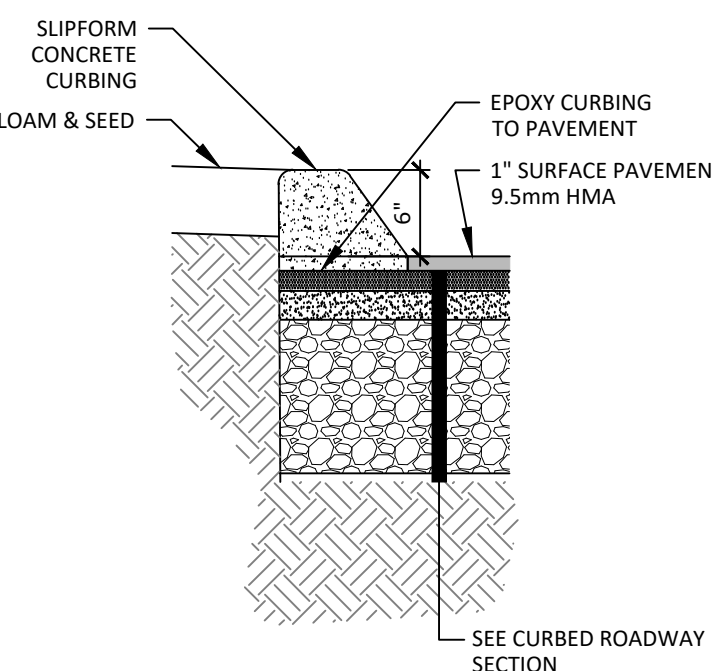
PAVEMENT REPAIR DETAIL
NOT TO SCALE



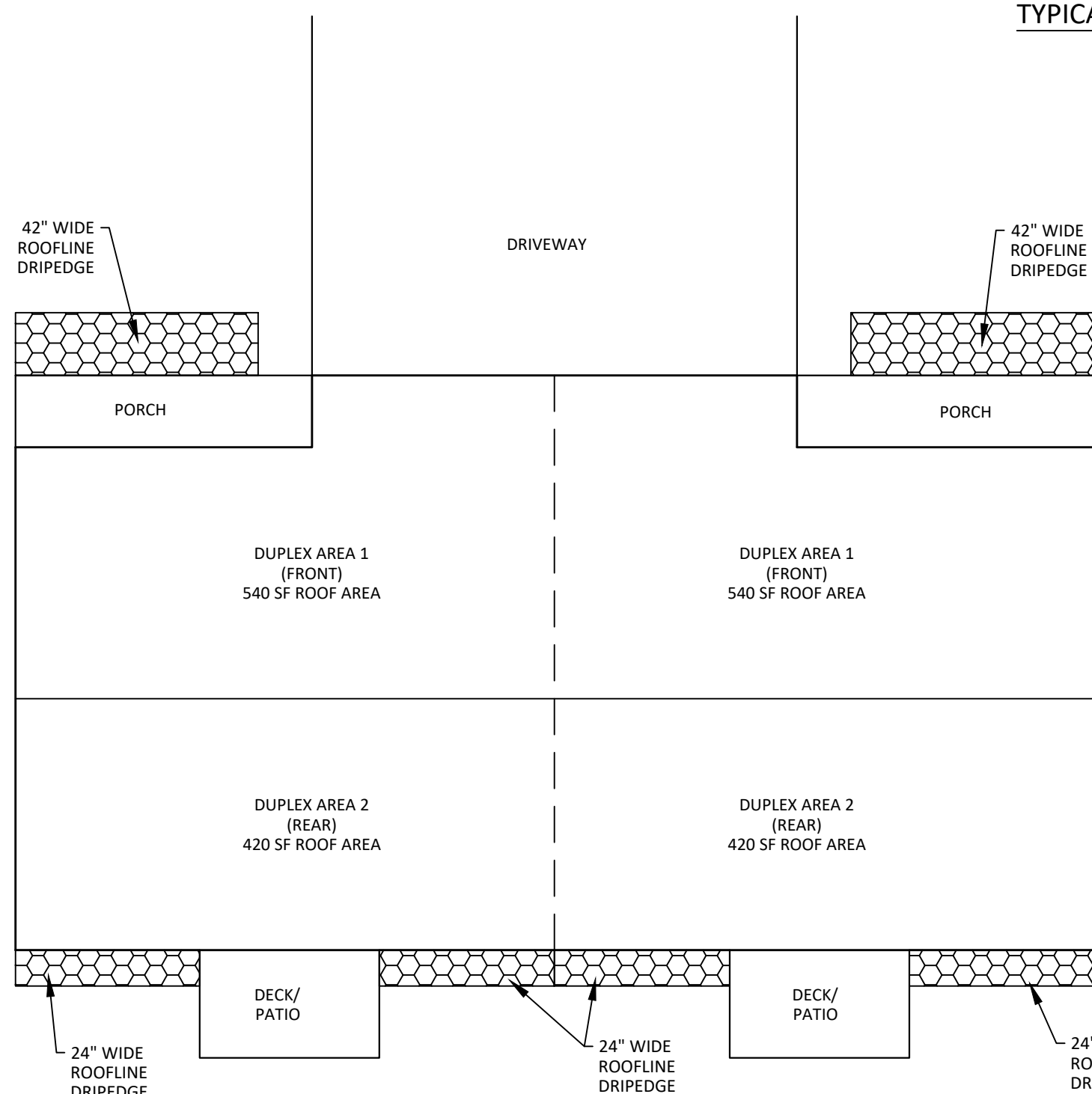
- TANK NOTES:
- CONCRETE TO BE 4,000 PSI AT 28 DAYS.
 - THE INLET BAFFLE IS PRECAST AS ONE UNIT WITH THE TOP SECTION OF THE SEPTIC TANK
 - TANKS REINFORCED WITH 6X6X10 G.A. WIRE.
 - KEYED JOINTS SEALED WITH ASPHALT SEALANT.
 - TANKS IN PAVED AREAS TO BE REINFORCED WITH WITH 1/2" REBAR SPACED 6" O.C. EACH WAY.
 - TANK TO BE A RESIDENTIAL SEPTIC TANK AS MANUFACTURED BY PRECAST CONCRETE PRODUCTS OF MAINE, INC. OR APPROVED EQUAL.

