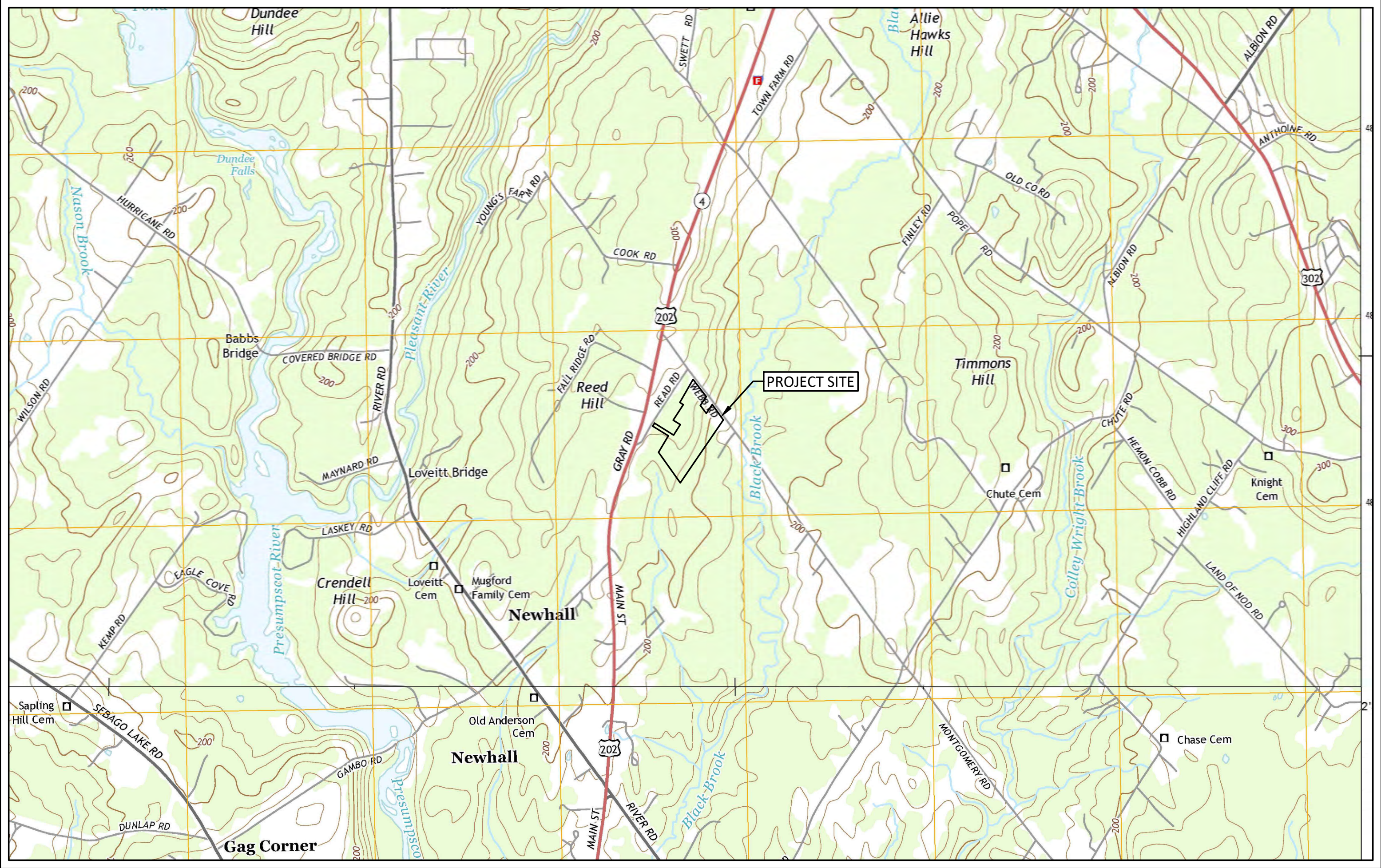


LEGACY VILLAGE RETIREMENT COMMUNITY

WEBB ROAD & LEGACY DRIVE
WINDHAM, MAINE

CONSULTANTS	
CIVIL ENGINEER	DM ROMA CONSULTING ENGINEERS
LAND SURVEYOR & GEOLOGIST	MAIN-LAND DEVELOPMENT CONSULTANTS, INC.
SITE EVALUATOR & WETLAND SCIENTIST	MAINELY SOILS, LLC
SOILS SCIENTIST	MARK HAMPTON ASSOCIATES



PROJECT VICINITY MAP

ISSUED FOR PRELIMINARY REVIEW - NOT FOR CONSTRUCTION
AUGUST 4, 2026

PREPARED BY:

DM ROMA

CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

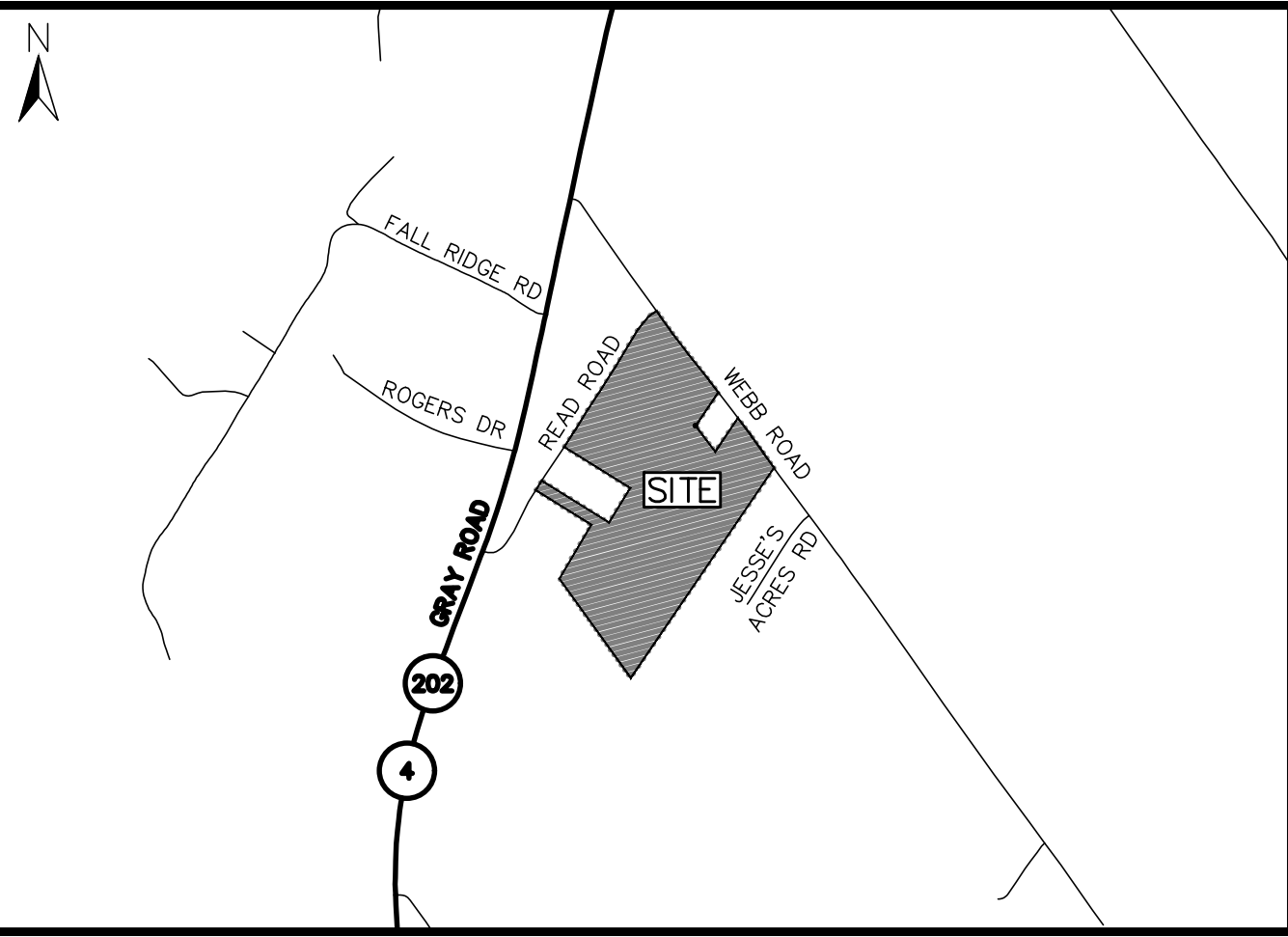
APPLICANT:
ROBIE HOLDINGS, LLC
P.O. BOX 1508
WINDHAM, MAINE 04062

LEGACY VILLAGE RETIREMENT COMMUNITY DRAWING SHEET INDEX

PAGE NO.	DESCRIPTION
1	TITLE SHEET
2	BOUNDARY SURVEY & LOT DIVISION PLAN
3	SUBDIVISION PLAN
4	SITE PLAN
5	SITE PLAN
6	ROADWAY PLAN AND PROFILE: WEBB ROAD
7	ROADWAY PLAN AND PROFILE: WEBB ROAD
8	ROADWAY PLAN AND PROFILE: ROAD A
9	ROADWAY PLAN AND PROFILE: ROAD A
10	STORMWATER POND PLAN
11	DETAILS
12	DETAILS
13	DETAILS

PERMITTING PLAN ATTACHMENTS

HIGH INTENSITY SOILS SURVEY
WASTEWATER DISPOSAL DESIGN
WATERSHED MAP: EXISTING CONDITION
WATERSHED MAP: DEVELOPED CONDITION



LOCATION MAP 1" = 1,000'

NOTES

- ALL BEARINGS ARE REFERENCED TO MAINE STATE GRID, WEST ZONE, NAD83 BASED UPON GPS OBSERVATIONS NEAR THE SURVEYED PROPERTY.
- TOWN OF WINDHAM, MAINE: TAX MAP 6, LOT 33.
- OWNER OF RECORD AT TIME OF SURVEY: JOHN S. & IRENE T. ANDREW: BOOK 39341, PAGE 33.
NOTE: JOHN S. ANDREW PASSED AWAY IN OCTOBER 2024. IRENE T. ANDREW IS PRESUMED TO HAVE INHERITED HIS ESTATE AS NO PROBATE DOCUMENTS HAVE BEEN PROVIDED AS OF THE DATE OF THIS SURVEY.
- THE TOTAL AREA OF THE SURVEYED PROPERTY IS APPROXIMATELY 25.17 ACRES, MORE OR LESS.
 - AREAS RESULTING FROM THE PROPOSED DIVISIONS SHOWN HEREON ARE AS FOLLOWS:

LOT 1:	±84,230 SQ. FT. (±1.93 ACRES)
LOT 2:	±930,307 SQ. FT. (±21.36 ACRES)
REMAINING LAND:	±81,880 SQ. FT. (±1.88 ACRES)
- ALL BOOK AND PAGES REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- TREELINES SHOWN HEREON ARE APPROXIMATE AND WERE DIGITIZED FROM GOOGLE EARTH AERIAL PHOTOGRAPHY.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK COMPLETED IN DECEMBER 2024. MAIN-LAND MAY ADJUST PLAN AND FINDINGS IF ADDITIONAL EVIDENCE BECOMES APPARENT.
- NO APPARENT ENCROACHMENTS WERE OBSERVED AT TIME OF SURVEY.
- SUMMARY OF APPARENT ENCROACHMENTS:
 - NONE OBSERVED.
- ROAD NOTES:
 - WEBB ROAD:
THE LOCATION OF THE WEBB ROAD R/W SHOWN HEREON IS ASSUMED ASSUMED BASED UPON THE CENTER OF THE EXISTING TRAVELED WAY AND MONUMENTATION RECOVERED ALONG THE APPARENT SIDELINE, HOLDING AN ASSUMED WIDTH OF 66' (4 RODS).
 - READ ROAD:
THE LOCATION OF THE READ ROAD R/W SHOWN HEREON IS ASSUMED BASED UPON THE CENTER OF THE EXISTING TRAVELED WAY AND MONUMENTATION RECOVERED ALONG THE APPARENT SIDELINE, HOLDING AN ASSUMED WIDTH OF 49.5' (3 RODS).
- DIVISION NOTES:
 - PURSUANT TO MRS TITLE 30-A, §4401.4.A(1), THE CREATION OF LOTS 1 & 2 DOES NOT CONSTITUTE A SUBDIVISION, AS BOTH DIVIDINGS ARE ACCOMPLISHED BY A SUBDIVIDER WHO HAS RETAINED ONE OF THE LOTS FOR THE SUBDIVIDER'S OWN USE AS A SINGLE-FAMILY RESIDENCE THAT HAS BEEN THE SUBDIVIDER'S PRINCIPAL RESIDENCE FOR A PERIOD OF AT LEAST 5 YEARS PRECEDING THE 2ND DIVISION.

LAND USE STANDARDS:

THE SURVEYED PROPERTY IS LOCATED IN THE FARM (F) DISTRICT. DIMENSIONAL STANDARDS PURSUANT TO THE TOWN OF WINDHAM LAND USE CODE §120-406E ARE AS FOLLOWS:

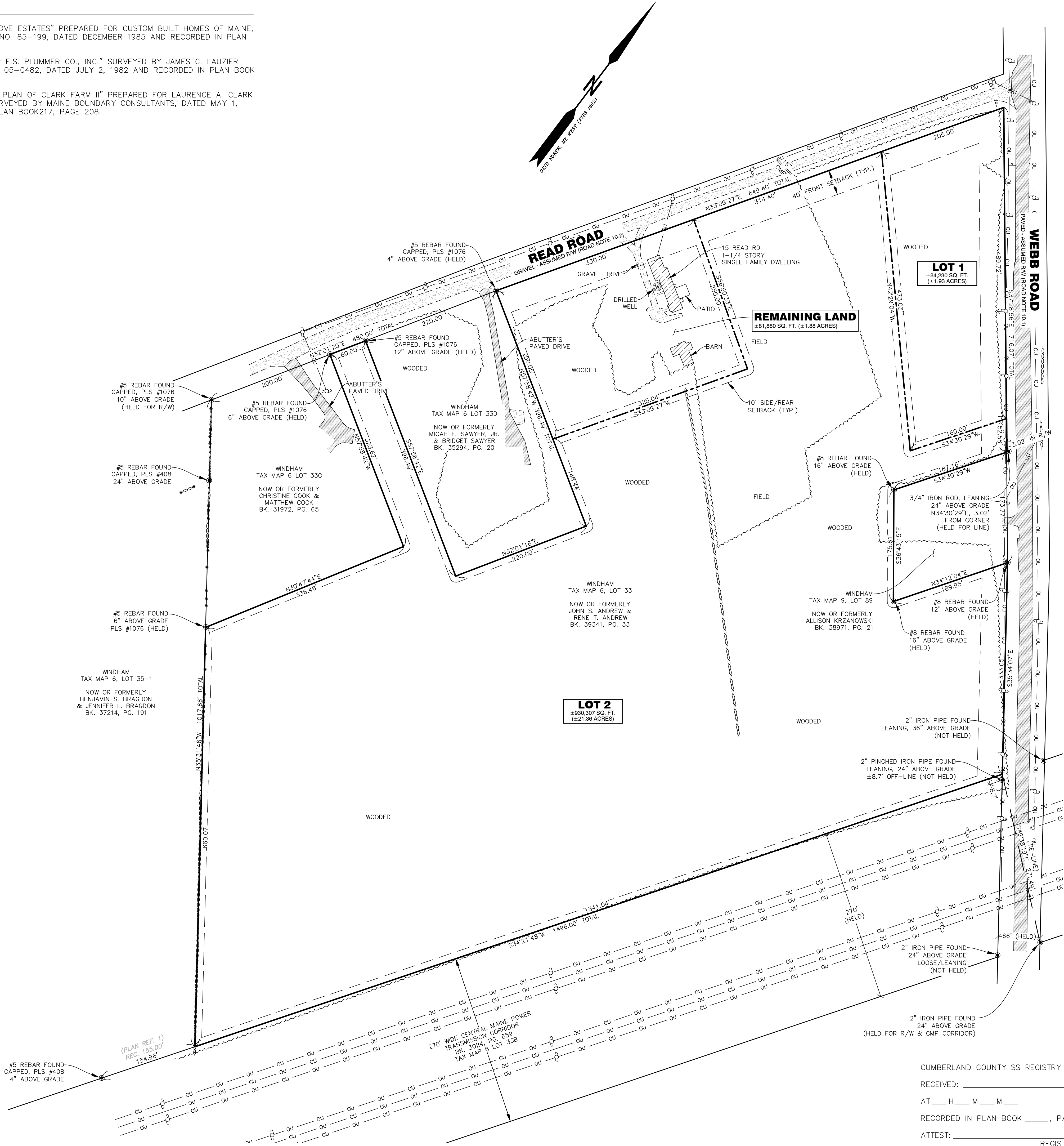
MINIMUM LOT SIZE:	80,000 SQ. FT.
MINIMUM NET RESIDENTIAL DENSITY:	60,000 SQ. FT.
MINIMUM FRONTAGE:	200 FEET
MINIMUM FRONT SETBACK:	40 FEET
MINIMUM SIDE SETBACK:	10 FEET
MINIMUM REAR SETBACK:	10 FEET
MAXIMUM BUILDING HEIGHT:	35 FEET
MAXIMUM BUILDING COVERAGE:	25%

LEGEND

●	IRON ROD/PIPE FOUND, AS NOTED
•	OLD FENCE POST FOUND
•	HOLE IN ROCK FROM OLD FENCE POST
○	5/8" IRON ROD, CAPPED, "PLS #2584" SET, AS NOTED
⊙	UTILITY POLE
—	GUY WIRE
—	EXISTING BOUNDARY LINE (SURVEYED)
---	PROPOSED BOUNDARY LINE
---	ABUTTING BOUNDARY LINES (APPROX.)
---	BUILDING SETBACK LINE
---	STONEWALL
—	OVERHEAD UTILITIES
---	TREELINE (APPROX.)
---	PAVEMENT
---	GRAVEL
+	SIGN

PLAN REFERENCES

- "FINAL PLAN - BEECH GROVE ESTATES" PREPARED FOR CUSTOM BUILT HOMES OF MAINE, SURVEYED BY BH2M, JOB NO. 85-199, DATED DECEMBER 1985 AND RECORDED IN PLAN BOOK 158, PAGE 64.
- "PLAN OF LAND MADE FOR F.S. PLUMMER CO., INC." SURVEYED BY JAMES C. LAUZIER LAND SURVEYING, JOB NO. 05-0482, DATED JULY 2, 1982 AND RECORDED IN PLAN BOOK 135, PAGE 39.
- "FINAL MINOR SUBDIVISION PLAN OF CLARK FARM II" PREPARED FOR LAURENCE A. CLARK & KATHRYN S. CLARK, SURVEYED BY MAINE BOUNDARY CONSULTANTS, DATED MAY 1, 2017 AND RECORDED IN PLAN BOOK217, PAGE 208.



