

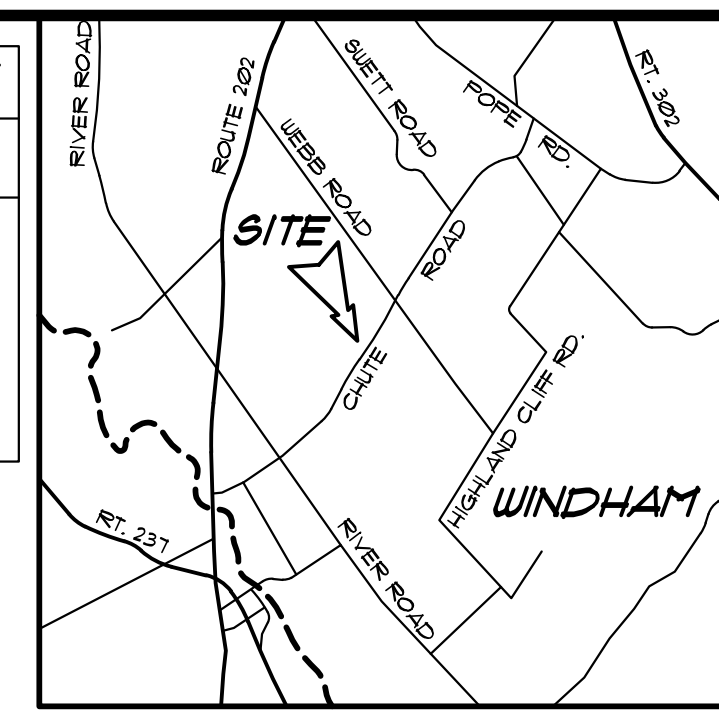
N/F
NANCY
FREDETTE
TM 6, L29
40229/342

N/F
JANICE
BOUCHER
TM 6, L28
26,441/194

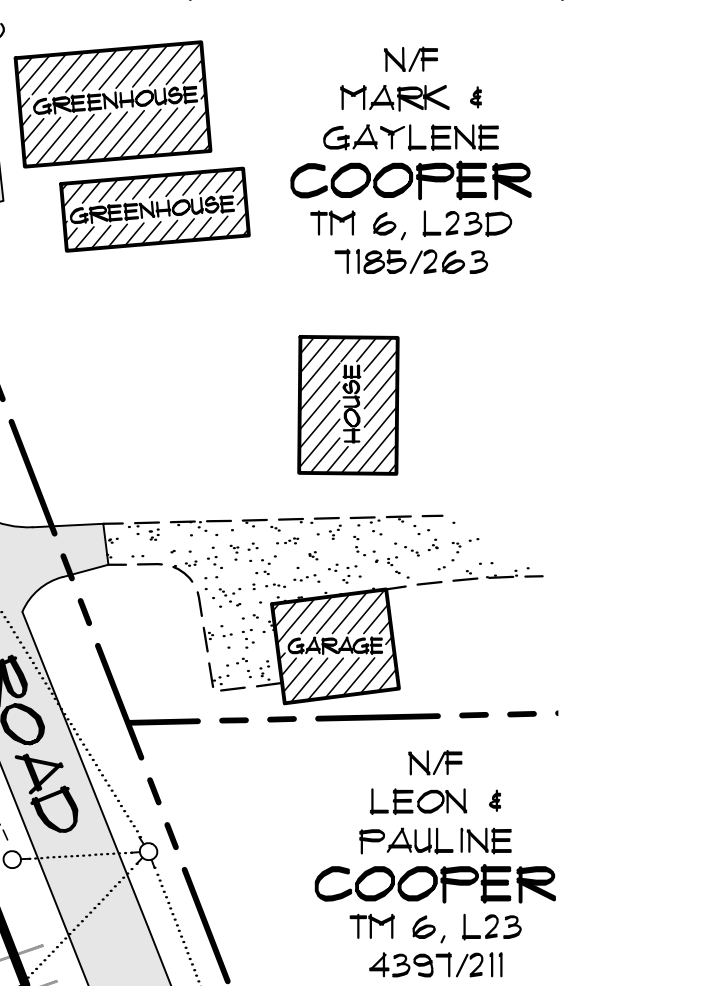
N/F
RICHARD
COMMOSS et al
TM 6, L21
9332/282

LOT DEVELOPED AREA SUMMARY

LOT NUMBER	PARCEL AREA	IMPERVIOUS AREA	DEVELOPED AREA
1	30,030 sf	2790 sf	15,960 sf
2	30,203 sf	3602 sf	17,317 sf
3	30,137 sf	3631 sf	15,625 sf
4	32,338 sf	3258 sf	16,449 sf
5	30,557 sf	3367 sf	17,529 sf
6	30,053 sf	3070 sf	12,458 sf



LOCATION MAP



N/F
NANCY
FREDETTE
TM 6, L29
40229/342

OPEN SPACE
CONSERVATION
AREA
291,120 sf
(RESERVED FOR RECREATION,
AGRICULTURE AND/OR
CONSERVATION PURPOSES)

PRIMARY
CONSERVATION
AREA
(RESERVED FOR RECREATION,
AGRICULTURE AND/OR
CONSERVATION PURPOSES)

N/F
HANCOCK
LIVING TRUST
TM 6, L26A
37,912/283

N/F
MARK &
GAYLENE
COOPER
TM 6, L23D
7185/263

N/F
LEON &
PAULINE
COOPER
TM 6, L23
4397/211

LOT IDENTIFICATION

SUBDIVISION LOT NUMBER	TAX MAP 6 LOT NUMBER
1	26-1
2	26-2
3	26-3
4	26-4
5	26-5
6	26-6

NOTES

- ALL BEARINGS REFER TO MAGNETIC NORTH AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND ON CHUTE ROAD & BETTY LANE", DATED SEPTEMBER 2023, PREPARED BY WAYNE T. WOOD & CO.
- PERIMETER BOUNDARY LINES ARE BASED UPON THE ABOVE REFERENCED PLAN.
- SEE "BETTY LANE PLAN/PROFILE" (SHEET 3) FOR PROPOSED CULVERTS, ROADWAY AND FILTER BASIN GRADING.
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- TOTAL PARCEL AREA = 12.84 ACRES (559,241 ± sf)
RIGHT OF WAY AREA = 48,173 sf
LOTS 1-1 AREA = 183,318 sf
CONSERVATION AREAS = 321,750 sf
- OWNER OF RECORD - PINEHURST DEVELOPMENT, LLC
DEED REFERENCE - BOOK 40405, PAGE 103
TAX MAP 6, LOT 26
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
A) "PLAN OF PROPERTY FOR PETER KLICHNIK", DATED JANUARY 19, 1971, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 22.
B) "PROPERTY PLAN MADE FOR KENNETH JORDAN", DATED APRIL 22, 1980, RECORDED AT SAID REGISTRY IN PLAN BOOK 126, PAGE 31.
C) "PLAN FOR DIVISION OF LAND OF DOROTHY DURANT", DATED APRIL 4, 1971, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 17.
- THE PREMISES IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230193 0030 B, DATED SEPTEMBER 2, 1981.
- THE PARCEL IS LOCATED IN THE FARM DISTRICT.
MINIMUM CONSERVATION LOT SIZE = 30,000 sf
NET DENSITY = 60,000 sf
MINIMUM CONSERVATION LOT STREET FRONTAGE = 100' (50' @ CUL-DE-SAC)
MINIMUM CONSERVATION LOT FRONT SETBACK = 25'
MINIMUM CONSERVATION LOT SIDE & REAR SETBACK = 10'
MAXIMUM BUILDING HEIGHT = 35'
MAXIMUM BUILDING COVERAGE = 25%
SETBACK ALONG EXISTING ROAD = 100'
SETBACK FROM EXTERIOR (PERIMETER) LOT LINE = 50'
- WETLANDS WERE TAKEN FROM A PLAN ENTITLED "PRELIMINARY NATURAL RESOURCES SURVEY, BETTY LANE, WINDHAM", DATED FEBRUARY 8, 2023, PREPARED BY BAASWOOD ENVIRONMENTAL.
- FILL OR ALTERATION OF WETLANDS SHOWN ON THIS PLAN IS NOT AUTHORIZED WITHOUT PRIOR APPROVAL FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE U.S. ARMY CORPS OF ENGINEERS.
- BUFFERS DEPICTED ON THIS PLAN SHALL NOT BE CLEARED OF VEGETATION UNLESS THE PLANNING BOARD GRANTS AN AMENDMENT TO THE SUBDIVISION OR FOR MAINTENANCE THAT DOES NOT ALTER THE PURPOSE FOR WHICH THE BUFFER WAS REQUIRED.