SEPTIC TANK DATA				
SIZE	A	B	C	D
1,000 GAL	8'-6"	4'-10"	55-1/2"	64"
1,500 GAL	10'-6"	6'-4"	55"	64"

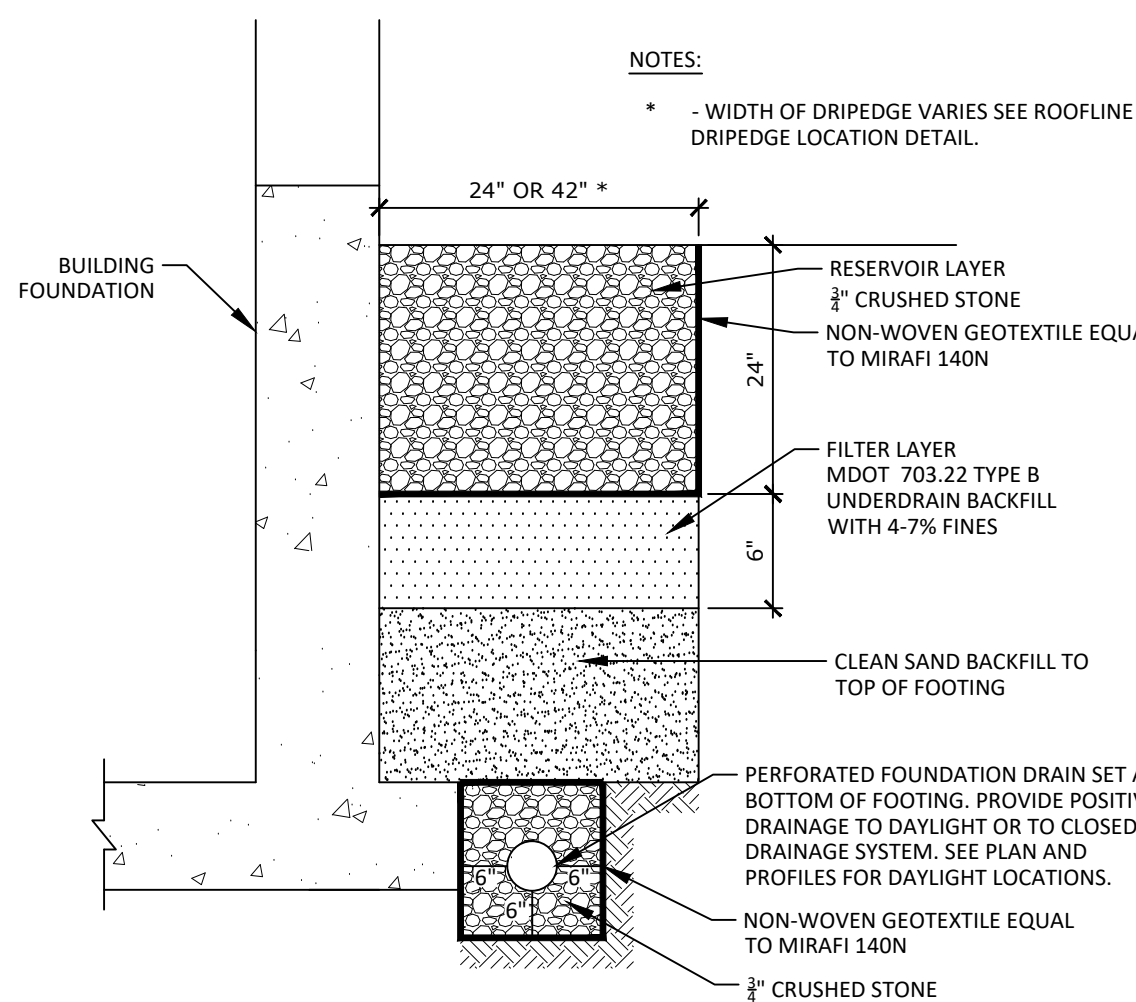
PRECAST RESIDENTIAL SEPTIC TANK
NOT TO SCALE