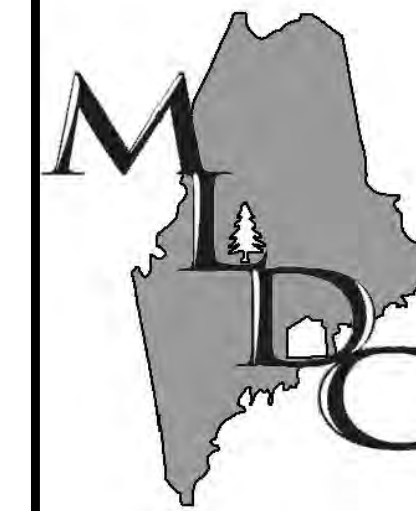
CUMBERLAND COUNTY SS REGISTRY OF DEEDS

RECEIVED: _____

AT ____ H ____ M ____

RECORDED IN PLAN BOOK _____, PAGE _____

ATTEST: _____ REGISTER



MAIN-LAND DEVELOPMENT CONSULTANTS, INC.

59 MAIN ST. LIVERMORE FALLS, MAINE
367 US ROUTE 1 FALMOUTH, MAINE
182A MOOSEHEAD TRAIL NEWPORT, MAINE
PH: (207) 897-4752 FAX: (207) 897-5404
WWW.MAIN-LANDDCI.COM

PLAN SHOWING A STANDARD BOUNDARY SURVEY & PROPOSED LOT DIVISION LAND OF ANDREW

15 READ RD, TOWN OF WINDHAM,
COUNTY OF CUMBERLAND,
STATE OF MAINE

OWNER OF RECORD

JOHN S. & IRENE T. ANDREW

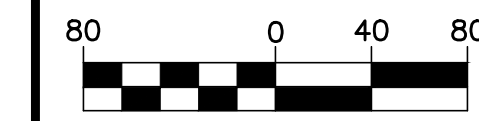
P.O. BOX 178
SOUTH WINDHAM, ME 04082

MADE FOR

BILL ANDREW

17 ALPINE DRIVE
WINDHAM, ME 04062

DRAWING SCALE:



(IN FEET)

1 INCH = 80 FT

REVISION NOTES:

PROJ. MGR: DJH
DRAWN BY: DJH
CHECKED BY: CLB
REVISION NO. N/A
SURVEY DATE: 2024-12-03
SUBMISSION DATE: 2024-04-08
SUBMITTED FOR: FINAL

BOUNDARY SURVEY & LOT DIVISION

SEAL:



DEVON J. HURLEY PLS #2584
DRAWING NO.

S1.1

MLDC NO. 24-387

1 OF 1

- GENERAL NOTES:**
- THE OWNER OF RECORD OF THE PROPERTY IS ROBIE HOLDINGS LLC, BY DEEDS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 41401 PAGE 225 & BOOK 41520 PAGE 17
 - TOTAL AREA OF THE PARCEL IS APPROXIMATELY 21.43 ACRES.
 - PARCEL TAX MAP REFERENCE: TOWN OF WINDHAM ASSESSORS MAP 6, LOT 33-F.
 - PLAN REFERENCES:
 - "BOUNDARY SURVEY & LOT DIVISION", PREPARED FOR JOHN S. & IRENE T. ANDREW, PREPARED BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC. DATED APRIL 8, 2024.
 - HORIZONTAL DATUM: MAINE STATE PLANE, WEST ZONE, NAD83, U.S. FEET.
 - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
 - BOUNDARY SHOWN HEREON IS BASED ON PLAN REFERENCE 4A.
 - TOPOGRAPHIC CONTOURS SHOWN HEREON ARE BASED ON 2-FOOT LIDAR OBTAINED FROM THE MAINE OFFICE OF GIS.
 - THE PROPERTY IS LOCATED IN THE FARM (F) DISTRICT.
 - SPACE AND BULK REQUIREMENTS FOR RETIREMENT COMMUNITY USE IN FARM ZONE:

RETIREMENT COMMUNITY	COUNTRY SUBDIVISION
MIN LOT SIZE: 200,000 SF	6 ACRES
MIN STREET FRONTAGE: 200 FT	75 FT
MIN FRONT YARD: 40 FT	75 FT
MIN SIDE/REAR YARD: 10 FT	75 FT
MAX BUILDING COVERAGE: 25%	25%
MIN PROPERTY LINE BUFFER STRIP:	50 FT
 - WETLAND DELINEATION PERFORMED BY ALEX FINAMORE IN MARCH 2025.
 - SIGHT DISTANCE AT THE PROPOSED LEGACY DRIVE INTERSECTION WITH WEBB ROAD MEASURES MORE THAN 305 FEET IN BOTH DIRECTIONS. SIGHT DISTANCE ALONG THE ENTIRE ROAD FRONTAGE FOR LOT 2 MEASURES MORE THAN 305 FEET IN BOTH DIRECTIONS.
 - LEGACY DRIVE IS CONSIDERED A CONDOMINIUM ACCESS DRIVE AND SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE DEVELOPER OR CONDOMINIUM ASSOCIATION AND SHALL NOT BE OFFERED FOR ACCEPTANCE, OR MAINTAINED, BY THE TOWN OF WINDHAM UNLESS IT MEETS ALL MUNICIPAL STREET DESIGN AND CONSTRUCTION STANDARDS AT THE TIME OF OFFERING.
 - THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE MAINTAINED FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF PLANNING BOARD APPROVAL, AND IN ACCORDANCE WITH SECTION 911.E.1.A OF THE LAND USE ORDINANCE. THE PLANNING BOARD MAY APPROVE REVISIONS OR EXPANSIONS TO THE CLEARING LIMITS AS A PLAN AMENDMENT BEFORE THE 5 YEAR PERIOD HAS PASSED.

- PRIOR TO THE START OF CONSTRUCTION, A MAINE CONSTRUCTION GENERAL PERMIT NOI MUST BE FILED BY THE APPLICANT WITH THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- ALL BUILDING STRUCTURES SHALL REQUIRE THE INSTALLATION OF A ROOFLINE DRIP EDGE AS SPECIFIED ON THE ROOF DRIP EDGE DETAIL ON SHEET D-3.

NET RESIDENTIAL DENSITY CALCULATIONS

COUNTRY SUBDIVISION STANDARDS:

GROSS LAND AREA: 933,647 S.F. (21.43 ACRES)

- DEDUCTIONS:
- RIGHT-OF-WAY 0.5 F.
 - STEEP SLOPES (OVER 25%) 40,227 S.F.
 - 100-YEAR FLOOD PLAIN 0.5 F.
 - RESOURCE PROTECTION DISTRICT 0.5 F.
 - VERY POORLY DRAINED SOILS 36,254 S.F.
 - SURFACE WATERBODIES 0.5 F.
 - SIGNIFICANT WILDLIFE HABITAT 0.5 F.
 - ENDANGERED BOTANICAL RESOURCES 0.5 F.

TOTAL NET AREA: 857,166 S.F.
REQUIRED NET AREA PER LOT: 250,000 S.F.
MAXIMUM ALLOWABLE LOTS: 3

NET RESIDENTIAL DENSITY CALCULATIONS

RETIREMENT COMMUNITY USE:

RETIREMENT COMMUNITY LOT (LOT 1): 667,173 S.F. (15.31 ACRES)

- DEDUCTIONS:
- RIGHT-OF-WAY 0.5 F.
 - STEEP SLOPES (OVER 25%) 20,330 S.F.
 - 100-YEAR FLOOD PLAIN 0.5 F.
 - RESOURCE PROTECTION DISTRICT 0.5 F.
 - VERY POORLY DRAINED SOILS 14,417 S.F.
 - SURFACE WATERBODIES 0.5 F.
 - SIGNIFICANT WILDLIFE HABITAT 0.5 F.
 - ENDANGERED BOTANICAL RESOURCES 0.5 F.

TOTAL NET AREA: 632,425 S.F.
REQUIRED NET AREA PER DWELLING UNIT: 5,000 S.F.
MAXIMUM ALLOWABLE DWELLING UNITS: 126

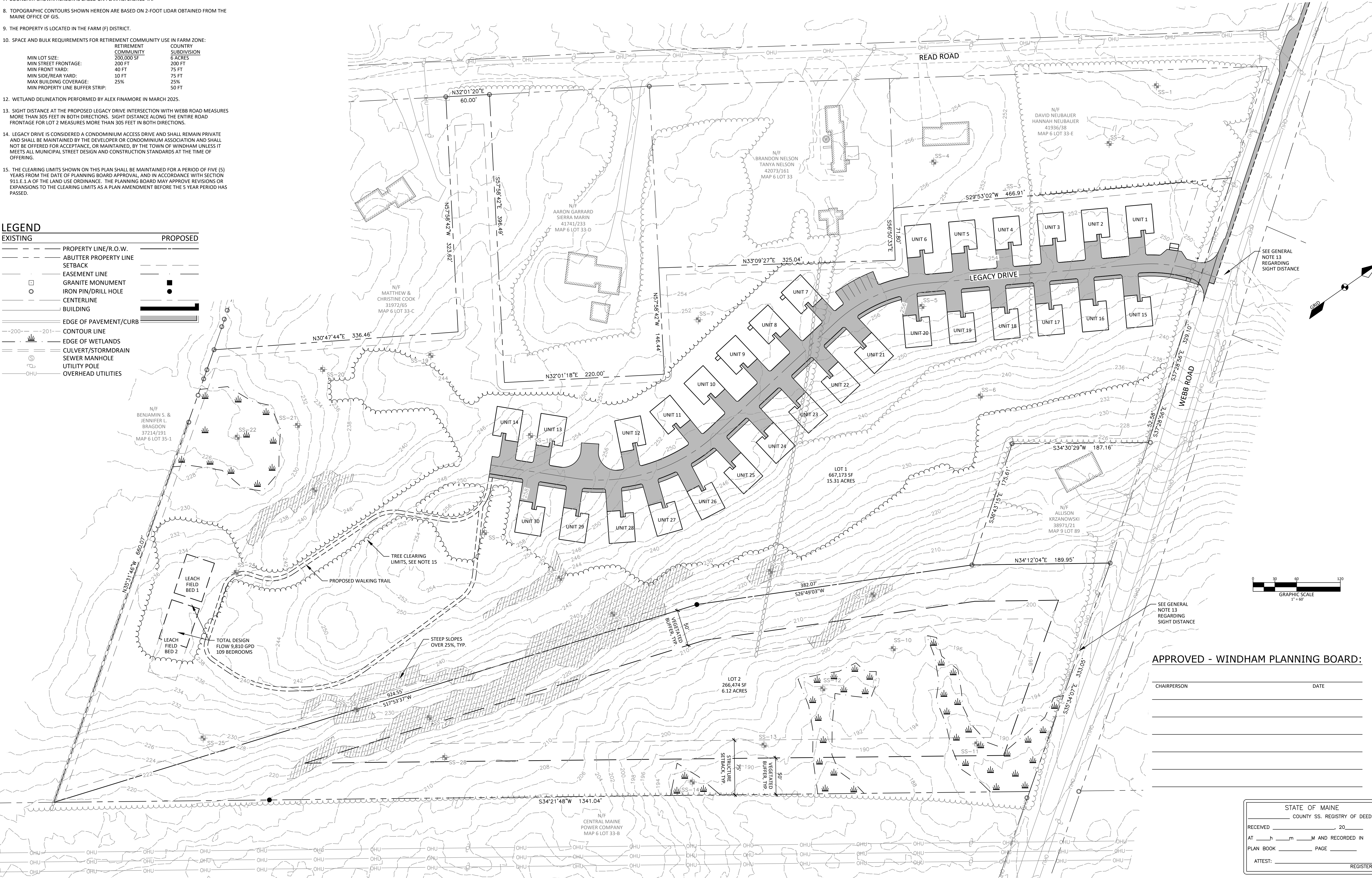
LEGEND

EXISTING

- PROPERTY LINE/R.O.W.
ABUTTER PROPERTY LINE
SETBACK
EASEMENT LINE
GRANITE MONUMENT
IRON PIN/DRILL HOLE
CENTERLINE
BUILDING
EDGE OF PAVEMENT/CURB
CONTOUR LINE
EDGE OF WETLANDS
CULVERT/STORMDRAIN
SEWER MANHOLE
UTILITY POLE
OVERHEAD UTILITIES

PROPOSED

- PROPERTY LINE/R.O.W.
ABUTTER PROPERTY LINE
SETBACK
EASEMENT LINE
GRANITE MONUMENT
IRON PIN/DRILL HOLE
CENTERLINE
BUILDING
EDGE OF PAVEMENT/CURB
CONTOUR LINE
EDGE OF WETLANDS
CULVERT/STORMDRAIN
SEWER MANHOLE
UTILITY POLE
OVERHEAD UTILITIES

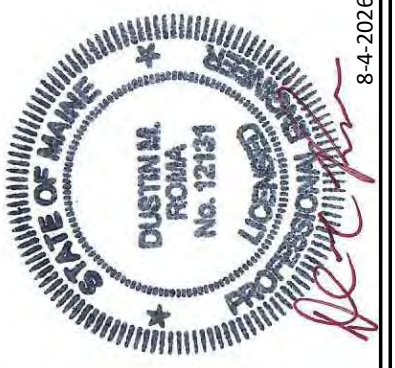


APPROVED - WINDHAM PLANNING BOARD:

CHAIRPERSON	DATE

STATE OF MAINE
COUNTY SS. REGISTRY OF DEEDS
RECEIVED _____, 20____
AT _____ h _____ m _____ M AND RECORDED IN
PLAN BOOK _____ PAGE _____
ATTEST: _____ REGISTER

NOT FOR CONSTRUCTION



DM ROMA
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

REV	DESCRIPTION	BY	DATE
A	ISSUED FOR PERMITTING	DNR	5-19-26
B	ISSUED FOR PERMITTING	DNR	8-4-26

SUBDIVISION PLAN
LEGACY VILLAGE RETIREMENT COMMUNITY
WEBB ROAD
WINDHAM, MAINE
FOR: ROBIE HOLDINGS, LLC
PO BOX 1508
WINDHAM, ME 04062

25007
JOB NUMBER:
1" = 60'
SCALE:
8-4-2026
DATE:
SHEET 3 OF 13
SB-1

GENERAL NOTES:

1. THE OWNER OF RECORD OF THE PROPERTY IS ROBIE HOLDINGS LLC, BY DEEDS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 41401 PAGE 225 & BOOK 41520 PAGE 17
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6. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
7. BOUNDARY SHOWN HEREON IS BASED ON PLAN REFERENCE 4A.
8. TOPOGRAPHIC CONTOURS SHOWN HEREON ARE BASED ON 2-FOOT LIDAR OBTAINED FROM THE MAINE OFFICE OF GIS.
9. THE PROPERTY IS LOCATED IN THE FARM (F) DISTRICT.
10. SPACE AND BULK REQUIREMENTS FOR RETIREMENT COMMUNITY USE IN FARM ZONE:
- | | RETIREMENT COMMUNITY | COUNTRY SUBDIVISION |
|---------------------------------|----------------------|---------------------|
| MIN LOT SIZE: | 200,000 SF | 6 ACRES |
| MIN STREET FRONTAGE: | 200 FT | 200 FT |
| MIN FRONT YARD: | 40 FT | 75 FT |
| MIN SIDE/REAR YARD: | 10 FT | 75 FT |
| MAX BUILDING COVERAGE: | 25% | 25% |
| MIN PROPERTY LINE BUFFER STRIP: | | 50 FT |
12. WETLAND DELINEATION PERFORMED BY ALEX FINAMORE IN MARCH 2025.
13. LEGACY DRIVE IS CONSIDERED A CONDOMINIUM ACCESS DRIVE AND SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE DEVELOPER OR CONDOMINIUM ASSOCIATION AND SHALL NOT BE OFFERED FOR ACCEPTANCE, OR MAINTAINED, BY THE TOWN OF WINDHAM UNLESS IT MEETS ALL MUNICIPAL STREET DESIGN AND CONSTRUCTION STANDARDS AT THE TIME OF OFFERING.
14. THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE MAINTAINED FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF PLANNING BOARD APPROVAL, AND IN ACCORDANCE WITH SECTION 911.E.1.A OF THE LAND USE ORDINANCE. THE PLANNING BOARD MAY APPROVE REVISIONS OR EXPANSIONS TO THE CLEARING LIMITS AS A PLAN AMENDMENT BEFORE THE 5 YEAR PERIOD HAS PASSED.
15. STREET TREES SHALL BE PLANTED IN THE QUANTITY AND GENERAL LOCATION AS SHOWN ON THIS PLAN. MINOR DEVIATION FROM THE DEPICTED LOCATIONS IS PERMITTED UP TO 15 FEET TO AVOID CONFLICTS WITH UTILITIES OR AT THE OWNER'S DISCRETION.