CONDITION OF APPROVAL

APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION DATED (MONTH / DAY, 2024) AND SUPPORTING DOCUMENTS AND ORAL REPRESENTATIONS SUBMITTED AND AFFIRMED BY THE APPLICANT, AND CONDITIONS, IF ANY, IMPOSED BY THE PLANNING BOARD, AND ANY VARIATION FROM SUCH PLANS, PROPOSALS AND SUPPORTING DOCUMENTS AND REPRESENTATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD OR THE TOWN PLANNER IN ACCORDANCE WITH SECTION 913 OF THE SUBDIVISION ORDINANCE.

NOTES (CONTINUED)

- OPEN SPACE SHALL NOT BE DIVIDED INTO LOTS AND NO DWELLING UNITS SHALL BE ALLOWED IN THESE AREAS. CONSTRUCTION AND IMPROVEMENTS IN THIS AREA SHALL BE LIMITED TO STRUCTURES AND BUILDING ACCESSORY TO NON-COMMERCIAL RECREATIONAL OR CONSERVATION USES AND THE INSTALLATION OF UNDERGROUND UTILITIES.
- APPROVAL BY THE PLANNING BOARD OF THIS SUBDIVISION PLAN SHALL NOT BE DEEMED TO CONSTITUTE OR BE EVIDENCE OF ANY ACCEPTANCE BY THE TOWN OF WINDHAM OF ANY STREET, EASEMENT, OPEN SPACE, PARKS, PLAYGROUNDS OR OTHER RECREATION AREAS SHOWN ON THIS PLAN.
- LOTS ARE TO BE SERVICED BY PRIVATE WATER, PRIVATE SEPTIC SYSTEMS AND OVERHEAD AND UNDERGROUND UTILITIES.
- ALL NEW PRINCIPAL STRUCTURES WILL BE LOCATED WITHIN THE BUILDING ENVELOPES. NO MULTIPLE DWELLING UNITS SHALL BE PLACED ON ANY LOT.
- BETTY LANE SHALL REMAIN PRIVATE AND TO BE MAINTAINED BY THE DEVELOPER OR THE LOT OWNERS AND SHALL NOT BE ACCEPTED OR MAINTAINED BY THE TOWN. A ROAD OWNERS ASSOCIATION SHALL BE DEVELOPED TO ESTABLISH AND DETERMINE THE ALLOWABLE USES AND RESPONSIBILITIES OF EACH LOT OWNER WITH REGARD TO UPKEEP, MAINTENANCE AND REPAIR OF SAID ROAD. THE ROAD SHALL NOT BE OFFERED FOR ACCEPTANCE BY THE TOWN OF WINDHAM UNTIL IT MEETS ALL MUNICIPAL STREET DESIGN AND CONSTRUCTION STANDARDS.
- TEST PITS 1-6 WERE PERFORMED BY BAASWOOD ENVIRONMENTAL IN FEBRUARY 2024. TEST PITS MC1-MC16 WERE PERFORMED BY MARK CENCI GEOLOGIC, INC. IN MARCH 2024.
- DUG WELLS ARE PROHIBITED. WHERE BEDROCK IS ENCOUNTERED AT A DEPTH OF 10' OR LESS AT ANY WELL, INSTALL WATER SUPPLY WELLS WITH CASING SET AND GROUTED A MINIMUM OF 20' BELOW THE SOLID BEDROCK SURFACE. WELLS SHALL NOT BE CONSTRUCTED WITHIN 100' OF THE TRAVELED OF ANY STREET IF LOCATED DOWNHILL FROM THAT STREET OR WITHIN 50' OF THE TRAVELED WAY OF ANY STREET IF LOCATED UPHILL OF THE STREET.
- WHERE BEDROCK IS ENCOUNTERED AT A DEPTH OF 10' OR LESS AT ANY WELL, INSTALL WATER SUPPLY WELLS WITH CASING SET AND GROUTED A MINIMUM OF 20' BELOW THE SOLID BEDROCK SURFACE.
- ALL RESIDENTIAL HOMES SHALL BE EQUIPPED WITH A SPRINKLER SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF NFPA-13D.

WAIVERS GRANTED

- HIGH INTENSITY SOILS MAPPING
- TRAFFIC STUDY
-

LEGEND

---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER PARCEL)
-----	STONE WALL
-----	BUILDING SETBACK
-----	UTILITY POLE WITH OVERHEAD WIRES
-----	IRON PIPE OR ROD FOUND (PER PLAN IN NOTE 1)
-----	IRON ROD TO BE SET
-----	GRANITE MONUMENT TO BE SET
-----	IRON ROD SET ON CONSERVATION BUFFER
-----	PROPOSED WELL LOCATION (SEE NOTES 13 & 20)
-----	EXISTING TREELINE
-----	NEW TREELINE
-----	IRON OR FORMERLY
-----	BOOK AND PAGE NUMBER
-----	TAX MAP AND LOT NUMBER
-----	TEST PIT (SEE NOTE 18)
-----	EXISTING BUILDING
-----	EXISTING PAVEMENT
-----	WETLAND AREA (SEE NOTES 10 & 11)
-----	NEW LANDSCAPE TREE

NET RESIDENTIAL AREA & DENSITY

TOTAL PARCEL AREA - 12.84 ACRES (559,241 ± sf)

DEDUCTIONS	
a) PROPOSED ROAD R/W	= 48,173 sf
b) SLOPES GREATER THAN 25%	= 0 sf
c) LAND WITHIN 100-YEAR FLOOD ZONE	= 0 sf
d) VERY POORLY DRAINED SOILS	= 0 sf
e) AREAS WITHIN RESOURCE PROTECTION ZONE	= 0 sf
f) UNSUITABLE DUE TO DRAINAGE/WETLANDS	= 19,080 sf
g) WATER BODIES	= 0 sf
h) WILDLIFE HABITAT	= 0 sf
i) ENDANGERED SPECIES	= 0 sf
TOTAL DEDUCTIONS	= 121,253 sf

TOTAL PARCEL AREA MINUS DEDUCTIONS = 431,988 sf

REQUIRED OPEN SPACE CALCULATION FOR CONSERVATION LOTS
DEDUCTED AREA (121,253 sf) + 50% OF REMAINING AREA (215,934 sf) = 343,249 sf (MIN)
TOTAL OPEN SPACE PROVIDED = 321,750 sf

NET DENSITY CALCULATION
REMAINING AREA (431,988 sf) DIVIDED BY FARM DISTRICT NET DENSITY (60,000)

= 720 LOTS ALLOWED

RECORDING DATA

CUMBERLAND COUNTY REGISTRY OF DEEDS

RECEIVED _____ AT _____ h. _____ m. _____ M.

RECORDED IN PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

CURVE TABLE

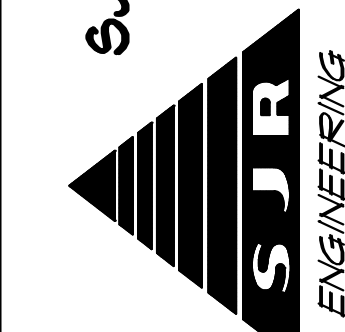
CURVE NO.	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C-1	57.00'	50.00'	N21°50'03"E	48.41'
C-2	57.00'	20.13'	N63°04'42"E	20.02'
C-3	57.00'	58.43'	S11°26'23"E	55.91'
C-4	57.00'	63.95'	S15°55'48"E	60.66'

PLANNING BOARD APPROVAL

THIS IS TO CERTIFY THAT AFTER THE SUBDIVISION SHOWN BY THIS PLAN, AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN 30-A M.R.S.A. STATUTE 4404, AS AMENDED, AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN THE SUBDIVISION ORDINANCE OF THE TOWN OF WINDHAM, THE UNDERSIGNED HAVING MADE FINDINGS OF FACT ESTABLISHING THAT THE PROPOSED SUBDIVISION MEETS ALL OF THE CRITERIA SET FORTH THEREIN, AND THEREFORE THE SUBDIVISION IS APPROVED.