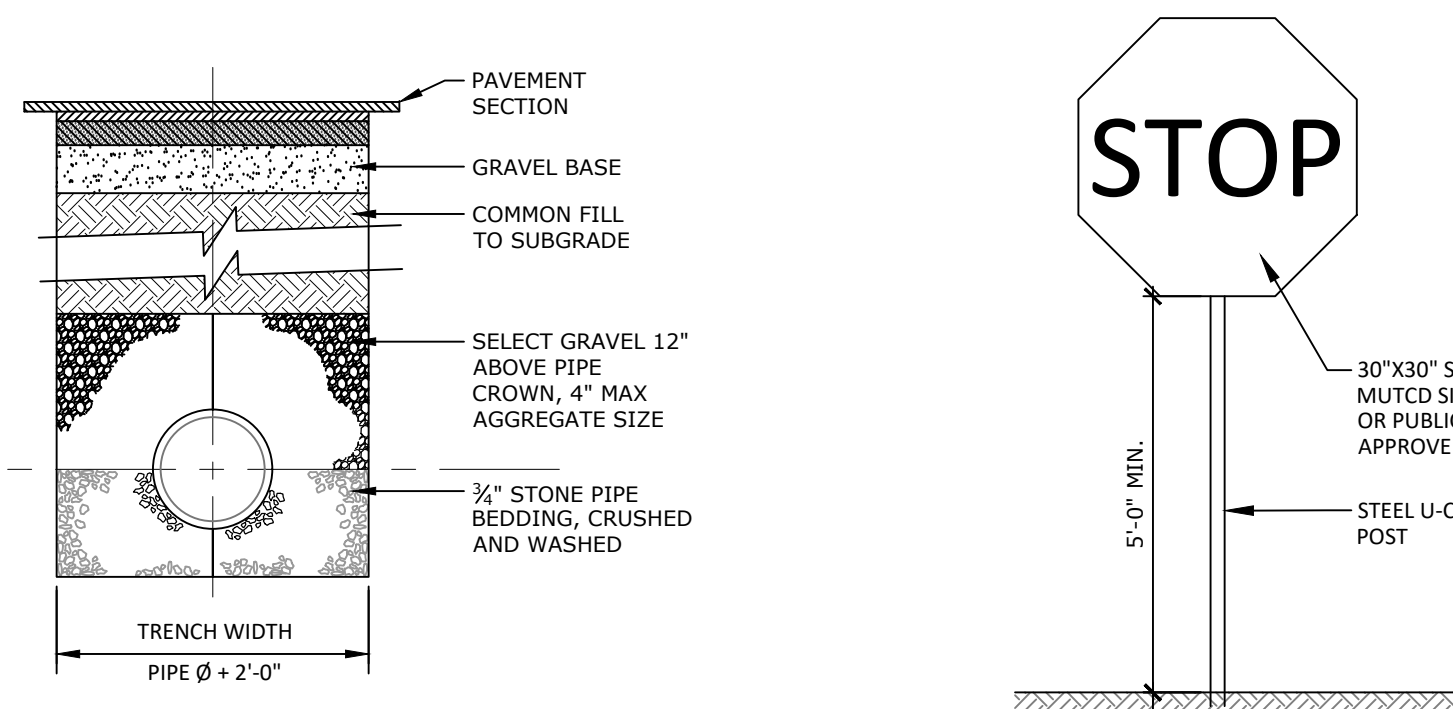
TYPICAL CURB SECTION
NOT TO SCALE



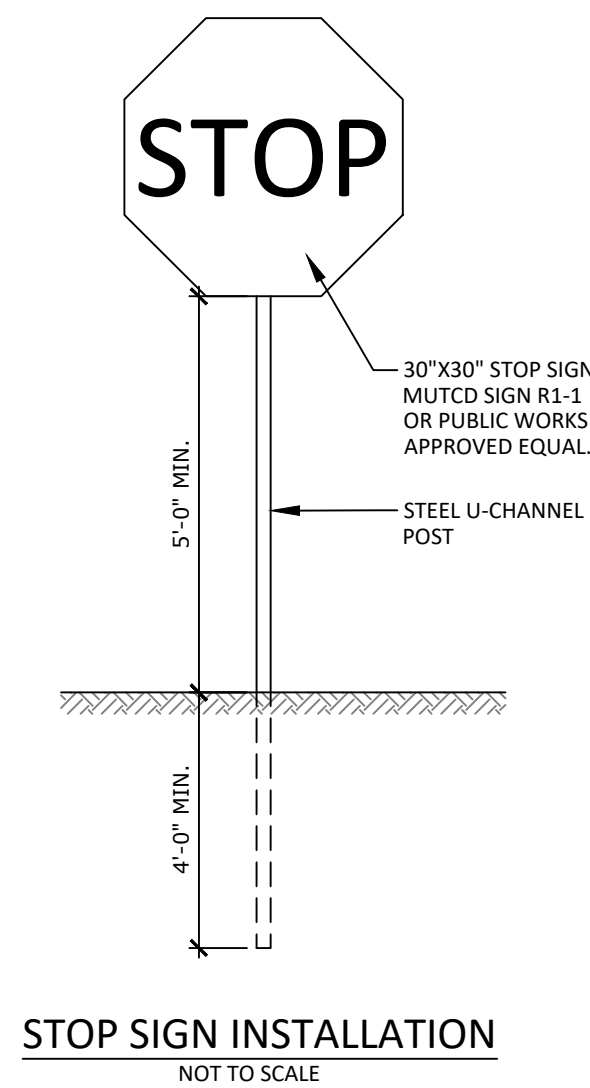
ROOFLINE DRIPEDGE LOCATIONS
NOT TO SCALE