LEGEND

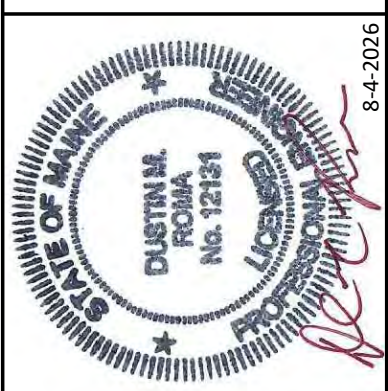
EXISTING	PROPOSED
PROPERTY LINE/R.O.W.	PROPOSED PROPERTY LINE/R.O.W.
ABUTTER PROPERTY LINE	PROPOSED ABUTTER PROPERTY LINE
TIE LINE	PROPOSED TIE LINE
SETBACK	PROPOSED SETBACK
EASEMENT LINE	PROPOSED EASEMENT LINE
GRANITE MONUMENT	PROPOSED GRANITE MONUMENT
IRON PIN/DRILL HOLE	PROPOSED IRON PIN/DRILL HOLE
CENTERLINE	PROPOSED CENTERLINE
BUILDING	PROPOSED BUILDING
EDGE OF PAVEMENT/CURB	PROPOSED EDGE OF PAVEMENT/CURB
EDGE OF GRAVEL	PROPOSED EDGE OF GRAVEL
EDGE OF CONCRETE	PROPOSED EDGE OF CONCRETE
SIGN	PROPOSED SIGN
EDGE OF WETLANDS	PROPOSED EDGE OF WETLANDS
EDGE OF WATER	PROPOSED EDGE OF WATER
CENTERLINE OF STREAM	PROPOSED CENTERLINE OF STREAM
FLOODPLAIN	PROPOSED FLOODPLAIN
CONTOUR LINE	PROPOSED CONTOUR LINE
TREELINE	PROPOSED TREELINE
STONE WALL	PROPOSED STONE WALL
RETAINING WALL	PROPOSED RETAINING WALL
TEST PIT	PROPOSED TEST PIT
CATCHBASIN	PROPOSED CATCHBASIN
DRAINAGE MANHOLE	PROPOSED DRAINAGE MANHOLE
CULVERT/STORMDRAIN	PROPOSED CULVERT/STORMDRAIN
UNDERDRAIN	PROPOSED UNDERDRAIN
SEWER MANHOLE	PROPOSED SEWER MANHOLE
SANITARY SEWER PIPE	PROPOSED SANITARY SEWER PIPE
FORCE MAIN	PROPOSED FORCE MAIN
WATER MAIN	PROPOSED WATER MAIN
WATER METER PIT	PROPOSED WATER METER PIT
WATER VALVE	PROPOSED WATER VALVE
HYDRANT	PROPOSED HYDRANT
AIR RELEASE	PROPOSED AIR RELEASE
WELL	PROPOSED WELL
UTILITY POLE	PROPOSED UTILITY POLE
LIGHT POLE	PROPOSED LIGHT POLE
OVERHEAD UTILITIES	PROPOSED OVERHEAD UTILITIES
UNDERGROUND UTILITIES	PROPOSED UNDERGROUND UTILITIES
TRANSFORMER PAD	PROPOSED TRANSFORMER PAD
GAS MAIN	PROPOSED GAS MAIN
GAS VALVE	PROPOSED GAS VALVE
RIPRAP	PROPOSED RIPRAP
SILT FENCE	PROPOSED SILT FENCE



PLANT LIST

TREES - CANOPY & UNDERSTORY	QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
	32	AR	Acer rebrum	Red Maple	2" CAL.
	21	FF	Abies fraseri	Fraser Fir	6'
SHRUBS	QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
	33	CP	Cornus alba 'Argento-Marginata'	Variegated Red Twig Dogwood	3 GAL.

NOT FOR CONSTRUCTION



DM ROMA
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

REV	DATE	BY	DESCRIPTION
A	5-18-26	DMR	ISSUED FOR PERMITTING
B	8-4-26	DMR	ISSUED FOR PERMITTING

SITE & LANDSCAPING PLAN
LEGACY VILLAGE RETIREMENT COMMUNITY
WEBB ROAD
WINDHAM, MAINE
FOR: ROBIE HOLDINGS, LLC
PO BOX 1508
WINDHAM, ME 04062

25007
JOB NUMBER:
1" = 30'
SCALE:
8-4-2026
DATE:
SHEET 4 OF 13
S-1

- GENERAL NOTES:**
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	RETIREMENT COMMUNITY	COUNTRY SUBDIVISION
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MIN STREET FRONTAGE:	200 FT	200 FT
MIN FRONT YARD:	40 FT	75 FT
MIN SIDE/REAR YARD:	10 FT	75 FT
MAX BUILDING COVERAGE:	25%	25%
MIN PROPERTY LINE BUFFER STRIP:		50 FT
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 - LEGACY DRIVE IS CONSIDERED A CONDOMINIUM ACCESS DRIVE AND SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE DEVELOPER OR CONDOMINIUM ASSOCIATION AND SHALL NOT BE OFFERED FOR ACCEPTANCE, OR MAINTAINED, BY THE TOWN OF WINDHAM UNLESS IT MEETS ALL MUNICIPAL STREET DESIGN AND CONSTRUCTION STANDARDS AT THE TIME OF OFFERING.
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LEGEND

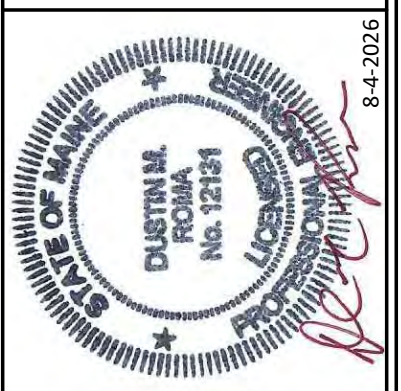
EXISTING	PROPOSED
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	IRON PIN/DRILL HOLE
	CENTERLINE
	BUILDING
	EDGE OF PAVEMENT/CURB
	EDGE OF GRAVEL
	EDGE OF CONCRETE
	SIGN
	EDGE OF WETLANDS
	EDGE OF WATER
	CENTERLINE OF STREAM
	FLOODPLAIN
	CONTOUR LINE
	TREELINE
	STONE WALL
	RETAINING WALL
	TEST PIT
	CATCHBASIN
	DRAINAGE MANHOLE
	CULVERT/STORMDRAIN
	UNDERDRAIN
	SEWER MANHOLE
	SANITARY SEWER PIPE
	FORCE MAIN
	WATER MAIN
	WATER METER PIT
	WATER VALVE
	HYDRANT
	AIR RELEASE
	WELL
	UTILITY POLE
	LIGHT POLE
	OVERHEAD UTILITIES
	UNDERGROUND UTILITIES
	TRANSFORMER PAD
	GAS MAIN
	GAS VALVE
	RIPRAP
	SILT FENCE



PLANT LIST

TREES - CANOPY & UNDERSTORY	QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
	4	AR	Acer rebrum	Red Maple	2" CAL.

NOT FOR CONSTRUCTION



DM ROMA
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

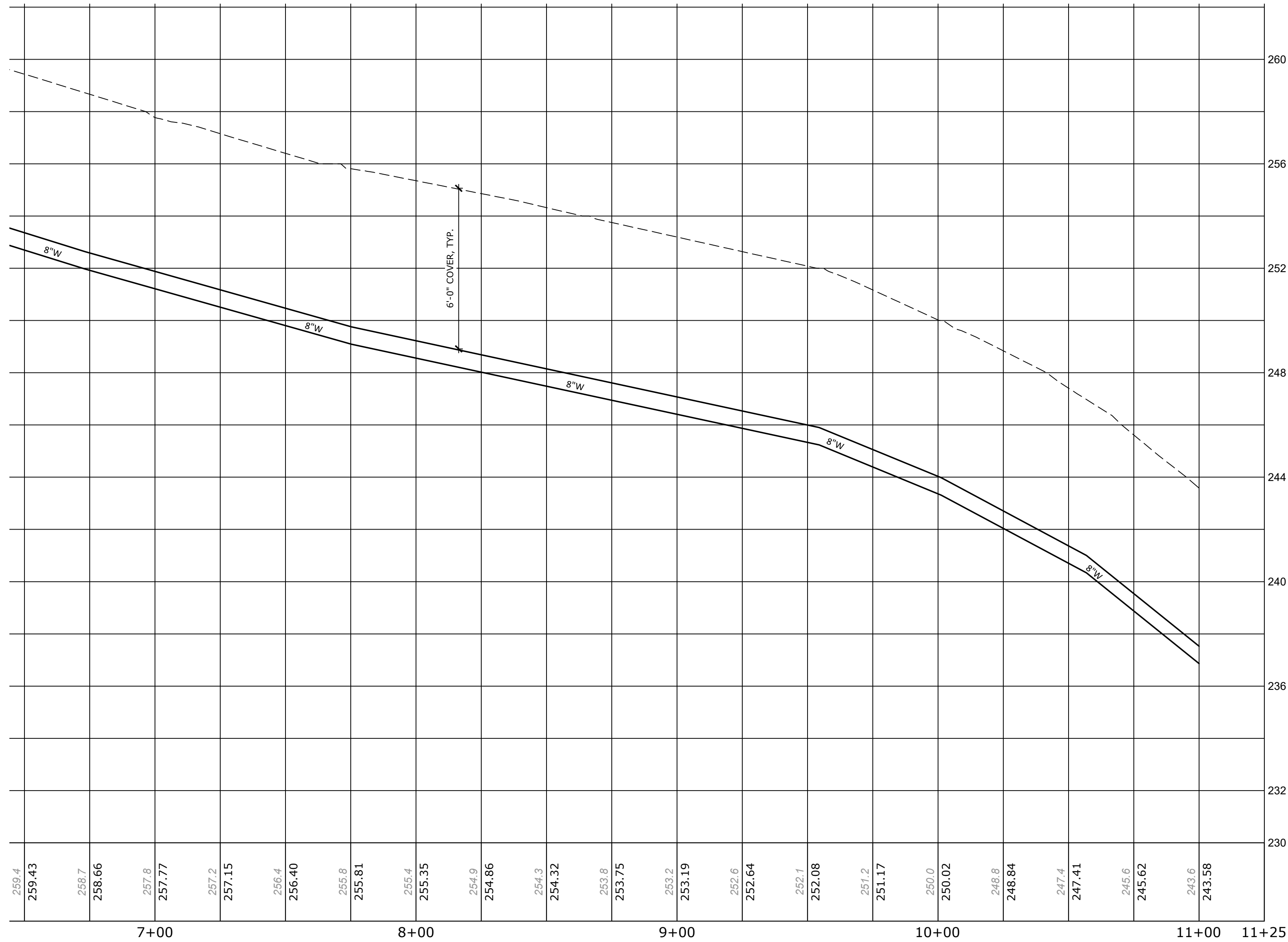
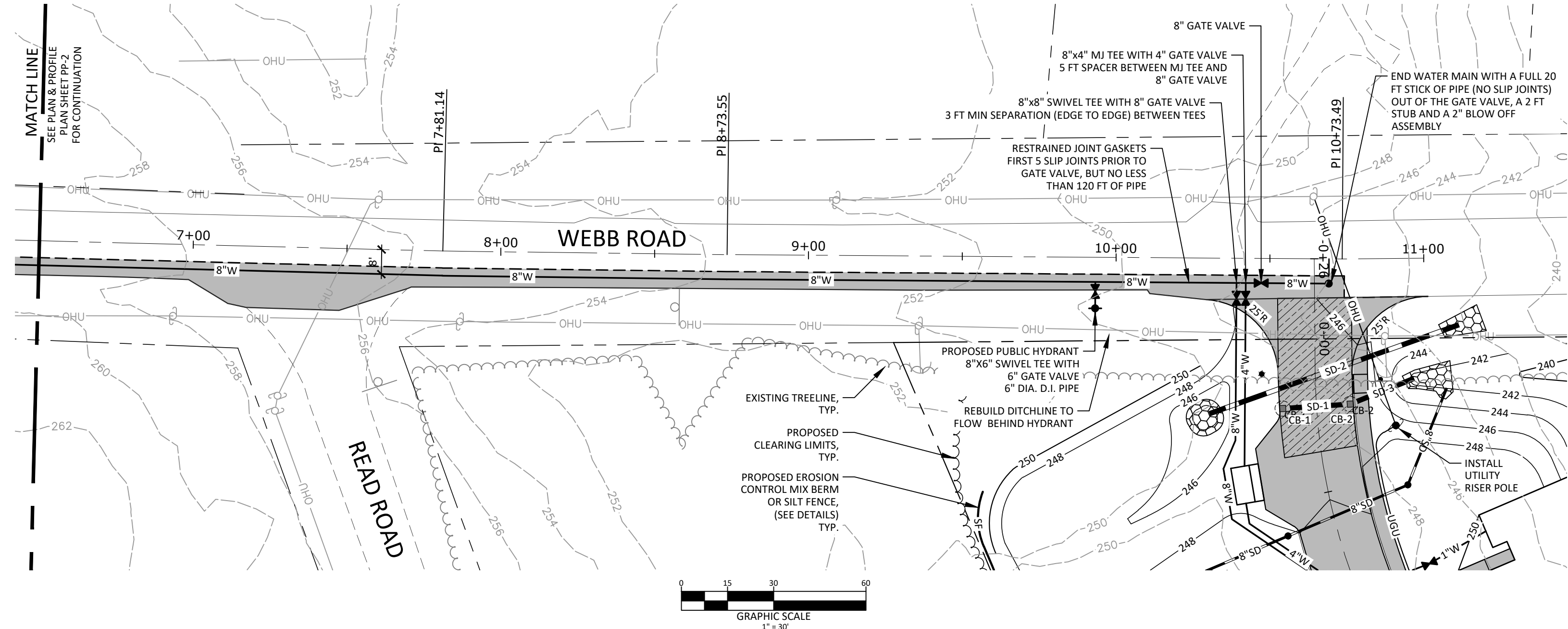
REV	DATE	BY	DESCRIPTION
A	8-4-26	DNR	ISSUED FOR PERMITTING

SITE & LANDSCAPING PLAN
LEGACY VILLAGE RETIREMENT COMMUNITY
WEBB ROAD
WINDHAM, MAINE
FOR: **ROBIE HOLDINGS, LLC**
PO BOX 1508
WINDHAM, ME 04062

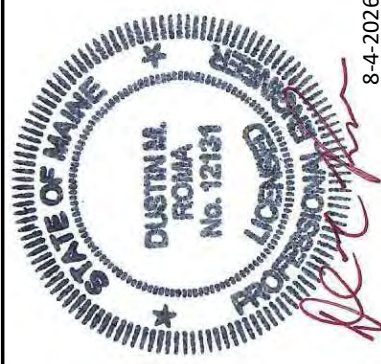
25007 JOB NUMBER:
1" = 30' SCALE:
8-4-2026 DATE:
SHEET 5 OF 13
S-2

LEGEND

EXISTING	PROPOSED
	PROPERTY LINE/R.O.W.
	ABUTTER PROPERTY LINE
	EASEMENT LINE
	CENTERLINE
	BUILDING
	EDGE OF PAVEMENT/CURB
	EDGE OF GRAVEL
	SIGN
	EDGE OF WETLANDS
	CONTOUR LINE
	TREELINE
	TEST PIT
	CATCHBASIN
	DRAINAGE MANHOLE
	CULVERT/STORMDRAIN
	UNDERDRAIN
	SEWER MANHOLE
	SANITARY SEWER PIPE
	FORCE MAIN
	WATER MAIN
	WATER VALVE
	HYDRANT
	AIR RELEASE
	UTILITY POLE
	OVERHEAD UTILITIES
	UNDERGROUND UTILITIES
	TRANSFORMER PAD
	RIPRAP
	SILT FENCE



NOT FOR
CONSTRUCTION



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WINDHAM, ME 04062
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REV	DATE	BY	DESCRIPTION
A	5-19-26	DMR	ISSUED FOR PERMITTING
B	8-4-26	DMR	ISSUED FOR PERMITTING