DATE: _____

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6243 tel
steve@sjeeng.com



PRELIMINARY SUBDIVISION PLAN

BETTY LANE

(FORMERLY BETTY LANE)

WINDHAM, MAINE

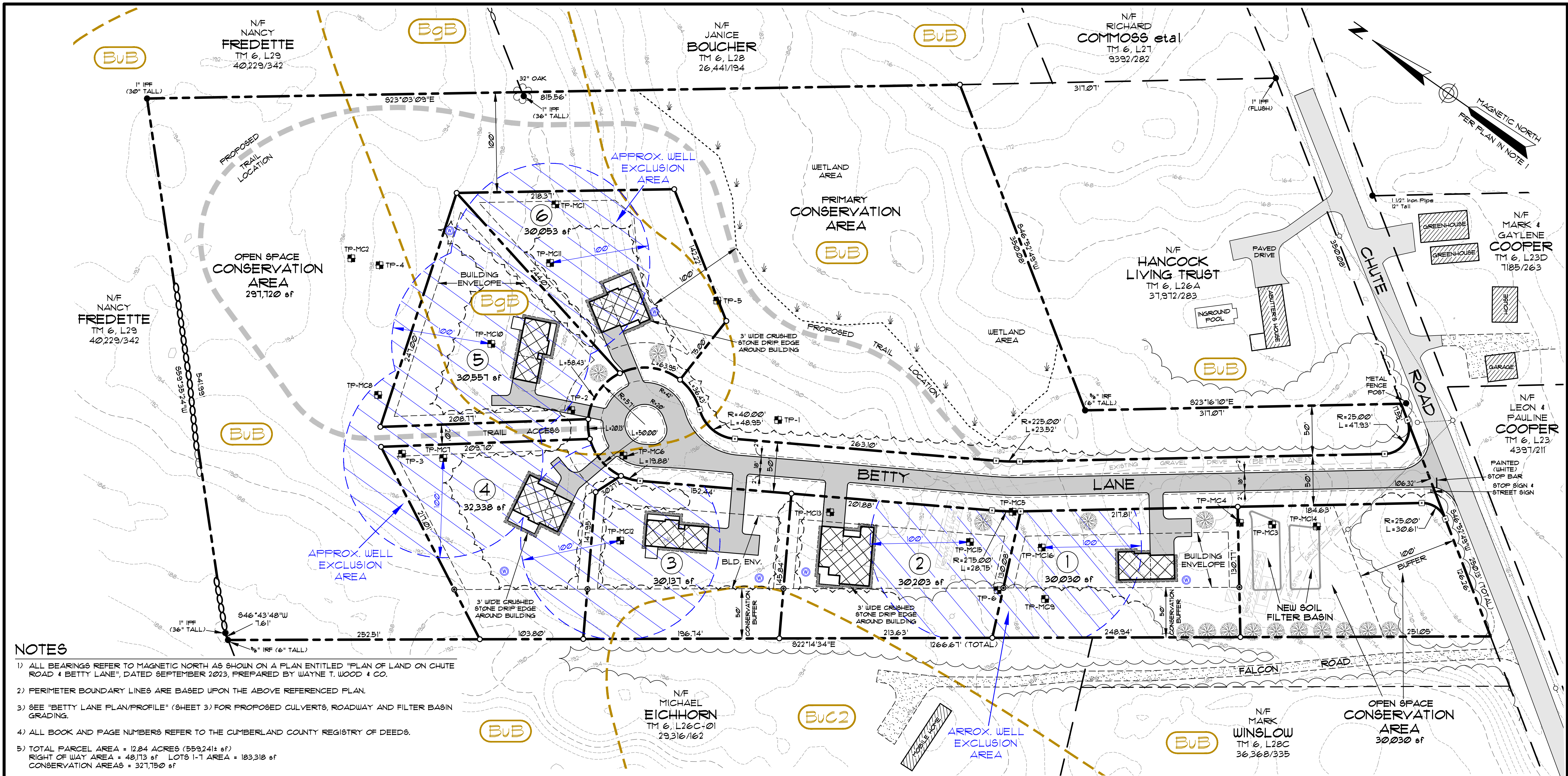
PREPARED FOR

RCL, LLC

366 ROUTE 1 - FALMOUTH, MAINE 04105

DATE	PROJECT
3-30-2024	2024-05
DRAWN BY	SCALE
SJR	1" = 50'

SHEET 1



NOTES

- ALL BEARINGS REFER TO MAGNETIC NORTH AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND ON CHUTE ROAD & BETTY LANE", DATED SEPTEMBER 2023, PREPARED BY WAYNE T. WOOD & CO.
- PERIMETER BOUNDARY LINES ARE BASED UPON THE ABOVE REFERENCED PLAN.
- SEE "BETTY LANE PLAN/PROFILE" (SHEET 3) FOR PROPOSED CULVERTS, ROADWAY AND FILTER BASIN GRADING.
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- TOTAL PARCEL AREA = 12.84 ACRES (559,241 ± sf)
RIGHT OF WAY AREA = 48,113 sf
LOT 1-1 AREA = 183,318 sf
CONSERVATION AREAS = 321,150 sf
- OWNER OF RECORD - PINEHURST DEVELOPMENT, LLC
DEED REFERENCE - BOOK 40405, PAGE 103 TAX MAP 6, LOT 26
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
A) "PLAN OF PROPERTY FOR FETER KLICHNIK", DATED JANUARY 19, 1911, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 22.
B) "PROPERTY PLAN MADE FOR KENNETH JORDAN", DATED APRIL 22, 1980, RECORDED AT SAID REGISTRY IN PLAN BOOK 126, PAGE 31.
C) "PLAN FOR DIVISION OF LAND OF DOROTHY DURANT", DATED APRIL 4, 1911, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 11.
- THE PREMISES IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230185 0050 B, DATED SEPTEMBER 2, 1981.
THE PARCEL IS LOCATED IN THE FARM ZONING DISTRICT.
MINIMUM CONSERVATION LOT SIZE = 30,000 sf
MINIMUM CONSERVATION LOT STREET FRONTAGE = 100' (50' ON CUL-DE-SAC)
MINIMUM CONSERVATION LOT FRONT SETBACK = 25'
MINIMUM CONSERVATION LOT SIDE & REAR SETBACK = 10'
SETBACK ALONG EXISTING ROAD = 100'
SETBACK FROM EXTERIOR (PERIMETER) LOT LINE = 50'
- WETLANDS WERE TAKEN FROM A PLAN ENTITLED "PRELIMINARY NATURAL RESOURCES SURVEY, BETTY LANE, WINDHAM", DATED FEBRUARY 8, 2023, PREPARED BY BASSWOOD ENVIRONMENTAL.
- LOTS ARE TO BE SERVICED BY PRIVATE WATER, PRIVATE SEPTIC SYSTEMS AND OVERHEAD AND UNDERGROUND UTILITIES.
- ALL NEW PRINCIPAL STRUCTURES WILL BE LOCATED WITHIN THE BUILDING ENVELOPES. NO MULTIPLE DWELLING UNITS SHALL BE PLACED ON ANY LOT.
- BETTY LANE SHALL REMAIN PRIVATE AND TO BE MAINTAINED BY THE DEVELOPER OR THE LOT OWNERS AND SHALL NOT BE ACCEPTED OR MAINTAINED BY THE TOWN. A ROAD OWNERS ASSOCIATION SHALL BE DEVELOPED TO ESTABLISH AND DETERMINE THE ALLOWABLE USES AND RESPONSIBILITIES OF EACH LOT OWNER WITH REGARDS TO UPKEEP, MAINTENANCE AND REPAIR OF SAID ROAD.
- TEST PITS 1-6 WERE PERFORMED BY BASSWOOD ENVIRONMENTAL IN FEBRUARY 2024. TEST PITS MC1-MC14 WERE PERFORMED BY MARC CENSI GEOLOGIC, INC. IN MARCH 2024.
- APPROXIMATE WELL EXCLUSION AREAS ARE SHOWN AS BEING 100' FROM THE TEST PITS. ACTUAL LOCATION WILL BE 100' FROM THE EDGES OF THE SEPTIC SYSTEMS ONCE THEY ARE CONSTRUCTED.