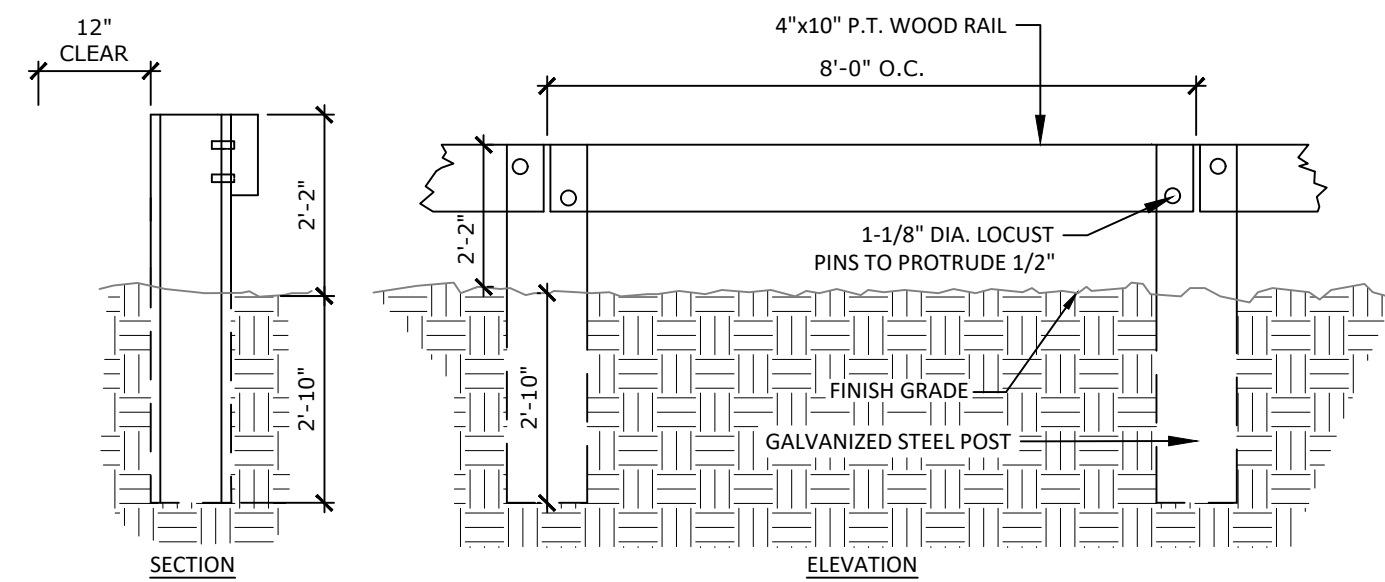
ROOF DRIP EDGE
NOT TO SCALE



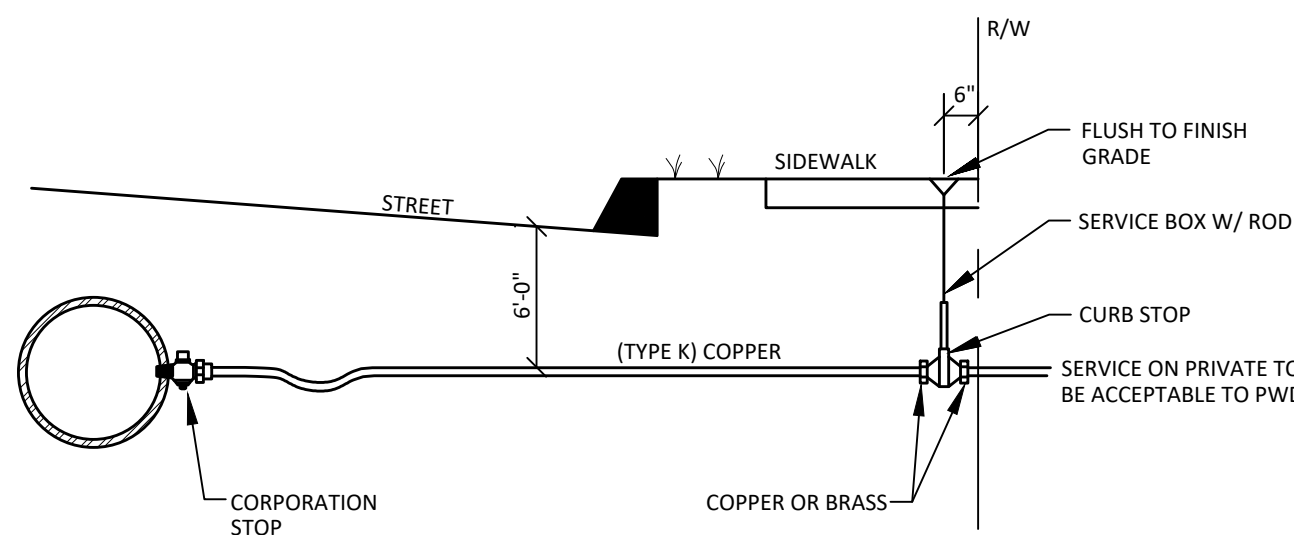
TYPICAL TRENCH SECTION
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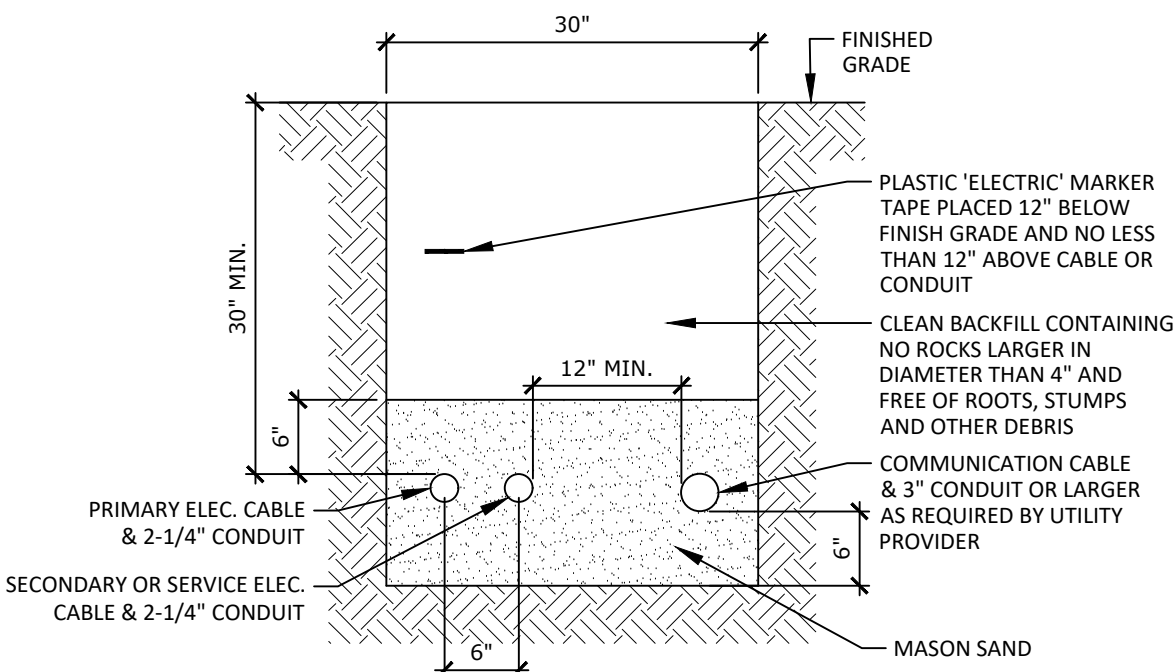
STOP SIGN INSTALLATION
NOT TO SCALE