ROADWAY PLAN AND PROFILE: WEBB ROAD

MEGAL ROAD RECREATION COMMUNITY
WEBB ROAD
WINDHAM, MAINE
FOR: **ROBIE HOLDINGS, LLC**
PO BOX 1508
WINDHAM, ME 04062

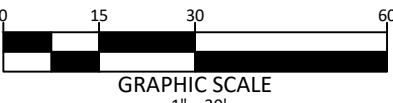
25007 JOB NUMBER:
1" = 30' SCALE:
8-4-2026 DATE:
SHEET 7 OF 13
PP-2

STORM DRAIN STRUCTURE TABLE			
STRUCTURE	RIM	INV. IN	INV. OUT
CB-1	246.86		242.60 (SD-1)
CB-2	246.86	242.40 (SD-1)	242.30 (SD-3)
CB-3	255.03		250.75 (SD-4)
CB-4	255.03	250.55 (SD-4)	250.45 (SD-5)
CB-5	250.46	241.40 (SD-6)	241.15 (SD-7)
CB-6	250.46	243.40 (SD-8) 242.85 (FD-2)	241.60 (SD-6)
CB-7	247.85	243.75 (SD-9) 244.50 (FD-1)	243.65 (SD-8)

STORM DRAIN PIPE TABLE			
NAME	SIZE	LENGTH	SLOPE
FD-1	6"	11'	1.33%
FD-2	6"	30'	0.83%
SD-1	15"	18'	1.11%
SD-2	15"	86'	0.70%
SD-3	15"	20'	1.97%
SD-4	15"	18'	1.11%
SD-5	15"	109'	7.79%
SD-6	15"	18'	1.11%
SD-7	18"	122'	5.85%
SD-8	12"	42'	0.60%
SD-9	8"	30'	1.98%

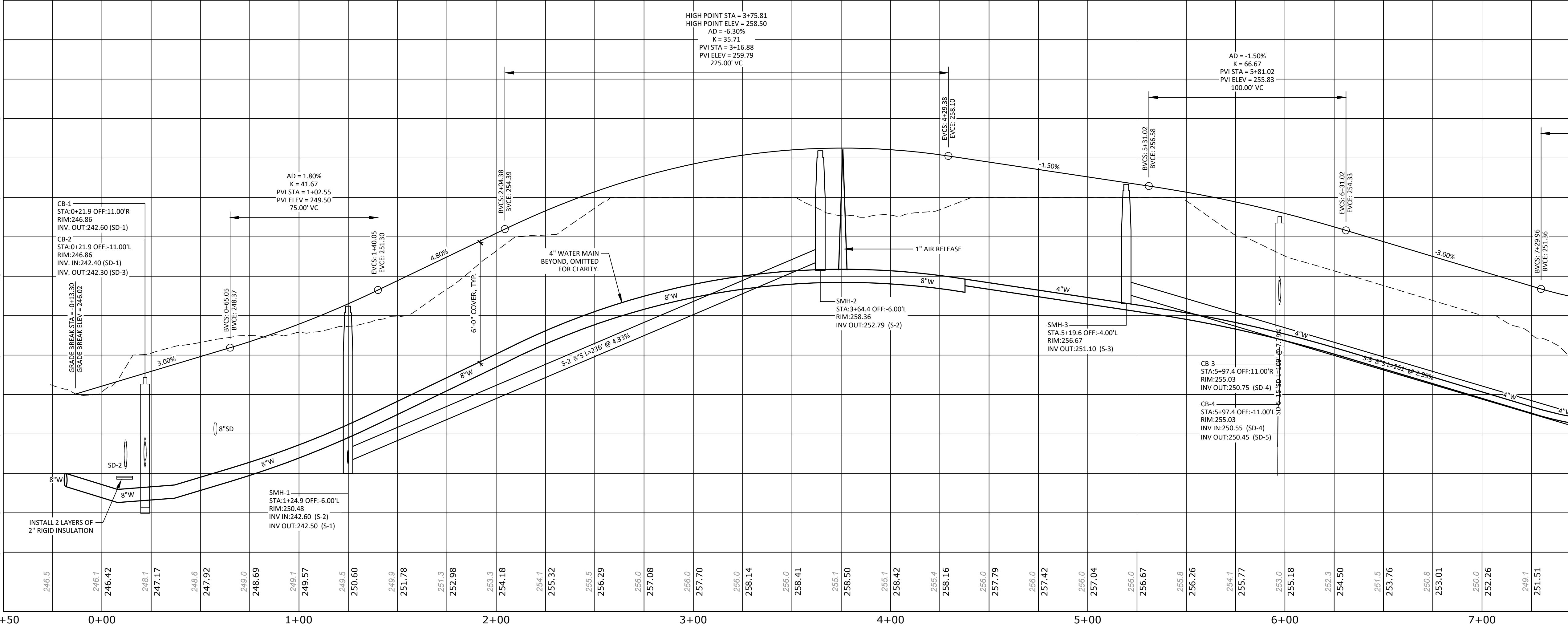
SEWER STRUCTURE TABLE			
STRUCTURE	RIM	INV. IN	INV. OUT
SMH-1	250.48	242.60 (S-2)	242.50 (S-1)
SMH-2	258.36		252.79 (S-2)
SMH-3	256.67		251.10 (S-3)
SMH-4	250.56	243.30 (S-3) 243.30 (S-4)	243.20 (S-6)
SMH-5	255.22	249.20 (S-5)	249.10 (S-4)
SMH-6	256.46		251.25 (S-5)

SEWER PIPE TABLE			
NAME	SIZE	LENGTH	SLOPE
S-1	8"	96'	6.90%
S-2	8"	236'	4.33%
S-3	8"	261'	2.99%
S-4	8"	105'	5.52%
S-5	8"	151'	1.35%
S-6	8"	100'	6.69%

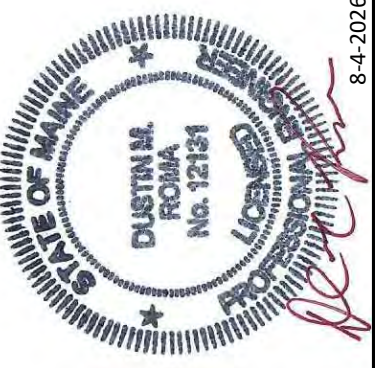


LEGEND

EXISTING	PROPOSED



NOT FOR
CONSTRUCTION



DM ROMA
CONSULTING ENGINEERS

P.O. BOX 1116
WINDHAM, ME 04062
(207) 591-5055

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ROADWAY PLAN AND PROFILE: ROAD A

LEGACY VILLAGE RETIREMENT COMMUNITY

WEBB ROAD

WINDHAM, MAINE

FOR: ROBIE HOLDINGS, LLC

PO BOX 1508
WINDHAM, ME 04062

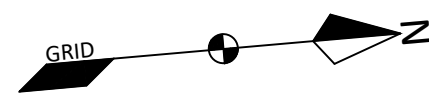
25007
JOB NUMBER:

1" = 30'
SCALE:

8-4-2026
DATE:

SHEET 8 OF 13

PP-3



0 10 20 40

GRAPHIC SCALE
1" = 20'

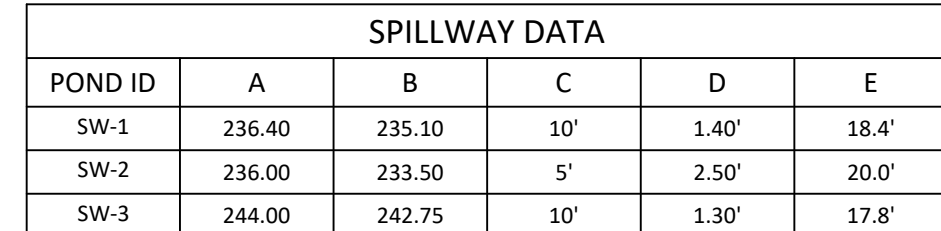
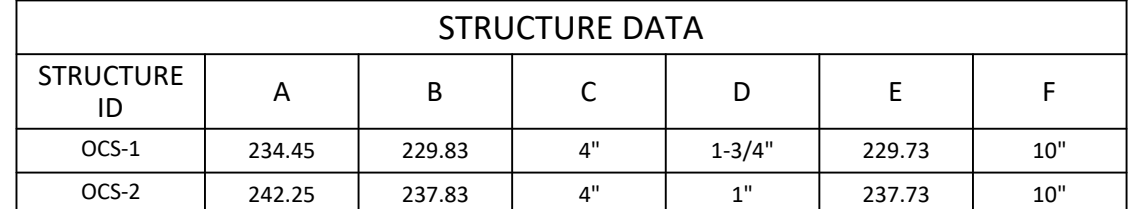


Diagram illustrating a vertical pipe installation with a 45° elbow and a 45° wye. The components labeled are:

- REMOVABLE CAP
- FINISHED GRADE
- PIPE AS SPECIFIED (SEE PLAN)
- 45° ELBOW
- 45° WYE
- PIPE AS SPECIFIED (SEE PLAN)
- FLOW

Diagram illustrating the cross-section of a manhole structure. The structure is a 24" square. The cover is 15" square. The cover has a 9" square opening with a diamond-shaped wire mesh. The manhole walls are 5" thick. The rim elevation is 242.25. The notch inversion is 241.50. The cover has a notch opening with wire mesh for debris protection.

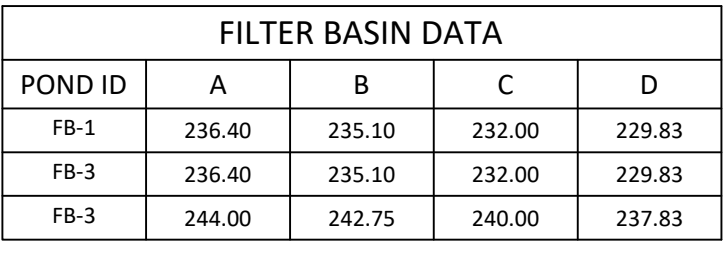
- NOTCH OPENING IN OUTLET CONTROL
STRUCTURE OCS-1
NOT TO SCALE



1. OUTLET CONTROL STRUCTURE SHALL BE CONSTRUCTED UTILIZING A PRECAST CATCH BASIN (24"x 24" ~ TYPE F).
2. CAST IRON GRATE SHALL BE EQUAL TO NEENAH FOUNDRY, PRODUCT NO. R-4345, BEEHIVE LIGHT DUTY GRATE, OR APPROVED EQUIVALENT.
3. SUBMIT SHOP DRAWINGS AND CASTING SPECIFICATIONS TO ENGINEER FOR APPROVAL.

[illegible]

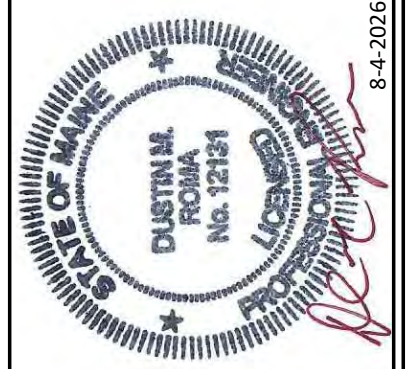
GRAPHIC SCALE
1" = 20'



SIEVE SIZE	% PASSING BY WEIGHT
#4	75-95
#10	60-90
#40	35-85
#200	20-70
200 CLAY	<2.0

SIEVE SIZE	% PASSING BY WEIGHT
# 10	85-100
# 20	70-100
# 60	15-40
# 200	8-15
200 CLAY	<2.0

- NOT FOR
CONSTRUCTION



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CONSULTING ENGINEERS
P.O. BOX 1116