NET RESIDENTIAL AREA & DENSITY

TOTAL PARCEL AREA -	12.84 ACRES (559,241 ± sf)
DEDUCTIONS	
a) PROPOSED ROAD R/W	= 48,113 sf
b) SLOPES GREATER THAN 25%	= 0 sf
c) LAND WITHIN 100-YEAR FLOOD ZONE	= 0 sf
d) VERY POORLY DRAINED SOILS	= 0 sf
e) AREAS WITHIN RESOURCE PROTECTION ZONE	= 0 sf
f) UNSUITABLE DUE TO DRAINAGE/WETLANDS	= 19,080 sf
g) WATER BODIES	= 0 sf
h) WILDLIFE HABITAT	= 0 sf
i) ENDANGERED SPECIES	= 0 sf
TOTAL DEDUCTIONS	= 121,253 sf
TOTAL PARCEL AREA MINUS DEDUCTIONS	= 431,988 sf

REQUIRED OPEN SPACE CALCULATION FOR CONSERVATION LOTS
DEDUCTED AREA (121,253 sf) PLUS 50% OF REMAINING AREA (219,994 sf) = 343,249 sf (MIN.)
TOTAL OPEN SPACE PROVIDED = 321,150 sf

NET DENSITY CALCULATION
REMAINING AREA (431,988 sf) DIVIDED BY FARM DISTRICT NET DENSITY (60,000)
= 120 LOTS ALLOWED

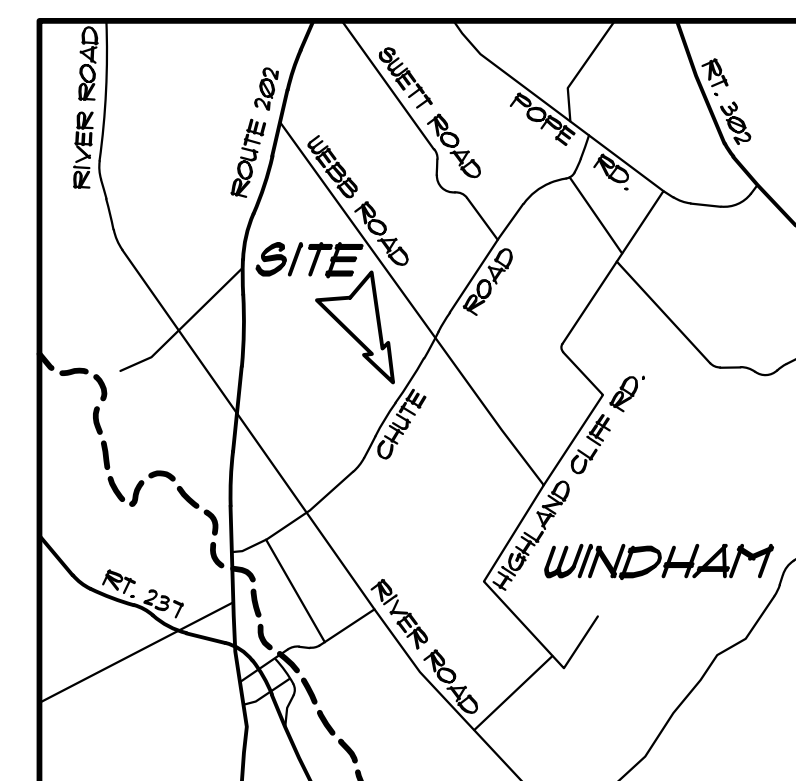


LEGEND

---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER PARCEL)
-----	STONE WALL
-----	BUILDING SETBACK
-----	UTILITY POLE WITH OVERHEAD WIRES
-----	IRON PIPE OR ROD FOUND (PER PLAN IN NOTE 1)
-----	IRON ROD TO BE SET
-----	GRANITE MONUMENT TO BE SET
-----	IRON ROD SET ON CONSERVATION BUFFER
-----	EXISTING CONTOUR
-----	EXISTING TREELINE
-----	NEW TREELINE
-----	REMOVE TREELINE
-----	NOW OR FORMERLY
-----	BOOK AND PAGE NUMBER
-----	TAX MAP AND LOT NUMBER
-----	TEST PIT (SEE NOTE 13)
-----	PROPOSED BUILDING (SCHEMATIC)
-----	EXISTING BUILDING
-----	EXISTING PAVEMENT
-----	PROPOSED ROAD/DRIVEWAY (SCHEMATIC)
-----	WELL EXCLUSION AREA (SEE NOTE 14)
-----	PROPOSED DRILLED WELL (SCHEMATIC)

SOILS LEGEND

BvB	LAMOINE SILT LOAM, 3-8% SLOPES (HYDROGEOLOGIC SOILS TYPE C/D)
BgB	NICHOLVILLE VERY FINE SANDY LOAM, 3-8% SLOPES (HYDROGEOLOGIC SOILS TYPE C)
BvC2	BUXTON SILT LOAM, 8-15% SLOPES (HYDROGEOLOGIC SOILS TYPE C/D)



LOCATION MAP

TOPOGRAPHIC SITE PLAN

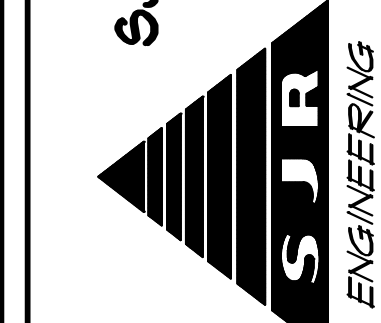
BETTY LANE
(FORMERLY BETTY LANE)
WINDHAM, MAINE
PREPARED FOR
RCI, LLC

366 ROUTE 1 - FALMOUTH, MAINE 04005

DATE	PROJECT
3-21-2024	2024-05
DRAWN BY	SCALE
SJR	1" = 50'

SHEET 2

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6243 tel
steve@sjeeng.com



1	SJR	3-21-24	RECONFIGURE BUILDINGS AND DRIVEWAYS
1	SJR	3-20-24	ADDED TEST PITS MC15 AND MC16
1	SJR	3-3-24	PER UNDHAM REVIEW COMMENTS
REV:	BY:	DATE:	CHANGES:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF ALL STORMWATER MANAGEMENT STRUCTURES TO BE BUILT AS PART OF THIS PROJECT. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERFERE THE CONSTRUCTION PLANS FOR THE CONTRACTOR. ONCE ALL STORMWATER MANAGEMENT STRUCTURES ARE CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER SHALL NOTIFY THE TOWN OF WINDHAM AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION IN WRITING WITHIN 30 DAYS TO STATE THAT THE STRUCTURES WERE PROPERLY CONSTRUCTED. ANY ENGINEER'S NOTIFICATION SHALL BE A COPY OF THE TEST RESULTS FOR ANY SOIL FILL, AGGREGATE OR MULCH MATERIALS USED IN THE CONSTRUCTION OF THE STORMWATER MANAGEMENT STRUCTURES. A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION AND THE TIME INSPECTED ON EACH VISIT.

CONSTRUCTION INSPECTIONS - AT A MINIMUM, THE PROFESSIONAL ENGINEER'S INSPECTION SHALL OCCUR AFTER FOUNDATION SOIL PREPARATION BUT PRIOR TO PLACEMENT OF THE EMBANKMENT FILL, AFTER THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED, AFTER THE PIPE BEDDING IS PLACED BUT PRIOR TO THE PLACEMENT OF THE FILTER MEDIA, AND AFTER THE FILTER MEDIA HAS BEEN PLACED AND THE FILTER SURFACE SEEDDED.