WOOD GUARDRAIL DETAIL
NOT TO SCALE

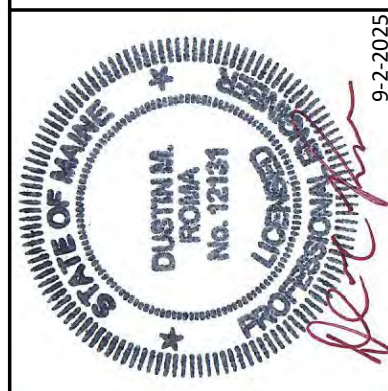


TYPICAL SERVICE CONNECTION
NOT TO SCALE



- NOTES:
- CONDUIT SIZE AND MATERIAL AS SPECIFIED BY THE UTILITY PROVIDER.
 - INSTALLATION SHOULD NOT ALLOW THE INTER-TWING OF CABLES.
 - BEDDING AND BACKFILL SHALL BE FREE OF ROOTS, STUMPS AND OTHER DEBRIS.
 - COMMUNICATION CABLE AND POWER CABLE SHALL HAVE NO LESS THAN 12 INCHES OF RADIAL SEPARATION.

UTILITY TRENCH DETAIL
NOT TO SCALE



DM ROMA
CONSULTING ENGINEERS

P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

REV	DATE	BY	DESCRIPTION
A	9-2-25	DMR	ISSUED FOR PERMIT REVIEW

DETAILS

250 WINDHAM CENTER ROAD

WINDHAM, MAINE

FOR: CASCO BAY HOLDINGS, LLC

PO BOX 275
CUMBERLAND, ME 04021

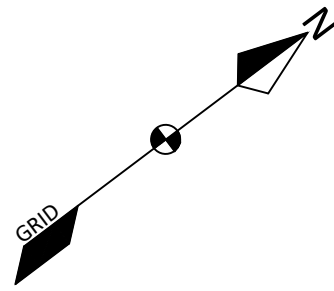
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JOB NUMBER:

AS SHOWN
SCALE:

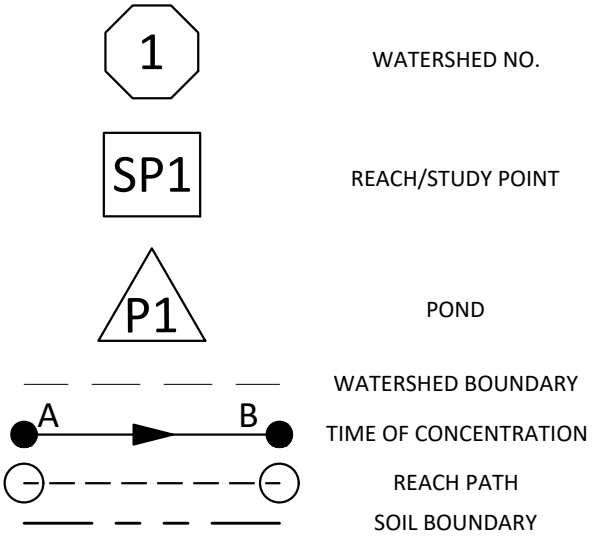
9-2-2025
DATE:

SHEET 8 OF 8

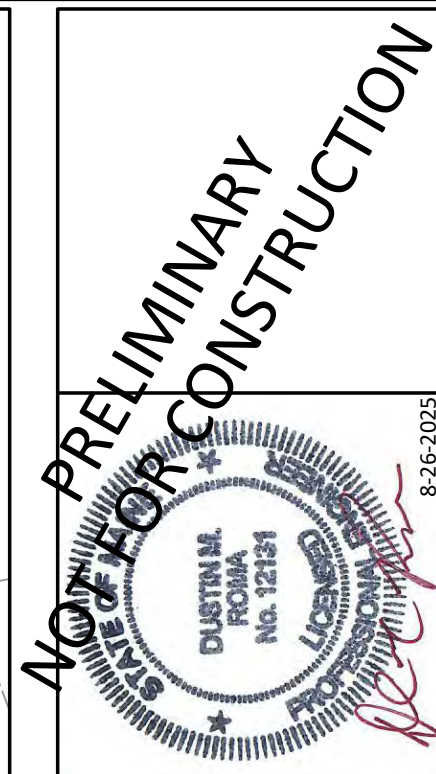
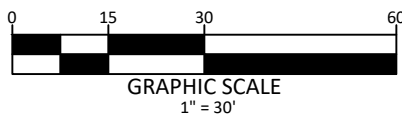
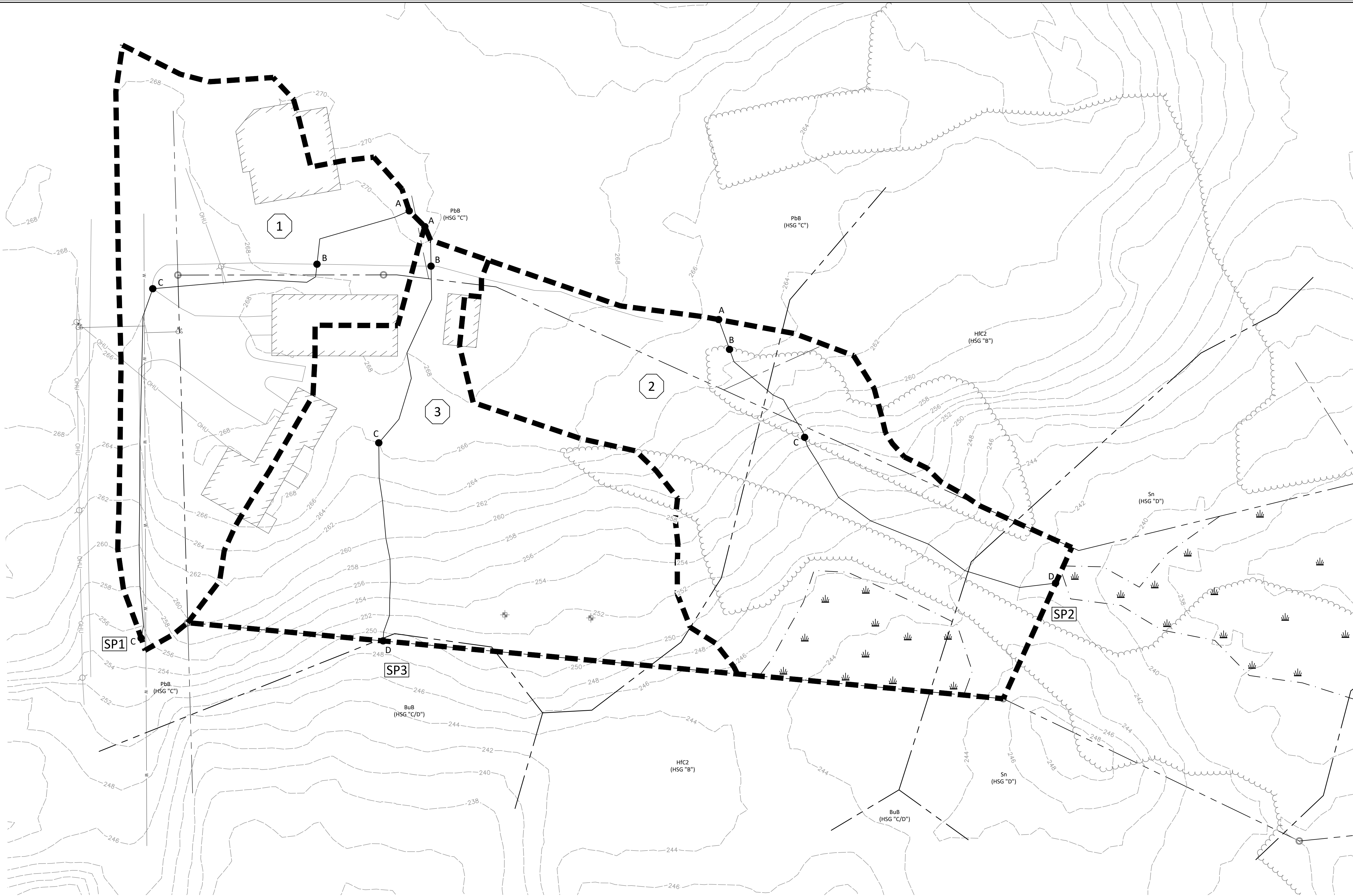
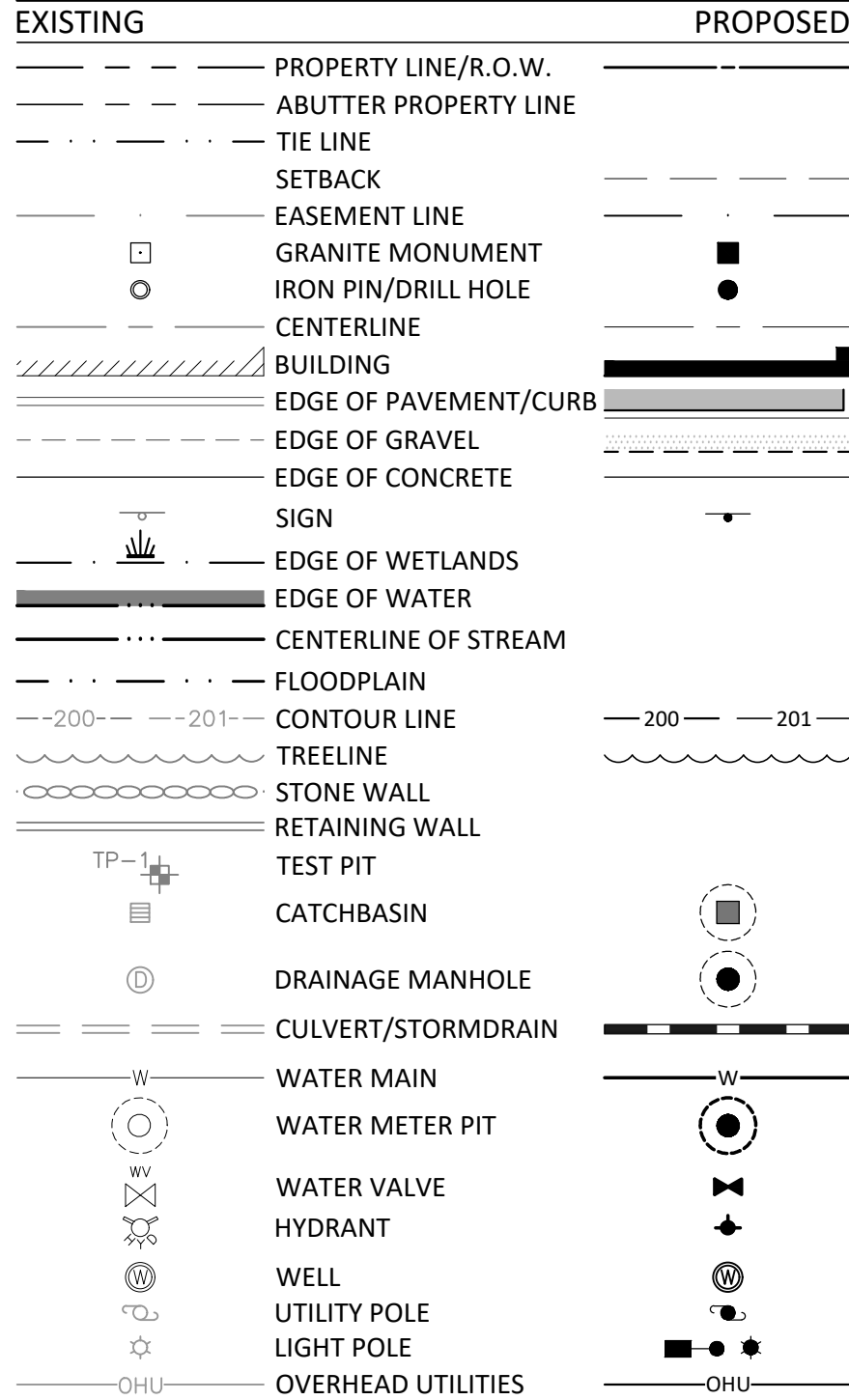
D-2