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STORMWATER PONDS PLAN

LEGACY VILLAGE RETIREMENT COMMUNITY

FOR:
ROBIE HOLDINGS, LLC
PO BOX 1508
WINDHAM, ME 04062

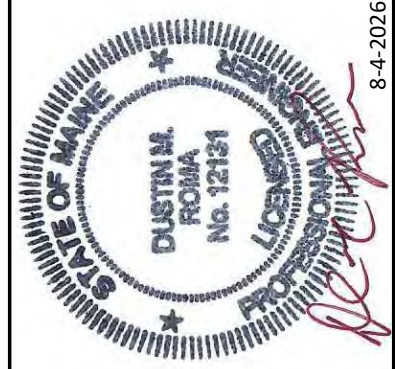
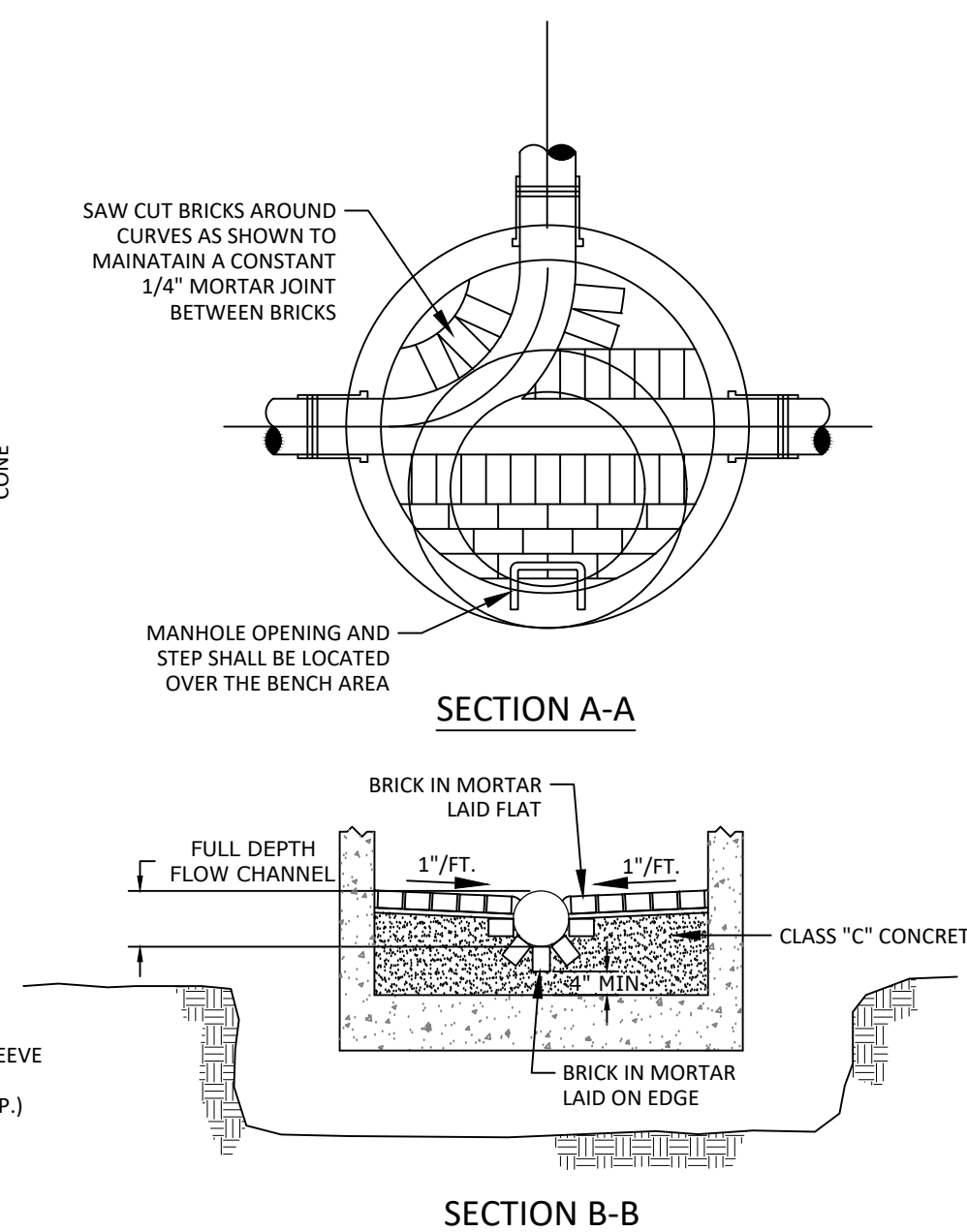
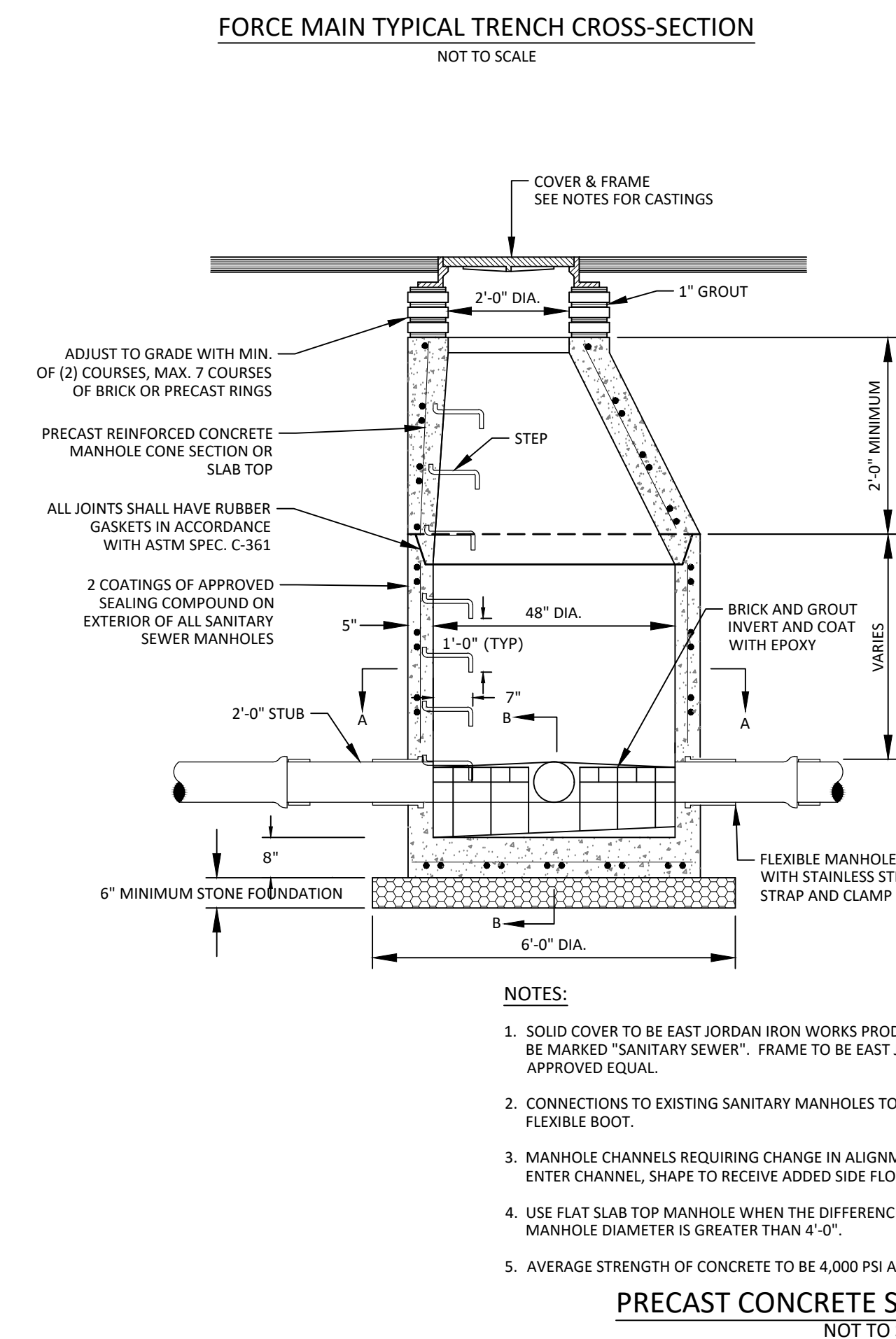
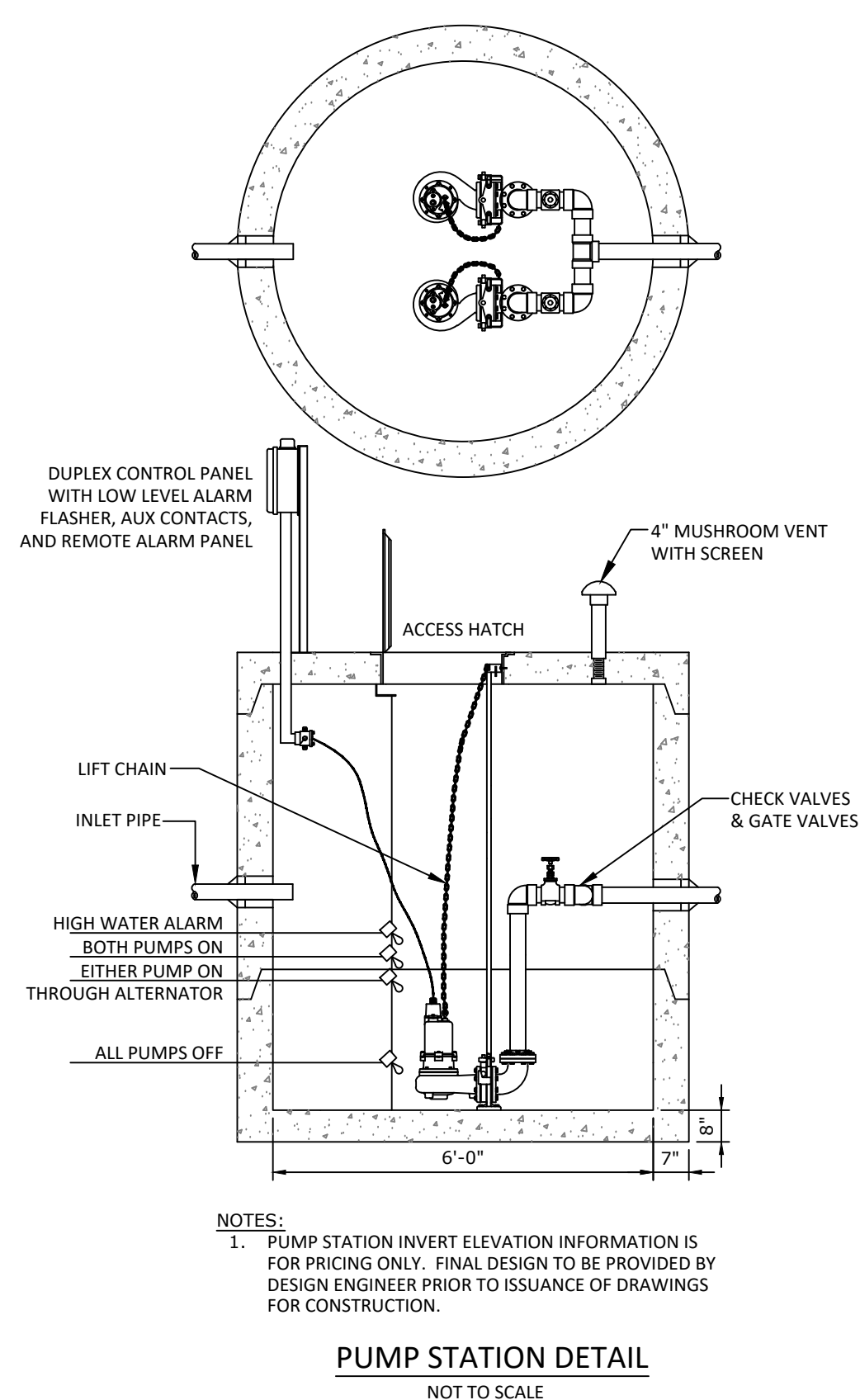
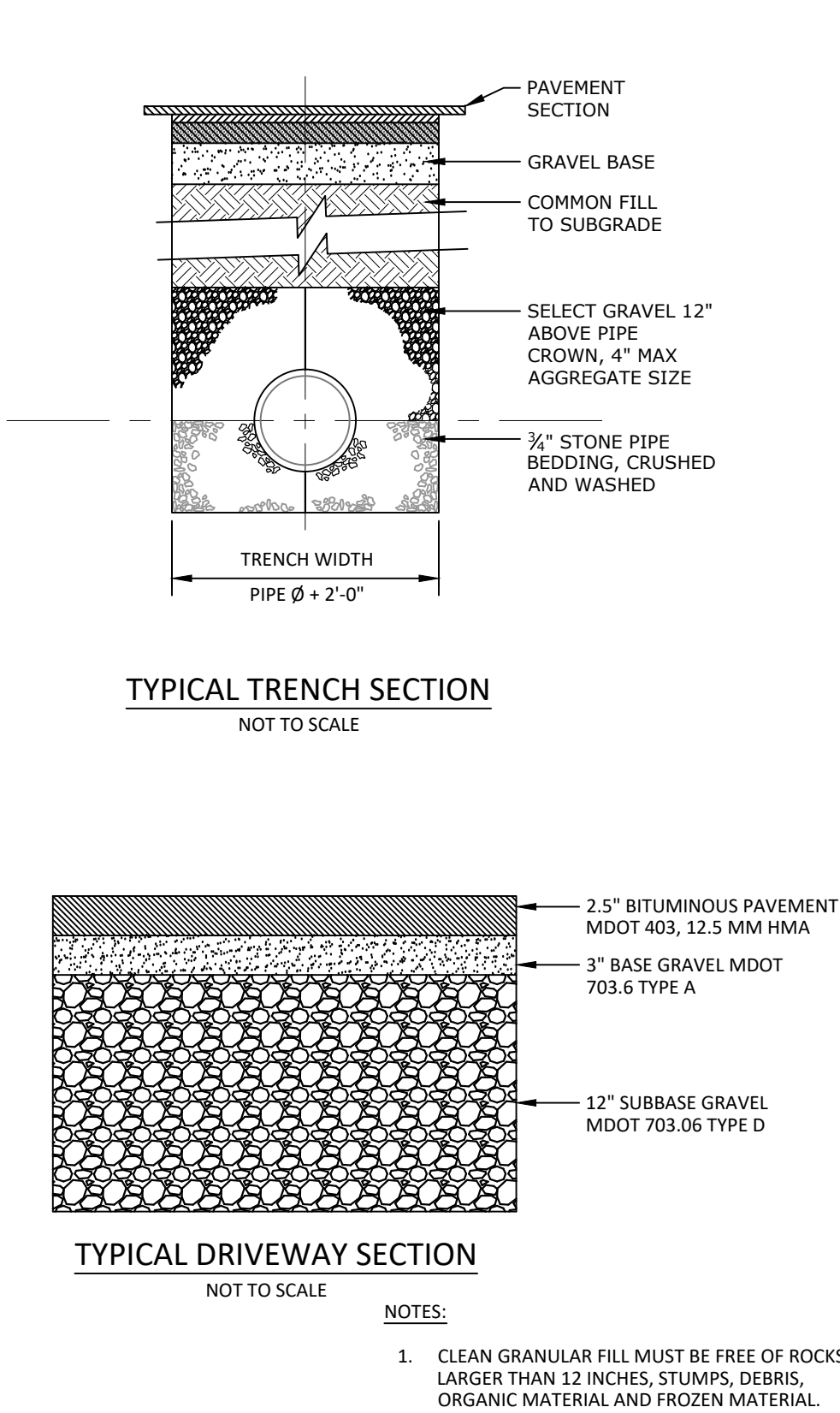
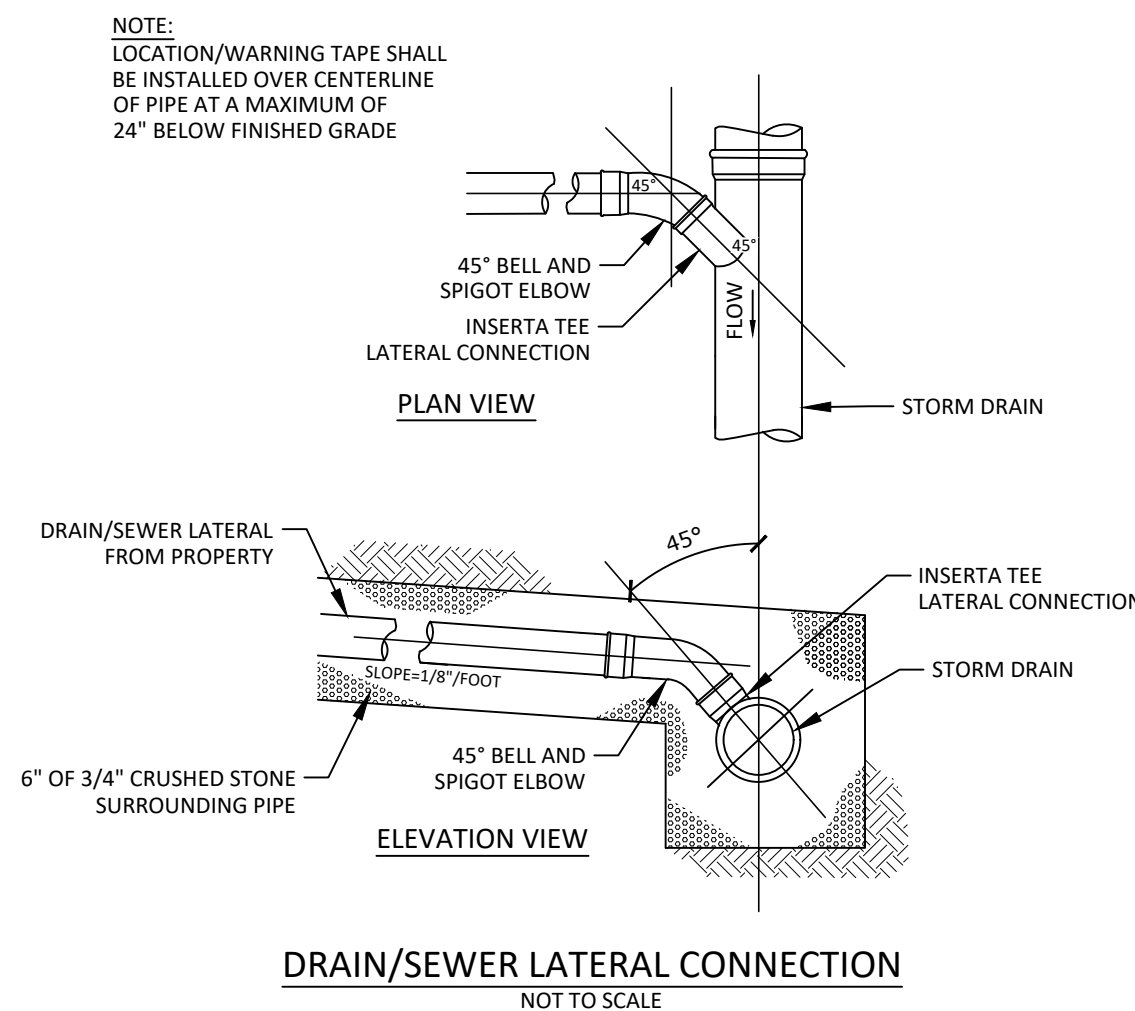
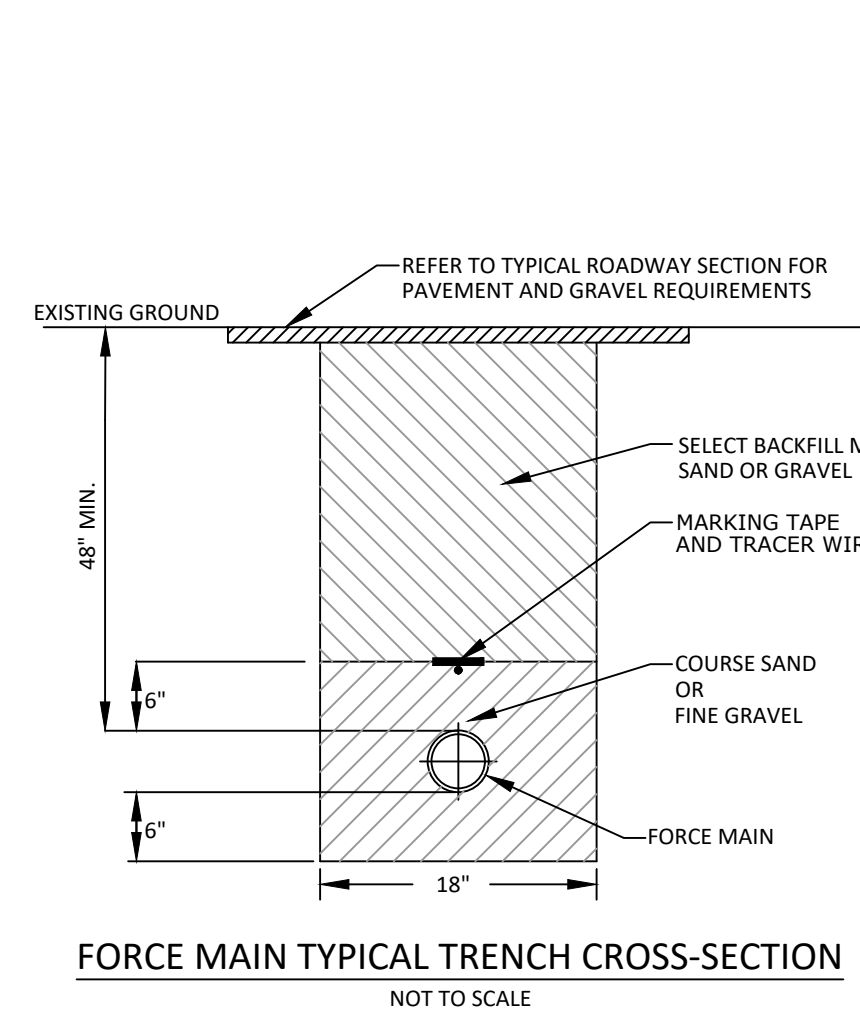
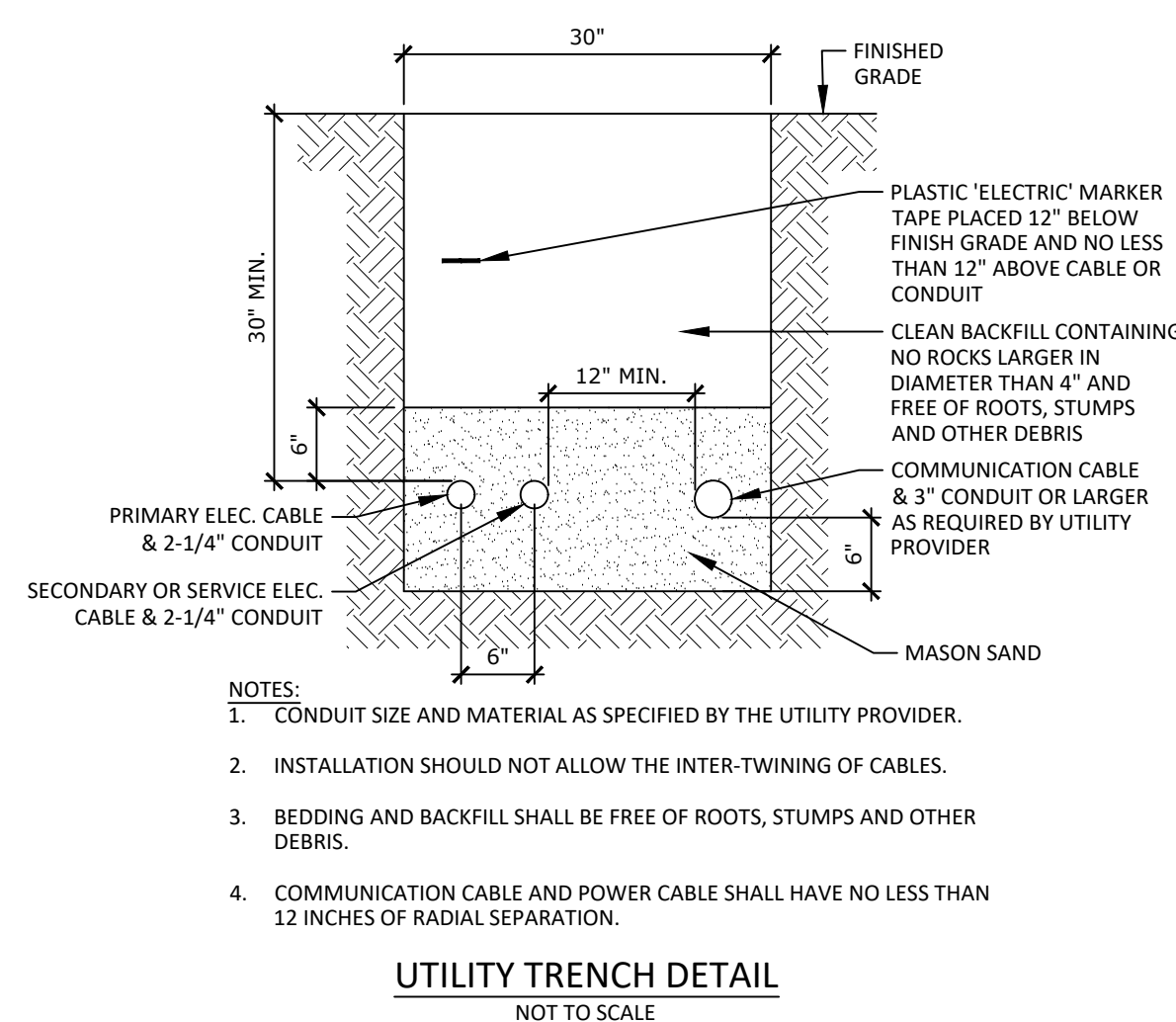
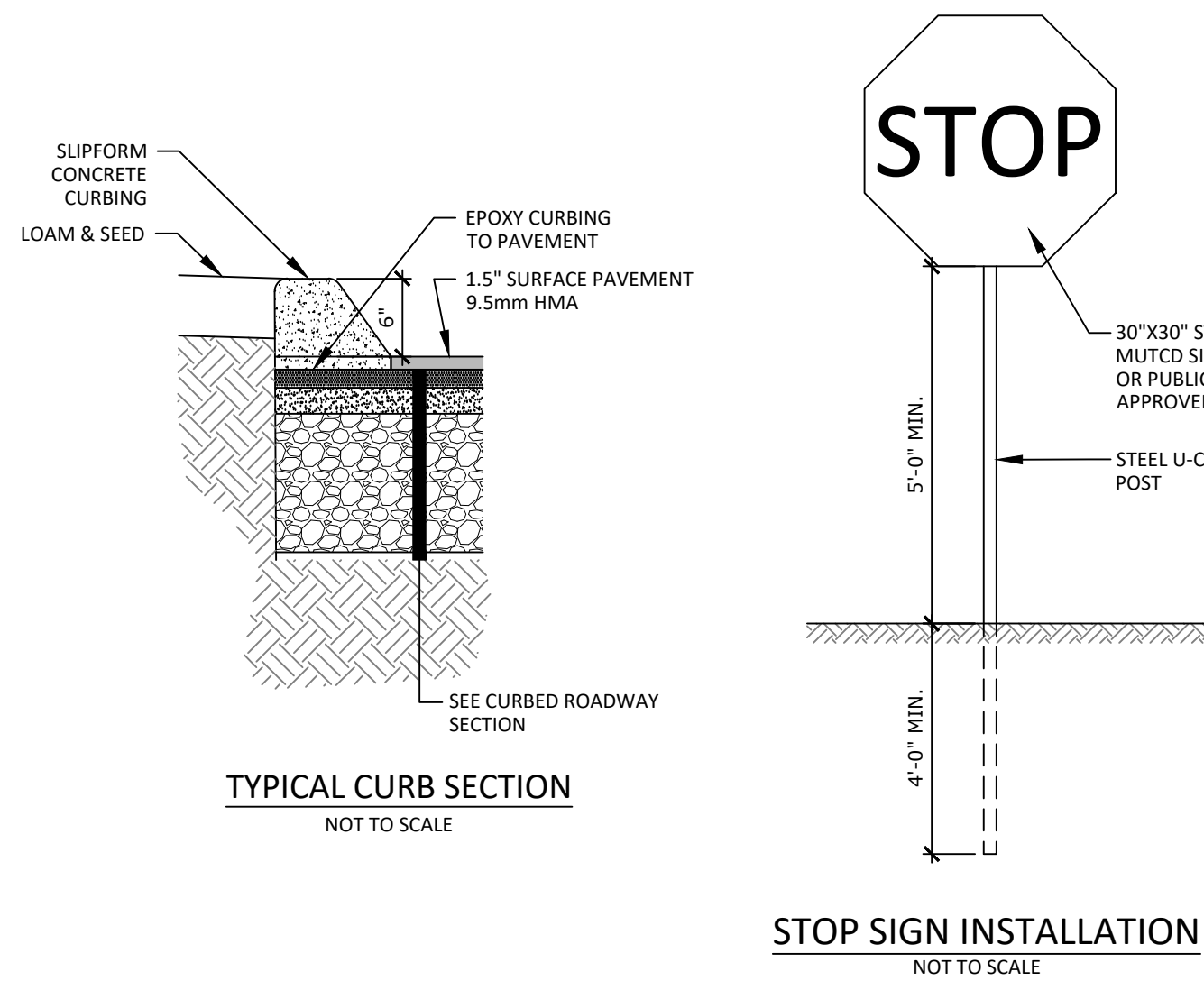
25007
JOB NUMBER:

1" = 20'
SCALE:

8-4-2026
DATE:

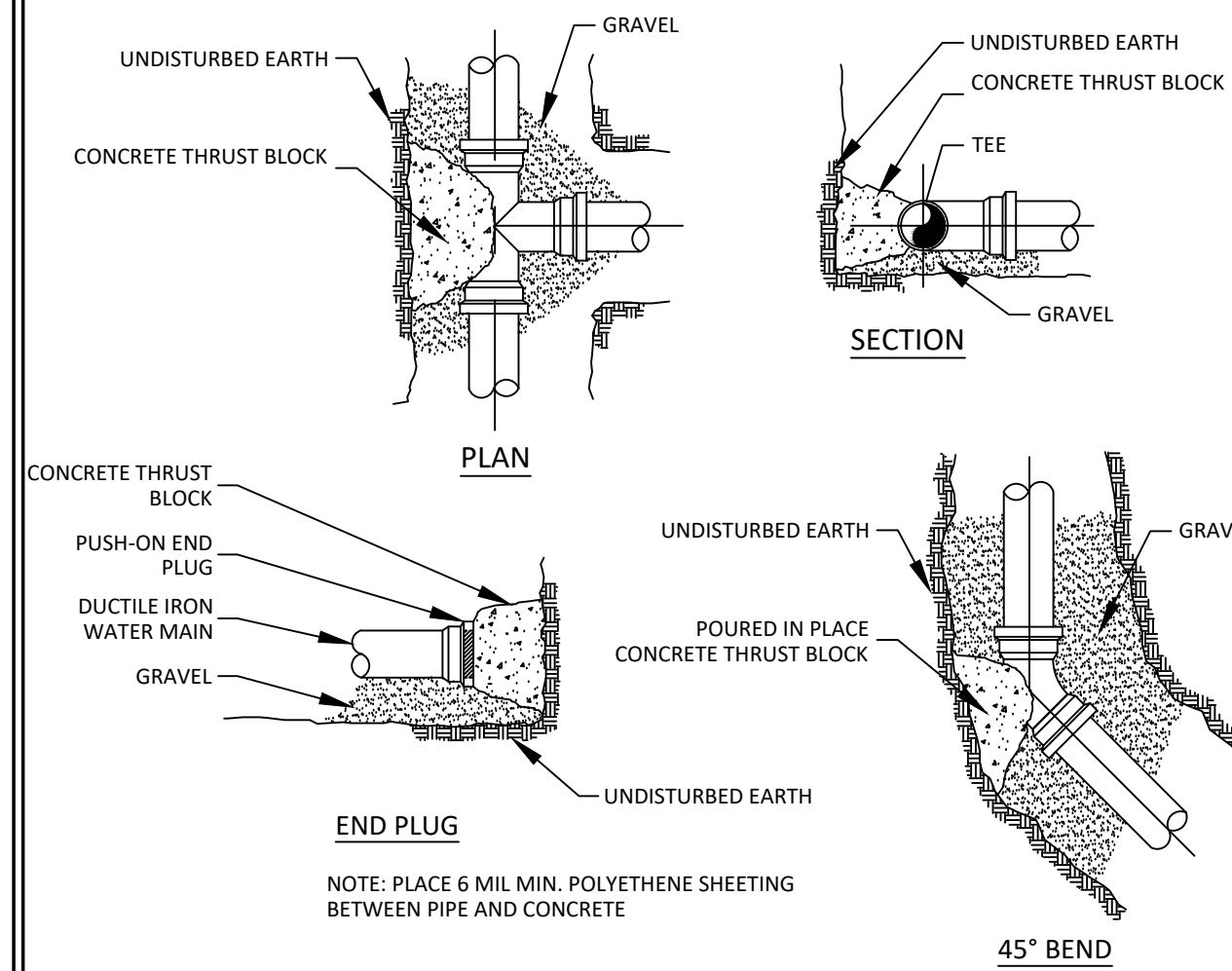
PAGE 10 OF 13

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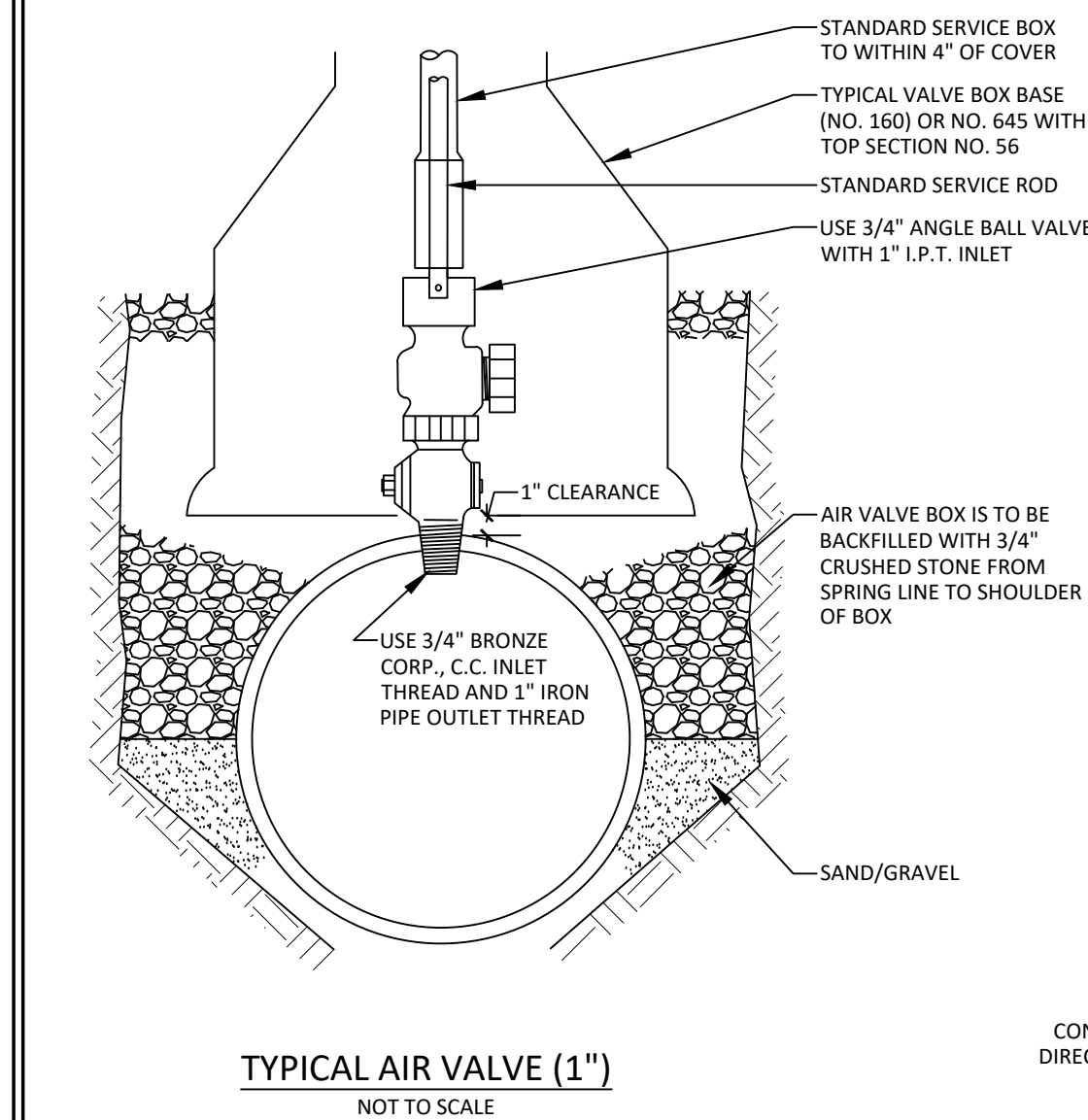
[illegible]

CONCRETE THRUST BLOCK SIZE REQUIREMENTS				
FITTINGS	SQ. FT. OF BEARING ON UNDISTURBED SOIL			
	90°BENDS	45°BENDS	TEES AND PLUGS	
PIPE SIZE	6"	4.0	2.0	3.0
	8"	8.0	4.0	6.0
	12"	15	9	12
	16"	26	14	19
	20"	40	22	28

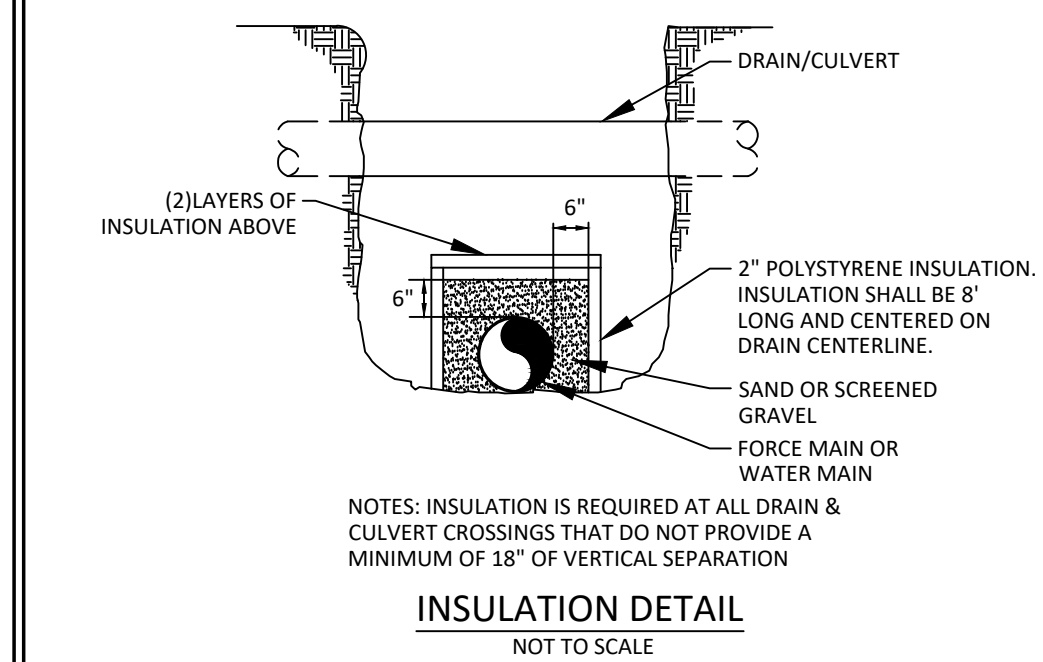
BASED ON SOIL BEARING PRESSURE OF 2000PSF AND 100PSI LINE PRESSURE. COMPACT COURSE TO FINE SANDS AND CLAYS REQUIRE ENGINEERED BLOCKS. ENGINEERED BLOCKS WILL TYPICALLY REQUIRE REINFORCING STEEL OF #5 AT 12".