TESTING AND SUBMITTALS - ALL THE SOIL, MULCH, AND AGGREGATE USED FOR THE CONSTRUCTION OF THE VEGETATED UNDERDRAINED SOIL FILTER BASIN SHALL BE CONFIRMED AS SUITABLE BY TESTING. THE CONTRACTOR SHALL IDENTIFY THE SOURCE OF EACH MATERIAL AND OBTAIN 8 SAMPLES FROM EACH MATERIAL FOR TESTING. ALL TESTING SHALL BE DONE BY A CERTIFIED LABORATORY. ALL RESULTS OF FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENFORCE COMPLETION OF THE FOLLOWING SAMPLING AND TESTING BEFORE THE FILL OR AGGREGATE IS PLACED AS PART OF THE VEGETATED UNDERDRAINED SOIL FILTER BASIN'S CONSTRUCTION.

OBTAIN A SAMPLE OF THE FILTER MEDIA CONSISTING OF A BLEND OF SAND, TOPSOIL, AND WOOD FIBER MULL (OR OTHER APPROVED ORGANIC SOURCE). THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM ANALYSES OF THE BLENDED FILTER MEDIA SHOWING IT HAS 8% TO 12% BY WEIGHT PASSING THE #20 SIEVE AS DETERMINED BY ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES 1996A), HAS A CLAY CONTENT OF LESS THAN 2% AND HAS AN ORGANIC MATTER CONTENT OF NO LESS THAN 10% BY DRY WEIGHT.

IF THE UNDERDRAIN PIPES WILL BE BEDDED IN GRAVEL, OBTAIN A SAMPLE OF THE GRAVEL FILL TO BE USED FOR THE PIPE BEDDING. THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE OR PIT FACE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES 1996A) OF THE GRAVEL TO BE USED FOR THE UNDERDRAIN PIPE BEDDING. THE GRAVEL FILL MUST CONFORM TO MEDOT SPECIFICATION 103.22 UNDERDRAIN TYPE B.

IF THE UNDERDRAIN PIPE WILL BE BEDDED IN CRUSHED STONE, OBTAIN A SAMPLE OF THE CRUSHED STONE TO BE USED FOR THE PIPE BEDDING. THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES 1996A) OF THE CRUSHED STONE TO BE USED FOR THE UNDERDRAIN PIPE BEDDING. THE CRUSHED STONE FILL MUST CONFORM TO MEDOT SPECIFICATION 102.022 UNDERDRAIN TYPE C.

THE SOIL FILTER IS PART OF A TOWN OF WINDHAM PERMIT. CONSTRUCTION SHALL FOLLOW CURRENT MAINE DEP GUIDELINES WHICH INCLUDE APPROVAL OF MATERIAL PRIOR TO PLACEMENT AND CONSTRUCTION OVERSIGHT BY THE DESIGN ENGINEER.

SUBMIT SAMPLES AND GRADATIONS FOR EACH MATERIAL TO BE USED. PROVIDE EXPECTED DESIGN MIX. PERFORM AND PROVIDE STANDARD PROCTOR ON COMBINED MIXTURE AS WELL AS A PERMEABILITY TEST.

SCARIFY TO LOOSEN EXISTING SOIL AT LEAST 8" PRIOR TO LAYING FIRST LAYER OF THE SOIL FILTER SECTION.
MAXIMUM SPACING OF UNDERDRAIN PIPING IS 10' O.C. END CAPS SHALL BE INSTALLED ON ALL UNDER DRAIN PIPES.

AFTER APPROVAL OF MATERIAL, PLACE FILTER MEDIA IN TWO LIFTS WITH LOW WEIGHT VEHICLES TO 90-92% STANDARD PROCTOR.

PROVIDE 2" OF BARK MULCH OR EROSION CONTROL MIX ON TOP OF THE FILTER BED UNTIL THE SITE HAS PROPOSED HARDSCAPE PLACED AND HAS VEGETATION WELL ESTABLISHED EVERYWHERE ELSE. ONCE THE SITE IS STABILIZED, REMOVE THE MULCH AND ACCUMULATED SEDIMENT FROM THE FILTER AND ESTABLISH VEGETATION PER THE FILTER BED SEEDING PLAN.

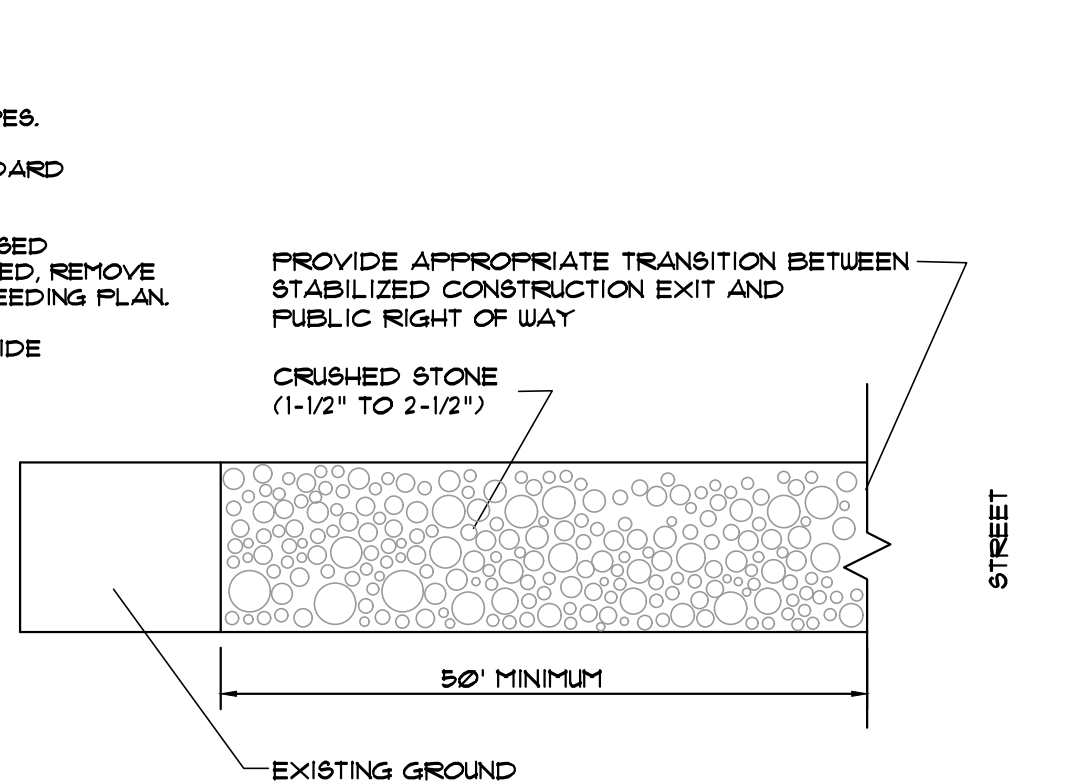
PRIOR TO TURNING OVER TO OWNER, REMOVE SEDIMENT AND DEBRIS FROM FILTER SURFACE, OVERFLOW WEIR, INSIDE OVERFLOW STRUCTURE AND DISCHARGE PIPE.

SOIL FILTER MEDIA SPECIFICATIONS *			
FILTER MEDIA	SAND	TOPSOIL	MULCH
MIXTURE BY VOL.	50% (+5%)	25% (+5%)	25% (+5%)
SPECIFICATION	MEDOT SPEC. M103.01 FINE AGGREGATE FOR CONCRETE	USDA LOAMY SANDY TOPSOIL	WOODY FIBER / MODERATELY FINE, SHREDDED BARK SUPER-4 PLUS OR EQUAL, ADJUSTED FOR MINERAL SOIL CONTENT WITH LESS THAN 5% PASSING THE 200 SIEVE
GRADATION			
SIEVE SIZE	% BY WEIGHT	% BY WEIGHT	% BY WEIGHT
3/8"	100	-	-
4	90-100	75-95	-
8	80-100	-	-
10	-	60-90	-
16	50-85	-	-
30	25-60	-	-
40	-	35-85	-
60	10-30	-	-
100	2-10	-	-
200	0-5	15-25	-
200 CLAY	< 2% **	< 2% **	< 2% **
* FOR GRASSSED UNDERDRAIN FILTER BMP, PER THE MAINE DEP VOLUME III : BMP'S TECHNICAL DESIGN MANUAL, MAY 2014			
** COMBINED MIXTURE CLAY CONTENT SHALL NOT EXCEED 2%			
NOTE: THE SOIL FILTER MEDIA SHALL DRAIN IN NO LESS THAN 24 hrs BUT NOT MORE THAN 48 hrs.			