WATERSHED MAP LEGEND



LEGEND



DM ROMA
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

REV	DATE	BY	DESCRIPTION
A	8/26/25	JRC	ISSUED FOR PERMIT REVIEW

WATERSHED MAP: EXISTING CONDITIONS

250 WINDHAM CENTER ROAD
WINDHAM, MAINE

FOR: CASCO BAY HOLDINGS, LLC
PO BOX 275
CUMBERLAND, ME 04021

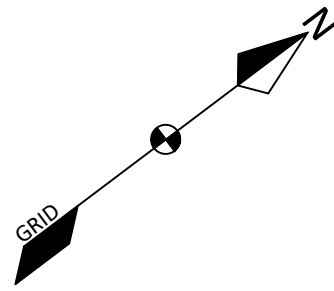
24035
JOB NUMBER:

1" = 30'
SCALE:

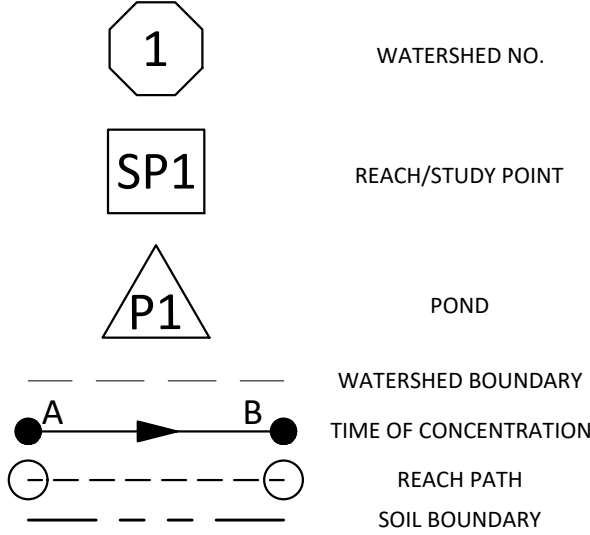
8-26-2025
DATE:

SHEET 1 OF 2

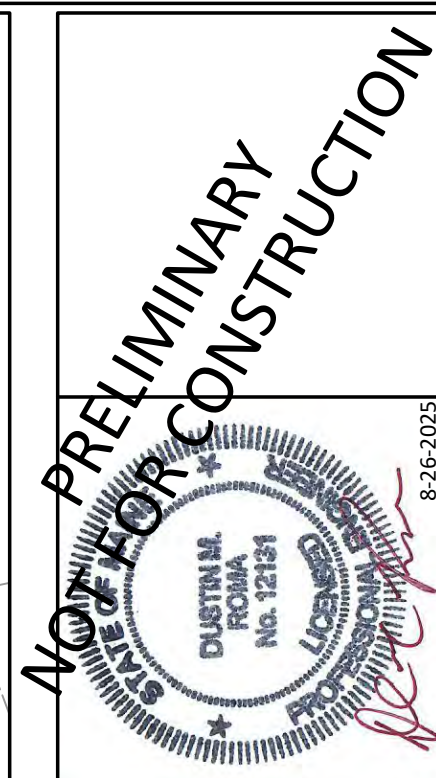
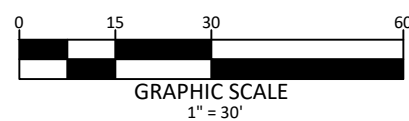
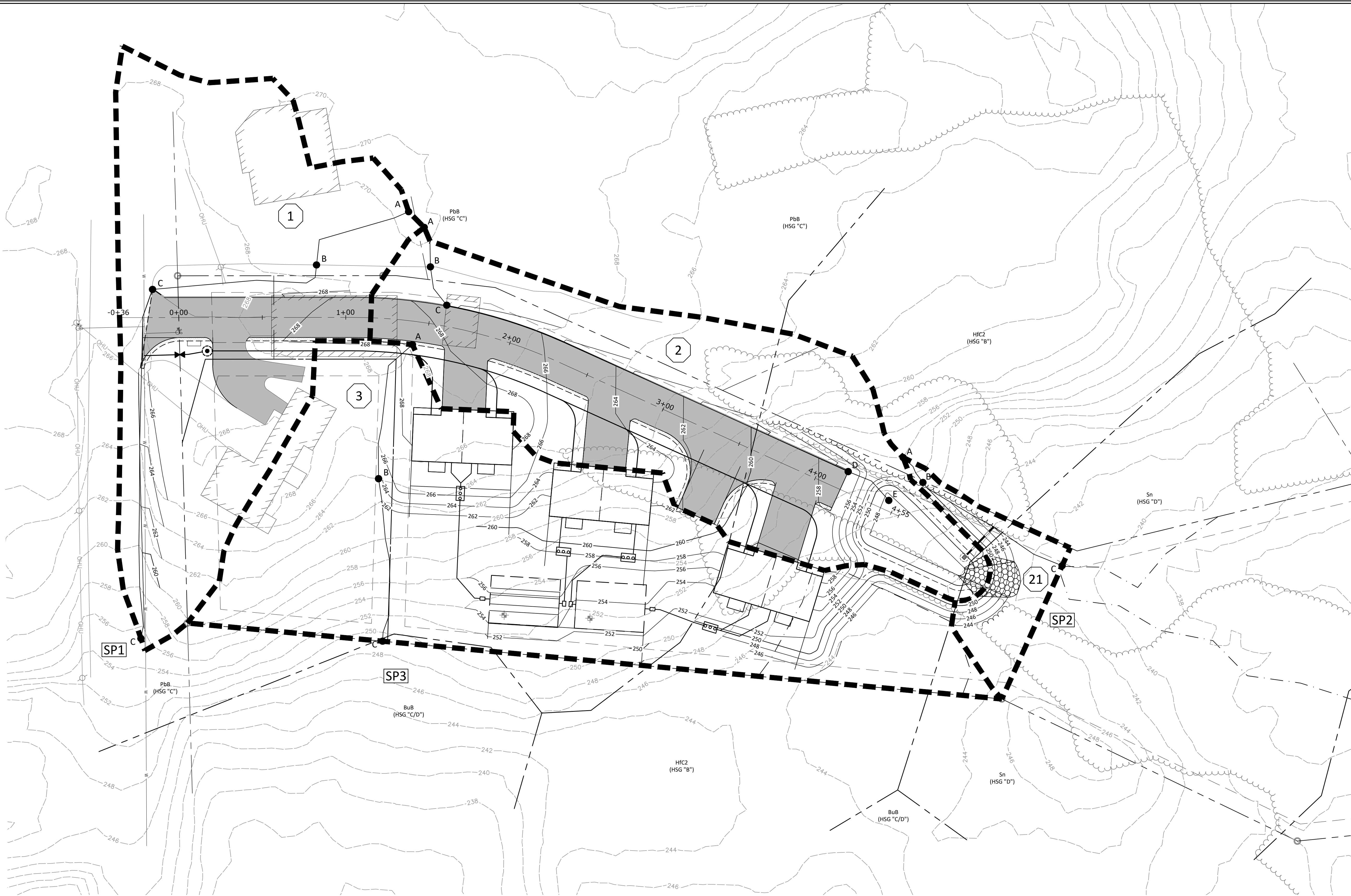
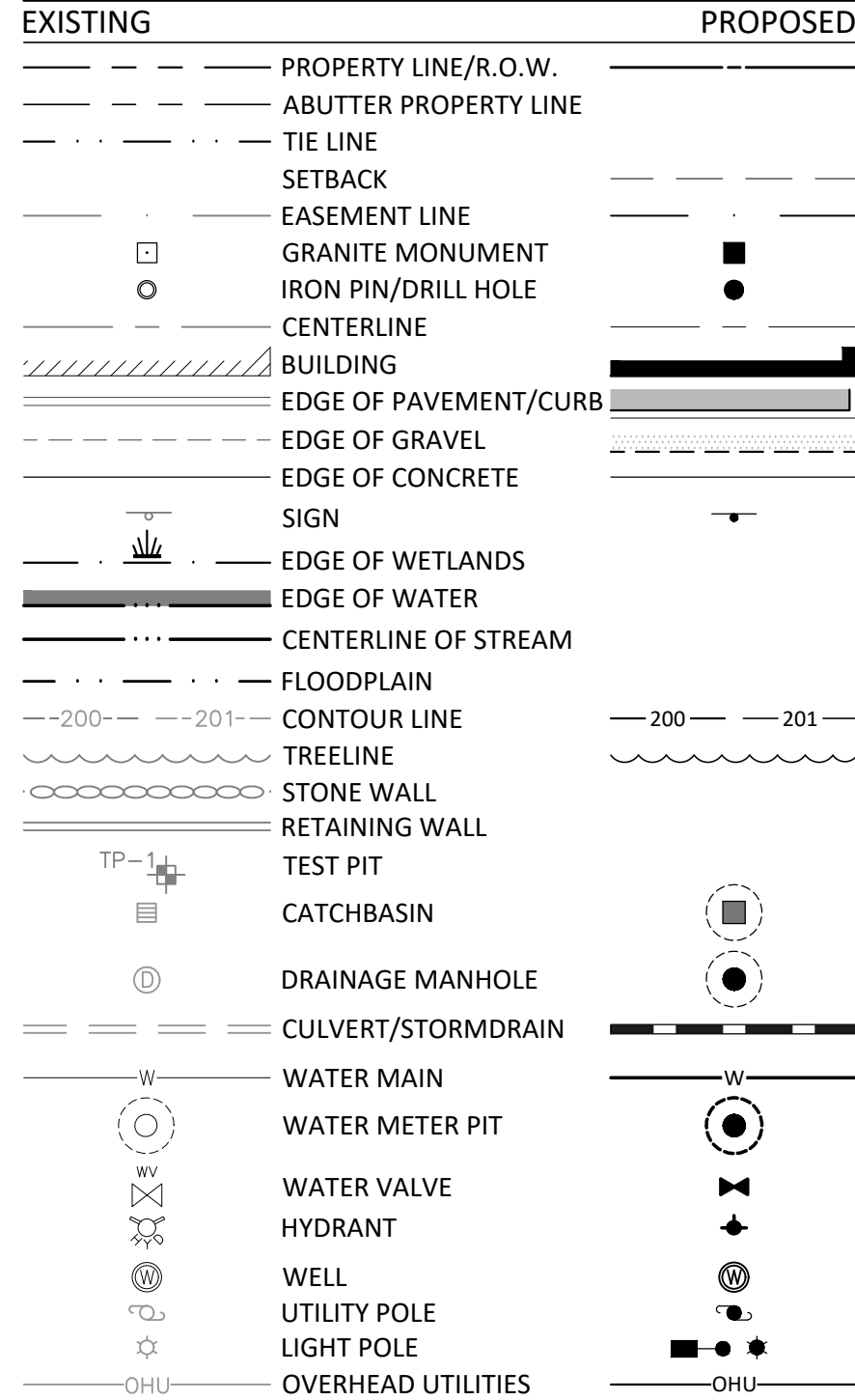
WS-1



WATERSHED MAP LEGEND



LEGEND



DM ROMA
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

REV	DATE	BY	DESCRIPTION
A	8/26/25	JRC	ISSUED FOR PERMIT REVIEW

WATERSHED MAP: EXISTING CONDITIONS

250 WINDHAM CENTER ROAD
250 WINDHAM CENTER ROAD
WINDHAM, MAINE

FOR: CASCO BAY HOLDINGS, LLC
PO BOX 275
CUMBERLAND, ME 04021

24035
JOB NUMBER:

1" = 30'
SCALE:

8-26-2025
DATE:

SHEET 2 OF 2

WS-2