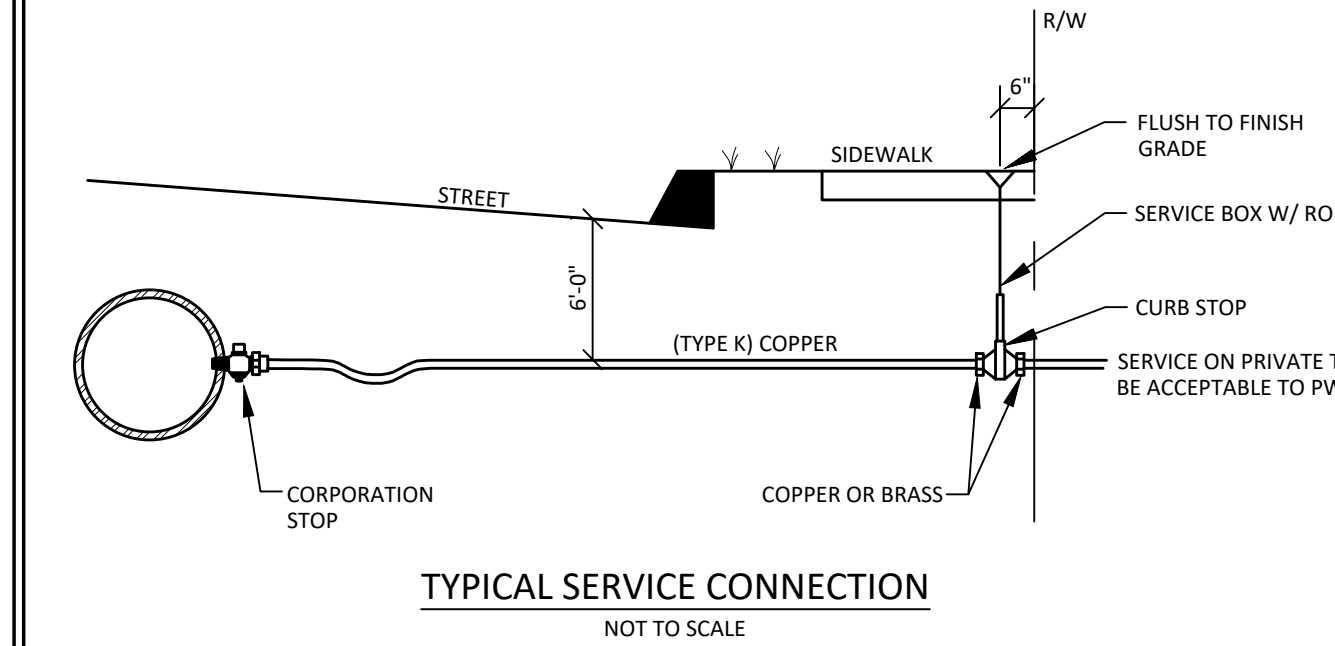
THRUST BLOCK DETAIL
NOT TO SCALE



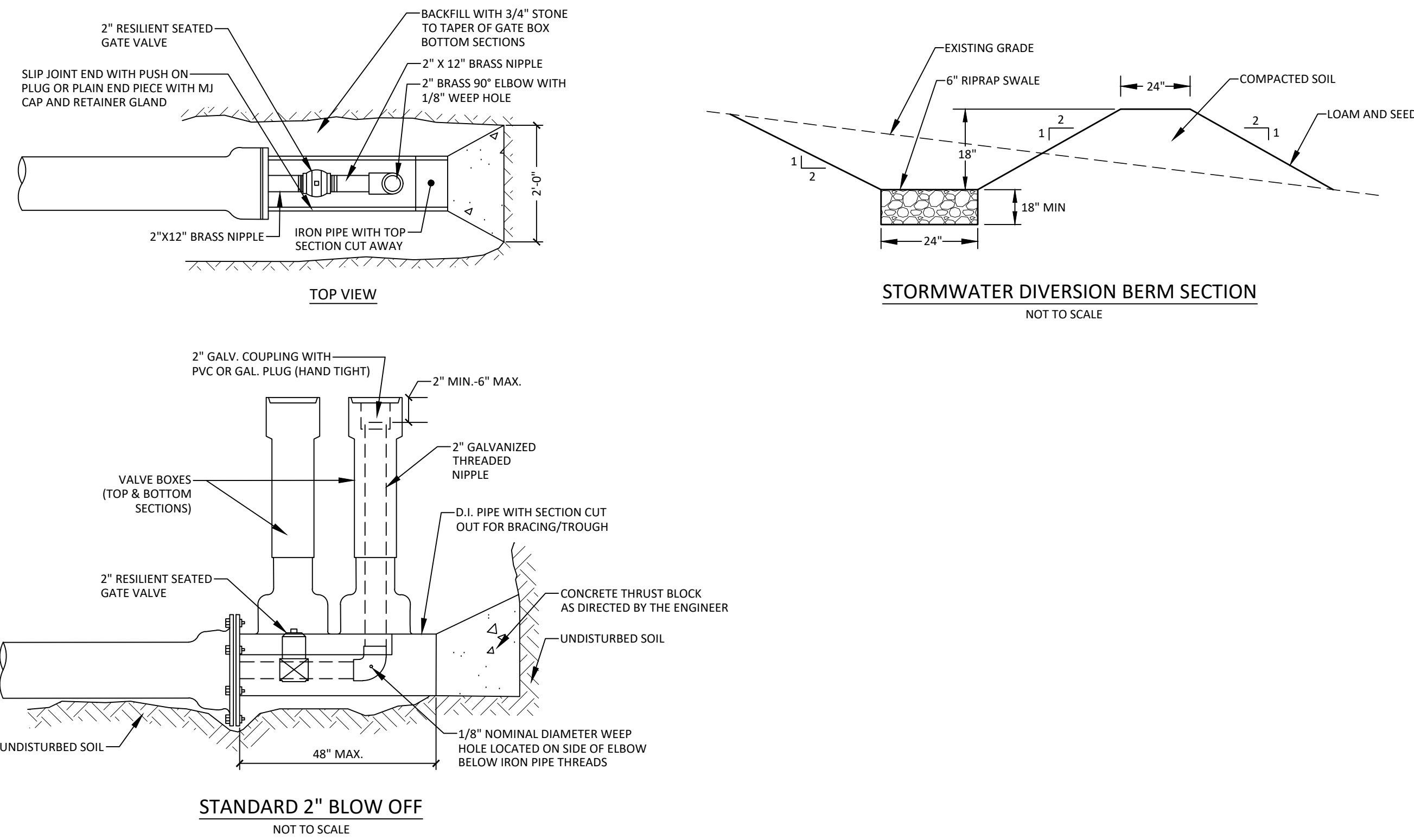
TYPICAL AIR VALVE (1")
NOT TO SCALE



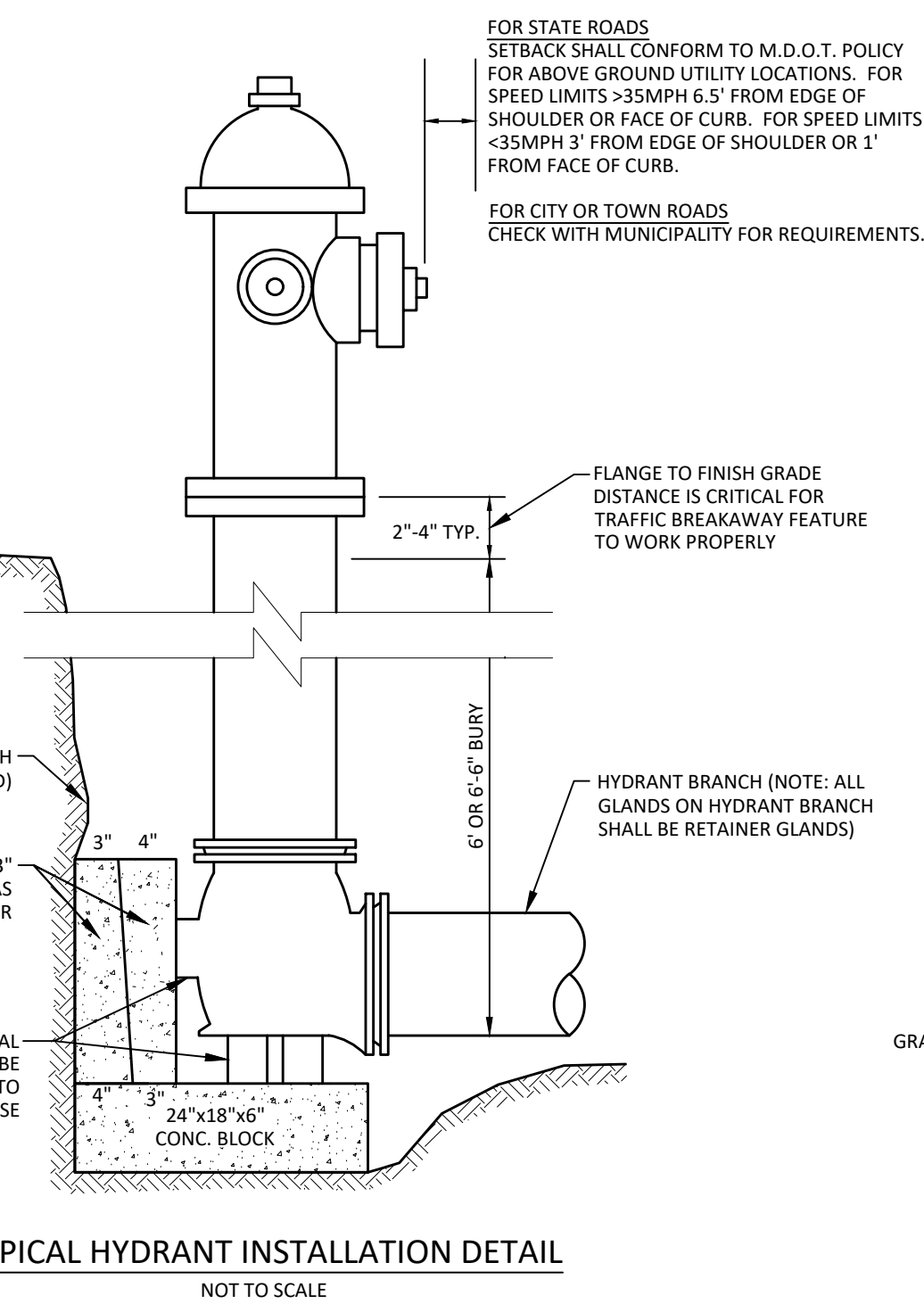
INSULATION DETAIL
NOT TO SCALE



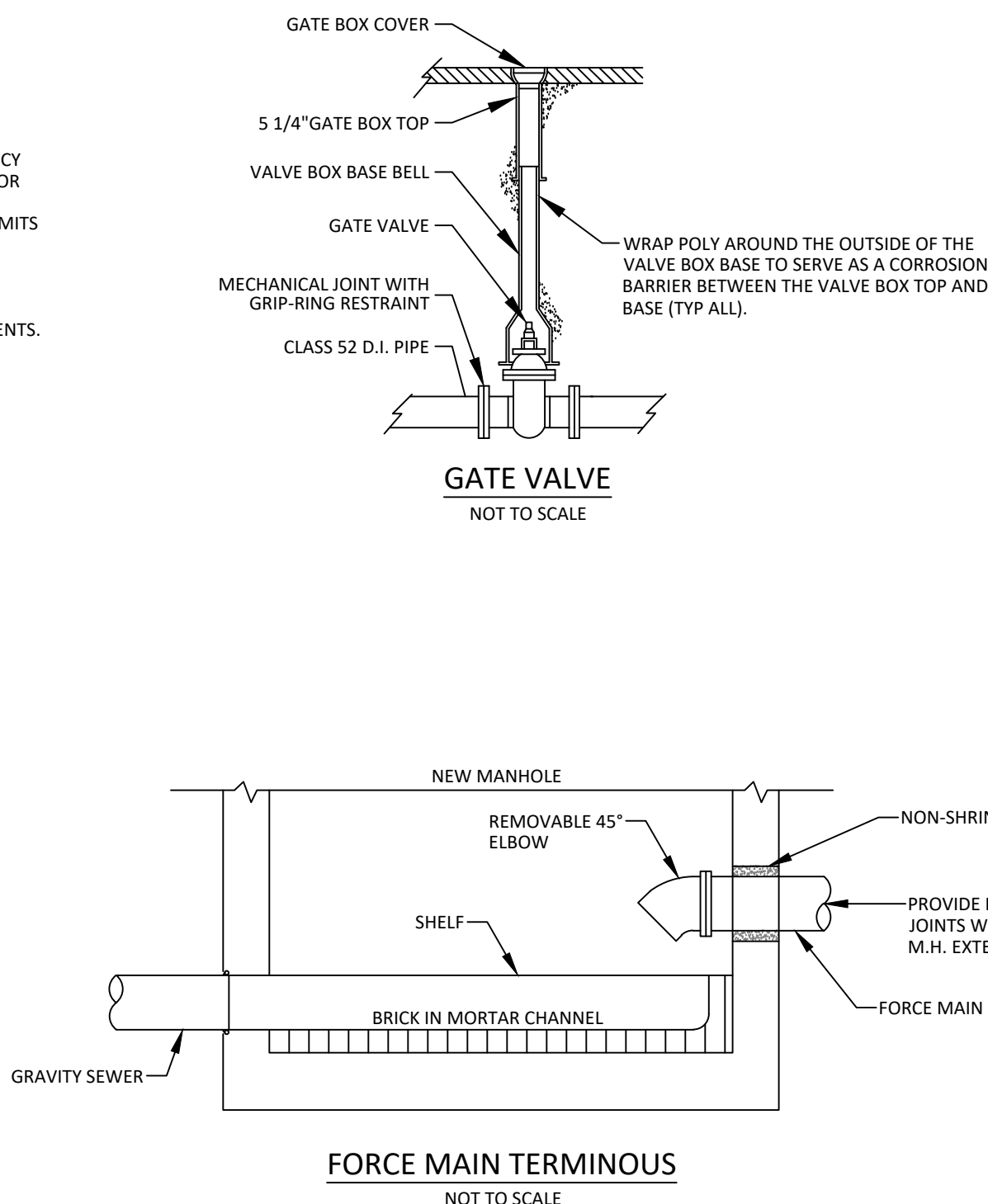
TYPICAL SERVICE CONNECTION
NOT TO SCALE



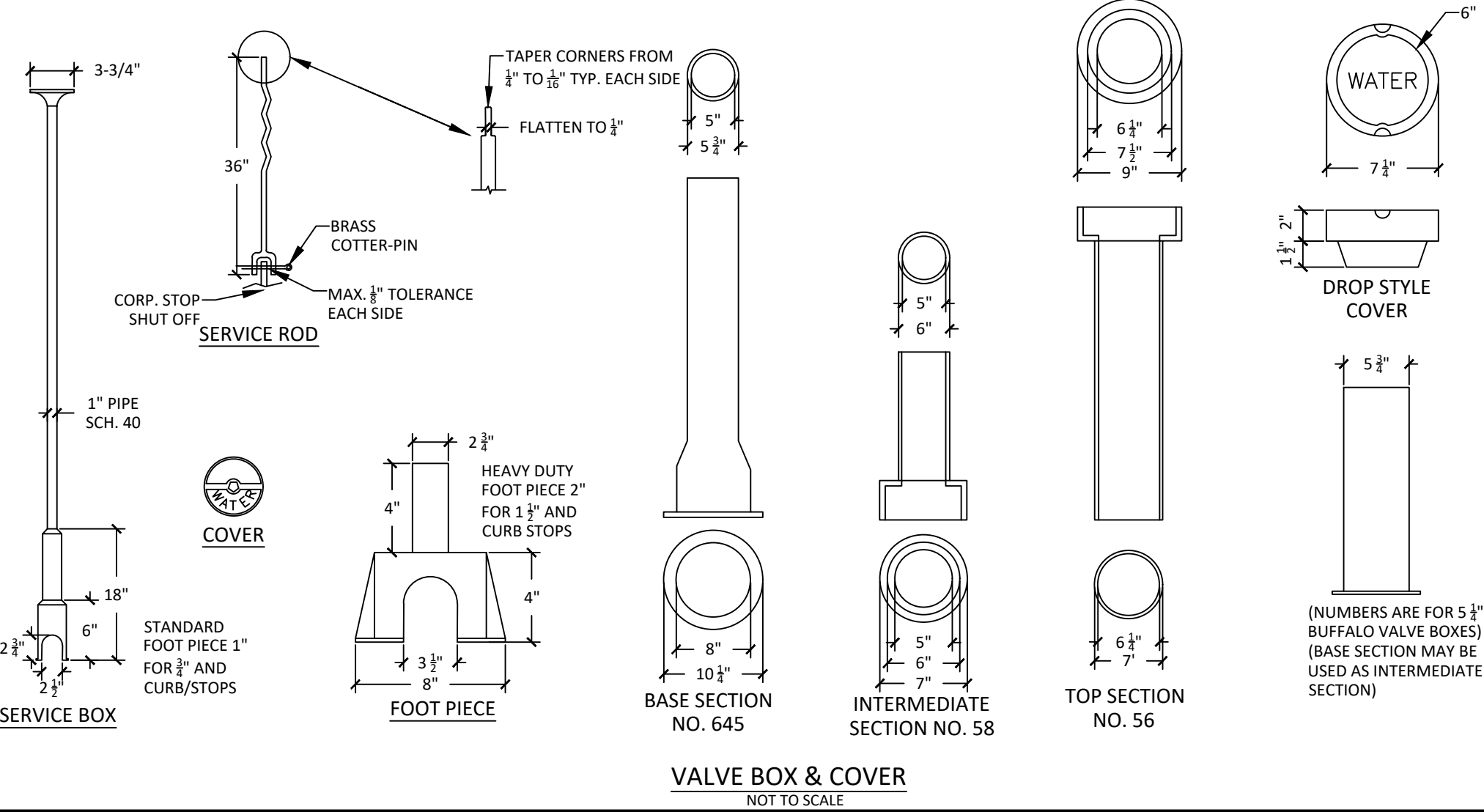
STANDARD 2" BLOW OFF
NOT TO SCALE



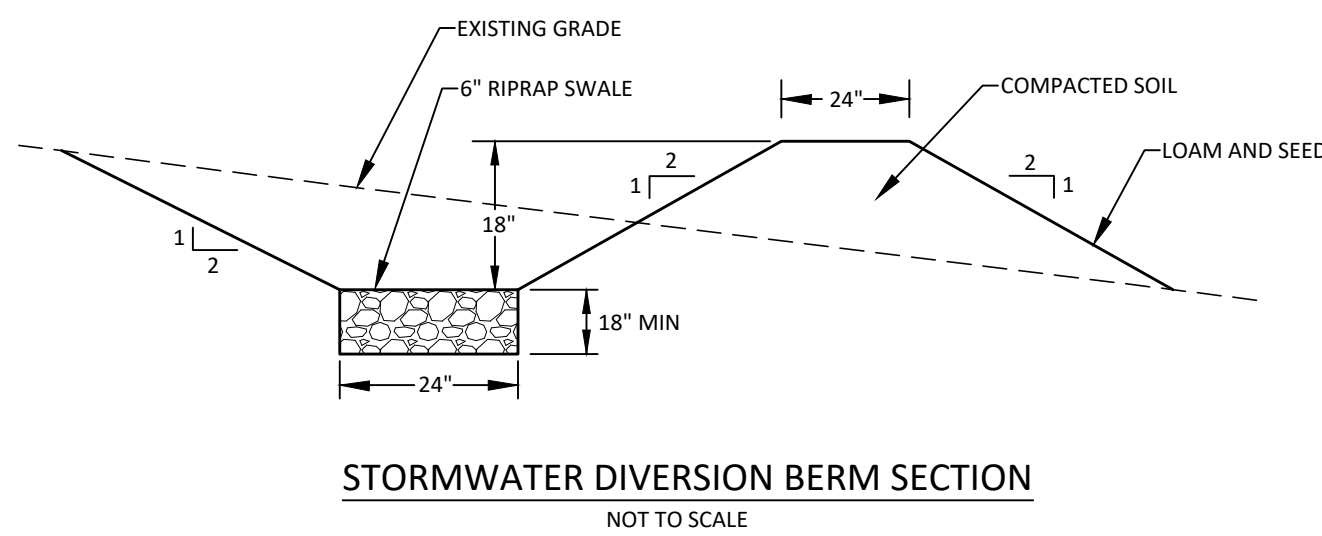
TYPICAL HYDRANT INSTALLATION DETAIL