NOTE:
FILTER POND SOIL FILTER DETAILS DEPICTS ELEVATIONS AT THE
BOTTOM PERIMETER OF THE POND AND NOT THE LOW POINT OF
THE POND. SEE SITE PLAN GRADING AND SECTION FOR LOW POINT
OF ELEVATION (TYPICALLY NEAR THE CONTROL STRUCTURE)

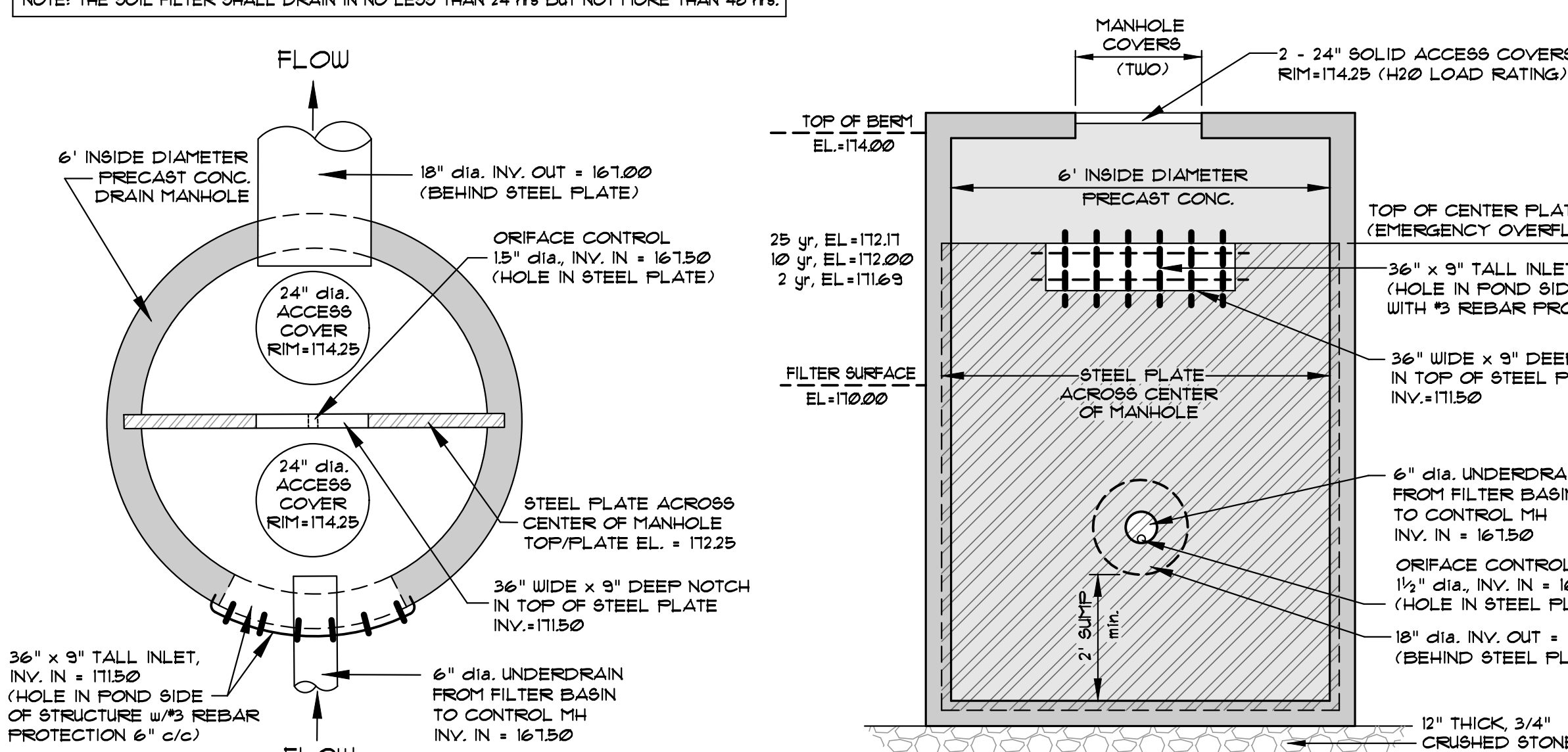
VEGETATION: THE SOIL FILTER SURFACE MUST BE PLANTED
WITH 2" SANDY LOAM & SEEDING WITH MIXTURE SHOWN BELOW
CREEPING RED FESCUE - 15 lbs/ACRE
TALL FESCUE - 15 lbs/ACRE
BIRDFOOT TREFOIL - 8 lbs/ACRE
PERENNIAL RYE GRASS - 5 lbs/ACRE
REDTOP OR CLOVER - 5 lbs/ACRE
TOTAL - 48 lbs/ACRE
NOTE: SEEDS LATER SHALL BE COVERED WITH A THIN LAYER OF STRAW/HAY.
SEEDING AREA SHALL BE KEPT MOIST UNTIL VEGETATION IS WELL ESTABLISHED.

NOT TO SCALE

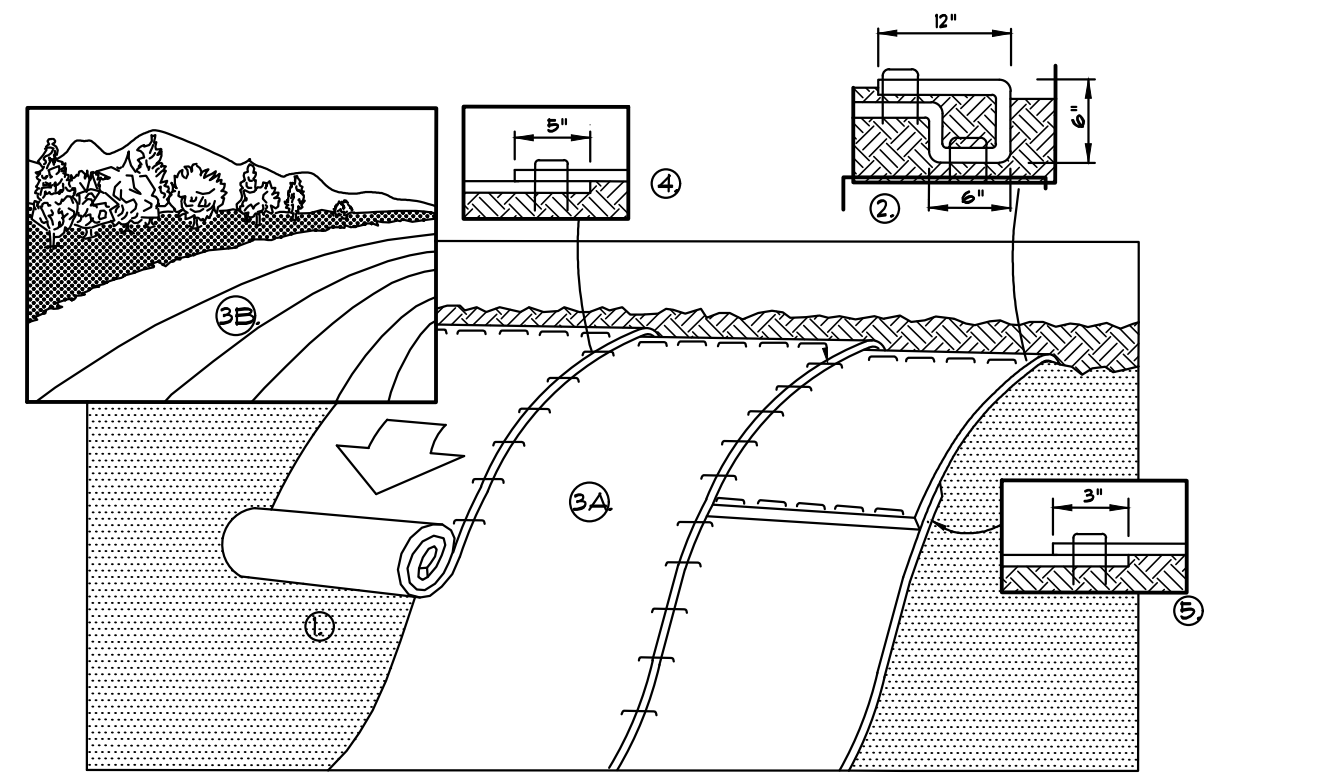


1. STONE SIZE - AASHTO DESIGNATION M 43, SIZE 2 ($2\frac{1}{2}$ - $1\frac{1}{2}$ ") USE CRUSHED STONE
2. LENGTH - 48 EFFECTIVE BUT NOT LESS THAN 50'
3. THICKNESS - NOT LESS THAN 6"
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH APPROVED COAL STONE, CRUSHED STONE, AND REPAIR AND/or CLEANOUT OF ANY MEASURED USES TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

NOT TO SCALE

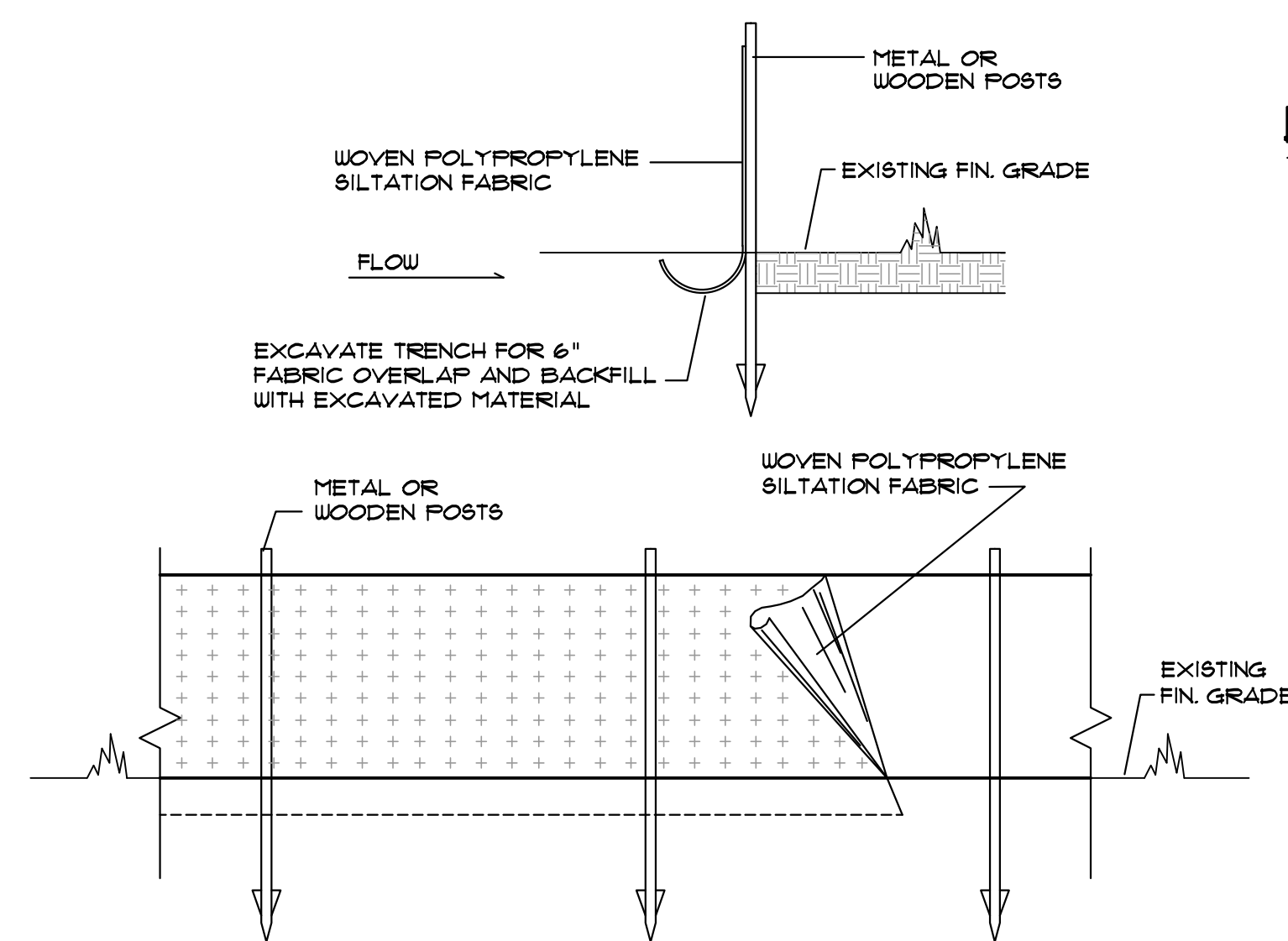


(NOT TO SCALE)



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET TO THE SOIL OF THE TRENCH BY DRIVING 1/2" GALVANIZED STEEL STAPLES OR COPIES OF THE TRENCH AFTER UNROLLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER THE SEED. STAPLE THE BACK OF THE BLANKET TO THE SOIL OF THE TRENCH WITH APPROXIMATELY 12" OF STAPLES/STAKES SPACED APPROXIMATELY 2' APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES AT APPROPRIATE SPACING ALONG THE ENTIRE LENGTH OF THE BLANKET.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SIDE ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) IN THE TRENCH OF THE COLOR-BARRED SEAM BEHIND THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS INSTALLED DOWN SLOPE MUST BE PLACED END OVER END (SINGLE STYLE) WITH AN APPROX. 3' OVERLAP. STAPLE THROUGH OVERLAP WITH APPROXIMATELY 12" GALVANIZED STEEL STAPLES OR COPIES OF THE TRENCH AFTER UNROLLING. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTH GREATER THAN 6" MAY BE NECESSARY TO SECURE.

NOT TO SCALE



REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL:

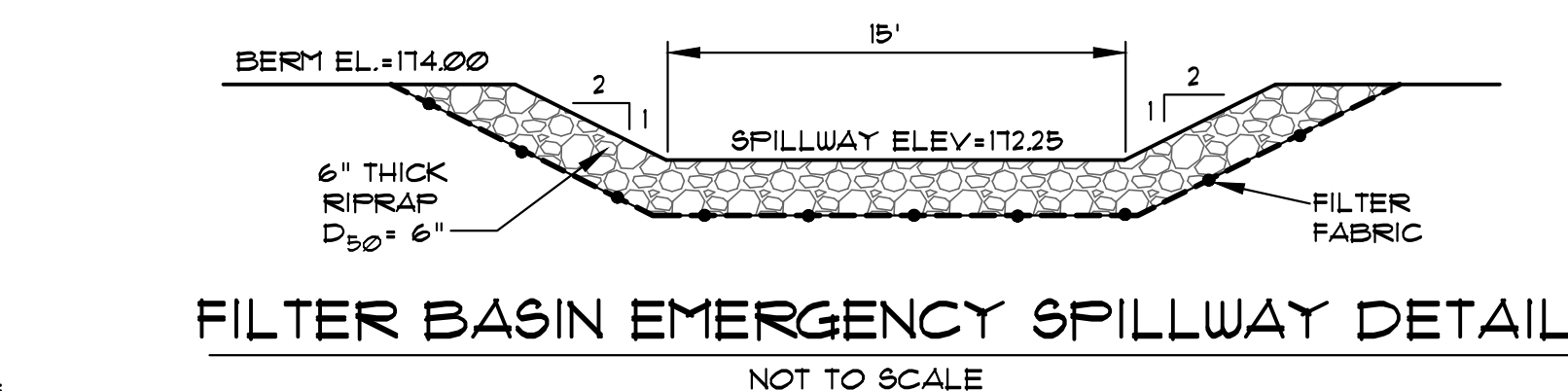
NOT TO SCALE

1) SEE SHEETS 1 & 2 FOR SITE SPECIFIC NOTES.

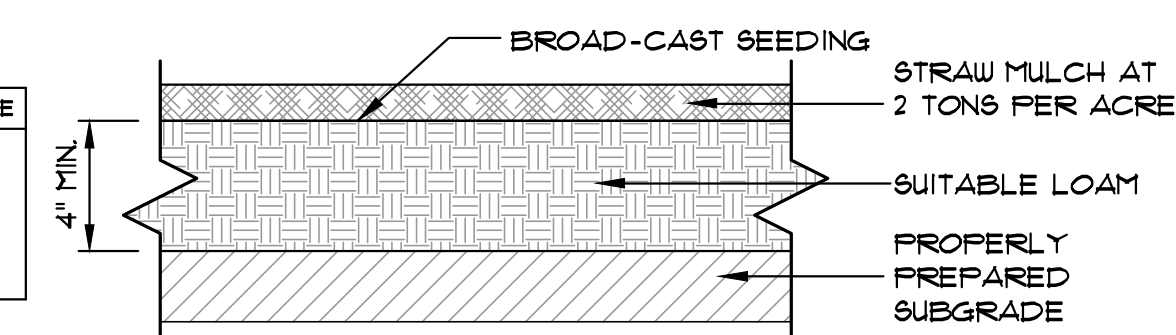
- 3) THE WORK SHALL BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR AFFRONTMENT TO THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- 4) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
- 5) ALL CONSTRUCTION WITHIN THE TOWN OF WINDHAM RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
- 6) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN OF WINDHAM PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF WINDHAM AND/OR MDOT. REFERENCE TO PERMIT ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.), THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- 7) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (811) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- 8) THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- 9) OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCRoACHING ON THIS REQUIREMENT.
- 10) IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
- 11) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- 12) THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY THE TOWN OF WINDHAM CEO. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 13) TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE TRAFFIC CONTROL DURING THE ENTIRE PROJECT TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROL PERSONNEL AS REQUIRED OR ORDERED BY THE DESIGN ENGINEER OR CODE ENFORCEMENT PERSONNEL. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE TOWN. PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH MDOT SPECIFICATIONS. TWELVE INCH (12") WIDE STOP BAR AND FOUR INCH (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
- 14) THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
- 15) THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT MATERIALS AND COMPACTION TESTING AT NO COST TO THE OWNER. RESULTS OF THE TESTING ARE TO BE SUPPLIED TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.
- 16) ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
- 17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- 18) THE CONTRACTOR SHALL FURNISH ELECTRICAL, POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE SHOULD THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.
- 19) WORK MAY PROGRESS MONDAY THROUGH FRIDAY 7:00 AM TO 5:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE TOWN OF WINDHAM. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN THE CITY LAND USE ORDINANCE REGULATIONS.
- 20) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEE PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- 21) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- 22) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION, THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
- 23) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
- 24) ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULES BASED UPON PLAN REVIEW. SCHEDULES SHALL BE VERIFIED IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING MATERIALS AND PERFORMING THE WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MDOT STANDARD SPECIFICATIONS, LATEST REVISION.

1) ALL STREET RELATED SIGNS TO BE INSTALLED ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MDOT AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

- 2) PROPERTY LINE AND RIGHT OF WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTORS EXPENSE BY A MAINE PROFESSIONAL LAND SURVEYOR.

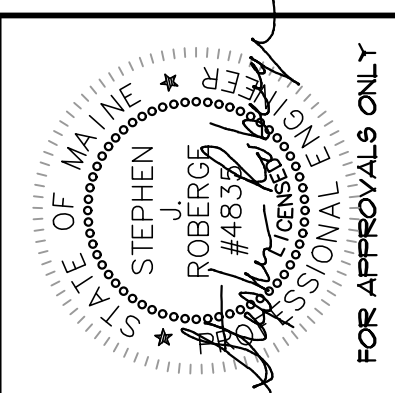
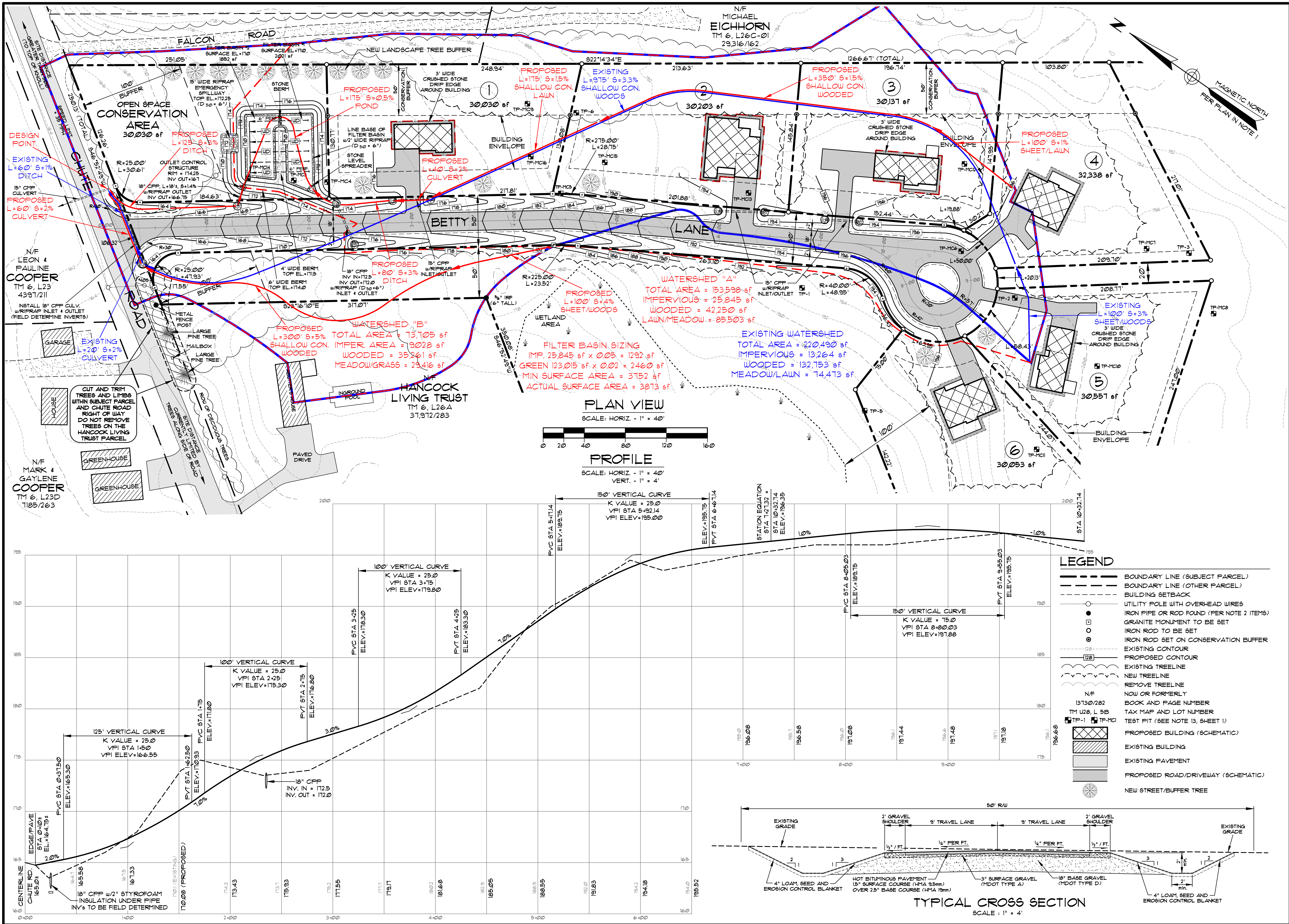


PERMANENT SEED MIX	APPLICATION RATE
	<u>lbs/1000 sf</u>
KENTUCKY BLUEGRASS	.46
CREEPING RED FESCUE	.46
PERENNIAL RYEGRASS	.11
TOTAL SEED RATE	<u>1.03</u>



PLACE LOAM & SEED ON ALL DISTURBED
AREAS NOT TO BE RIP RAPPED OR GRAVELED

NOT TO SCALE



REV.	BY:	DATE:	CHANGES:
2	SJR	3-21-24	RECONFIGURE DRIVEWAYS AND BUILDINGS
1	SJR	3-20-24	ADDED TEST PITS MC15 AND MC16

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6243 tel
steve@sjeeng.com

SJR ENGINEERING

WATERSHED PLAN
BETTY LANE
(FORMERLY BETTY LANE)
WINDHAM, MAINE
PREPARED FOR
RCI, LLC
366 ROUTE 11 - FALMOUTH, MAINE 04105

DATE	PROJECT
MARCH 2024	2024-05
DRAWN BY	SCALE
SJR	1" = 40'

SHEET W3-1