NOT TO SCALE



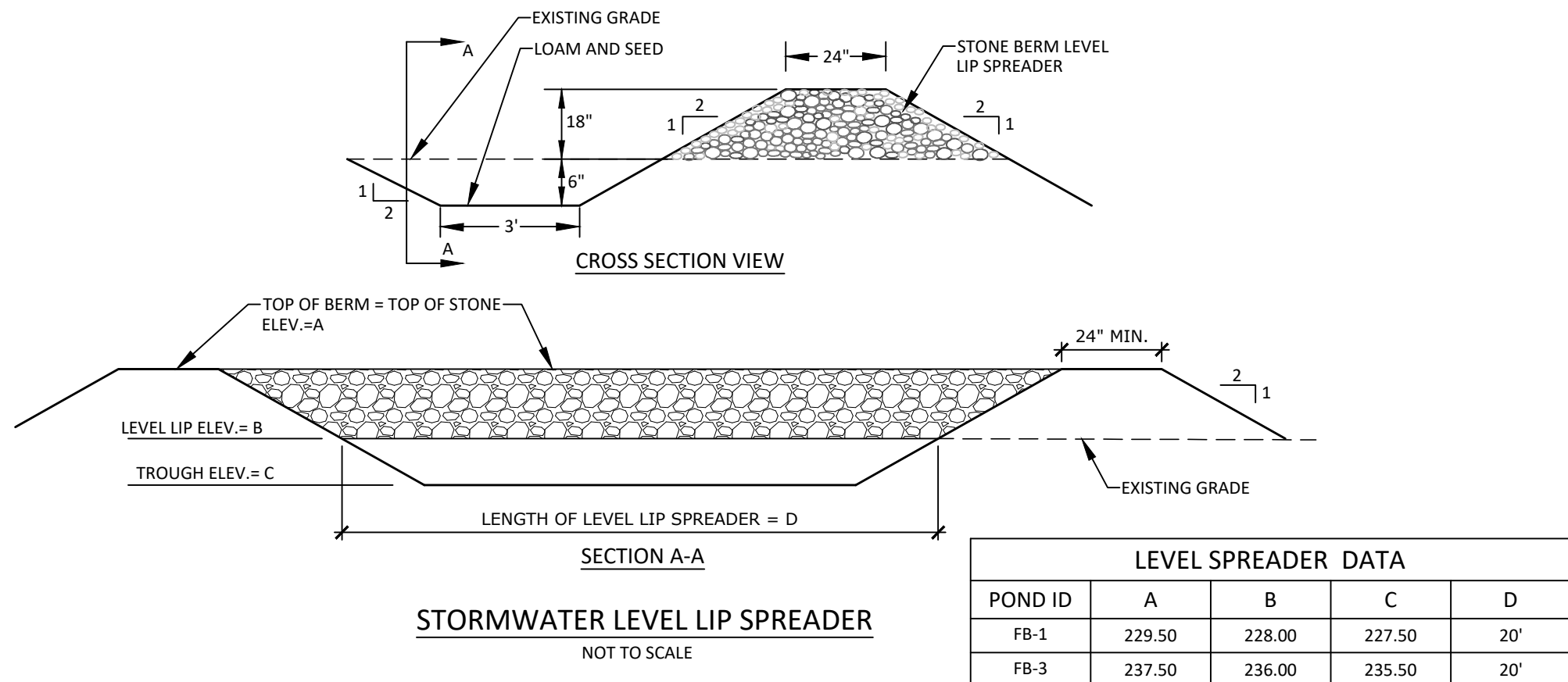
FORCE MAIN TERMINOUS
NOT TO SCALE



VALVE BOX & COVER
NOT TO SCALE

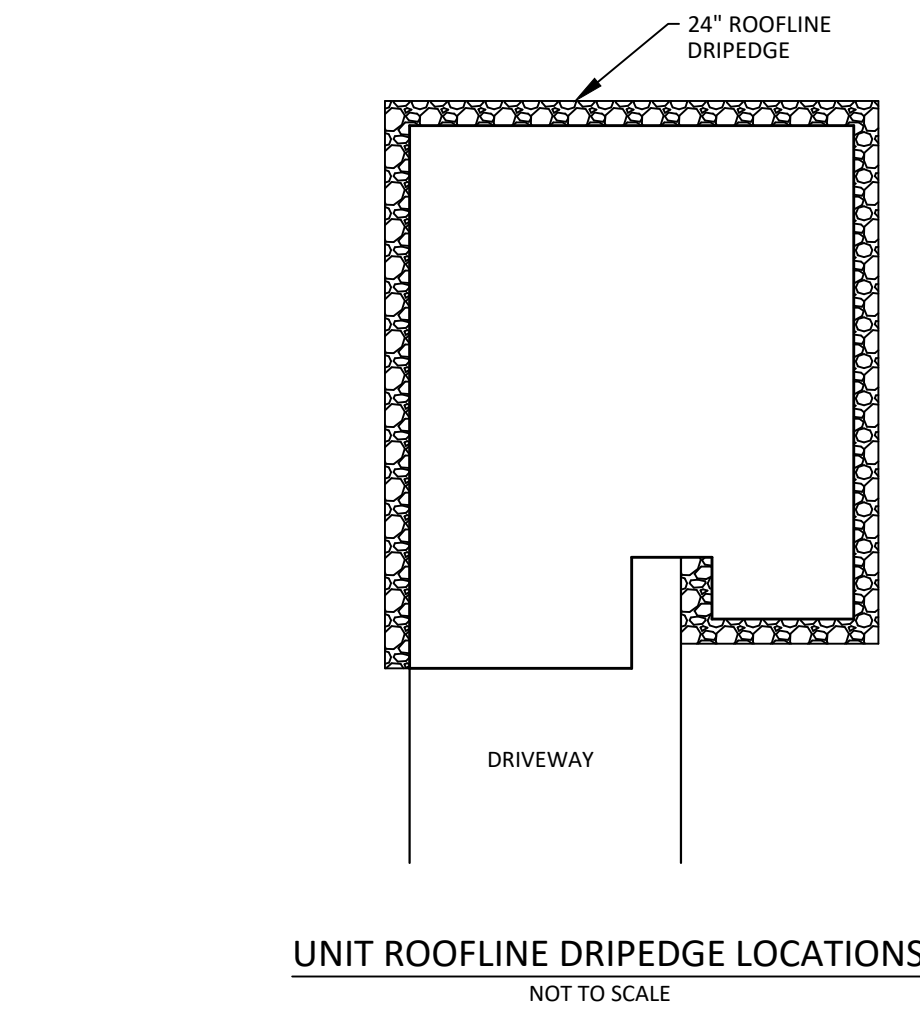


STORMWATER DIVERSION BERM SECTION
NOT TO SCALE

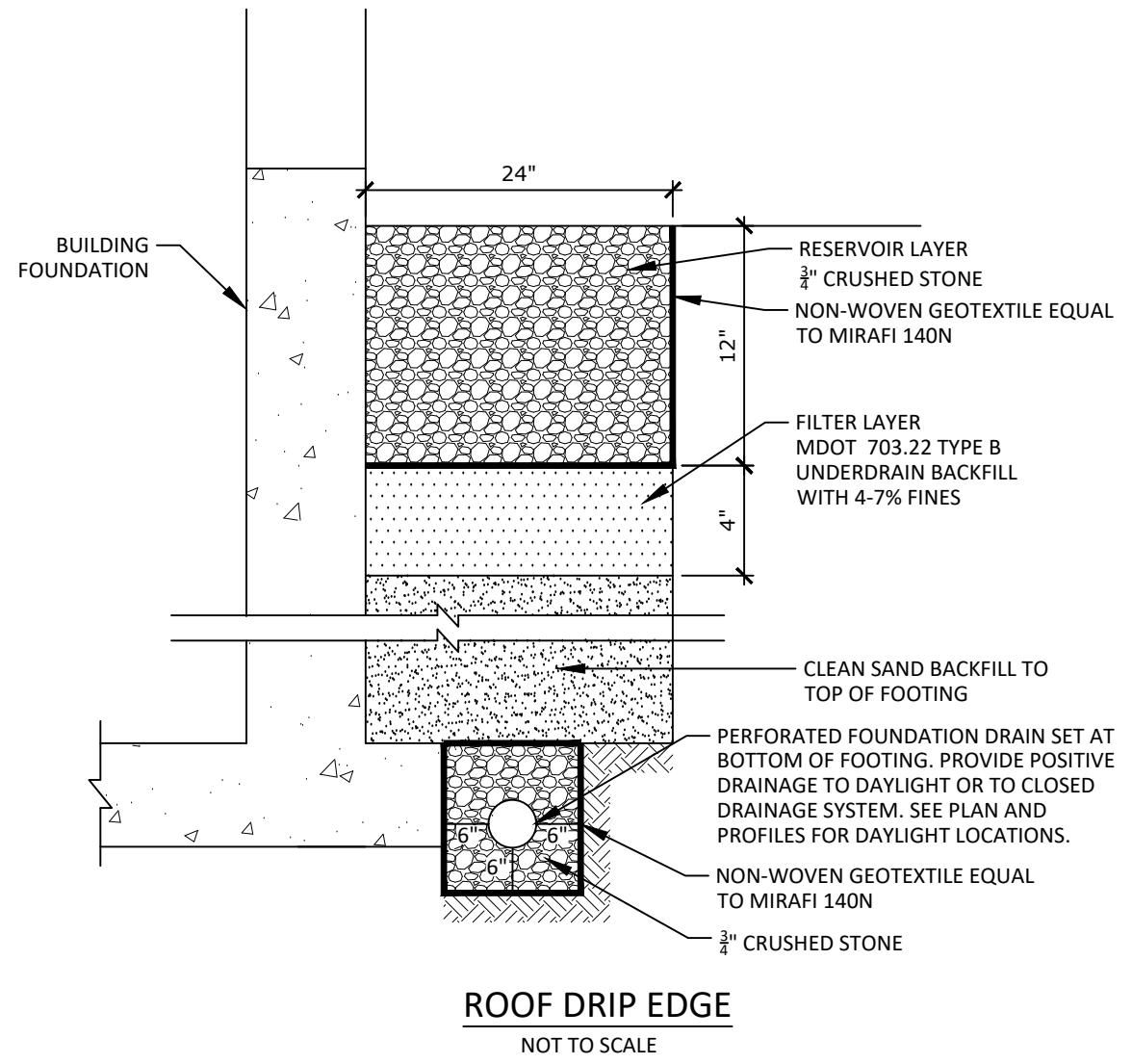


STORMWATER LEVEL LIP SPREADER
NOT TO SCALE

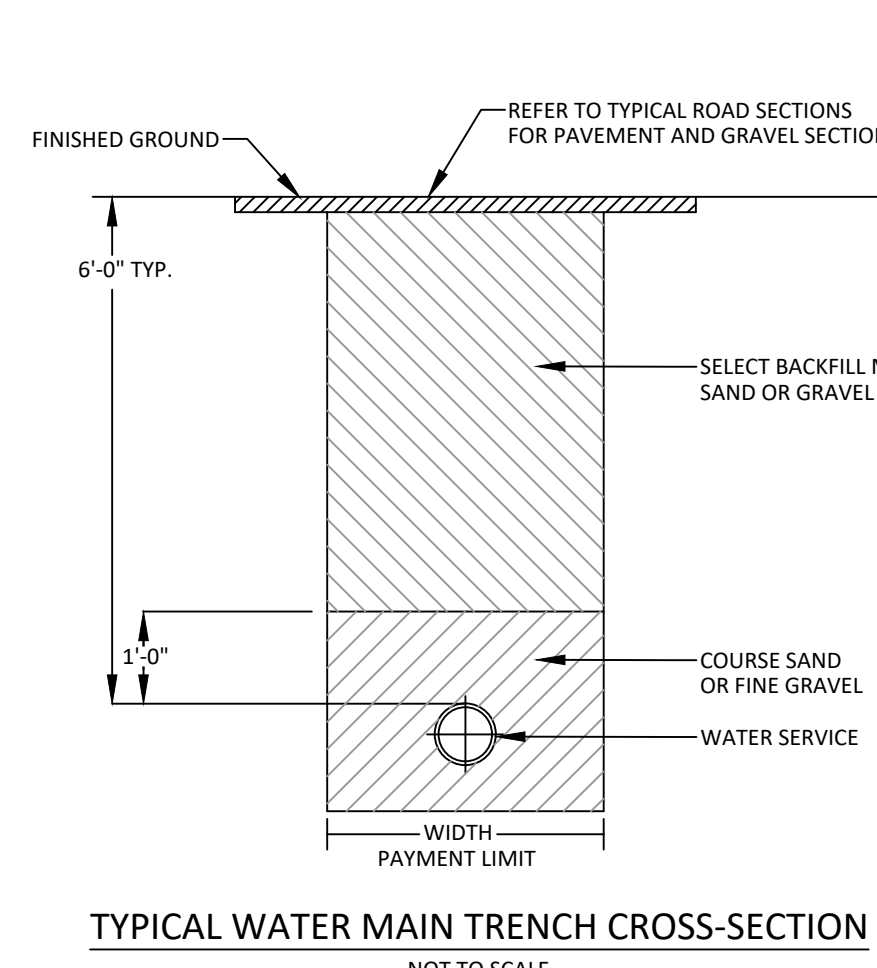
LEVEL SPREADER DATA				
POND ID	A	B	C	D
FB-1	229.50	228.00	227.50	20'
FB-3	237.50	236.00	235.50	20'



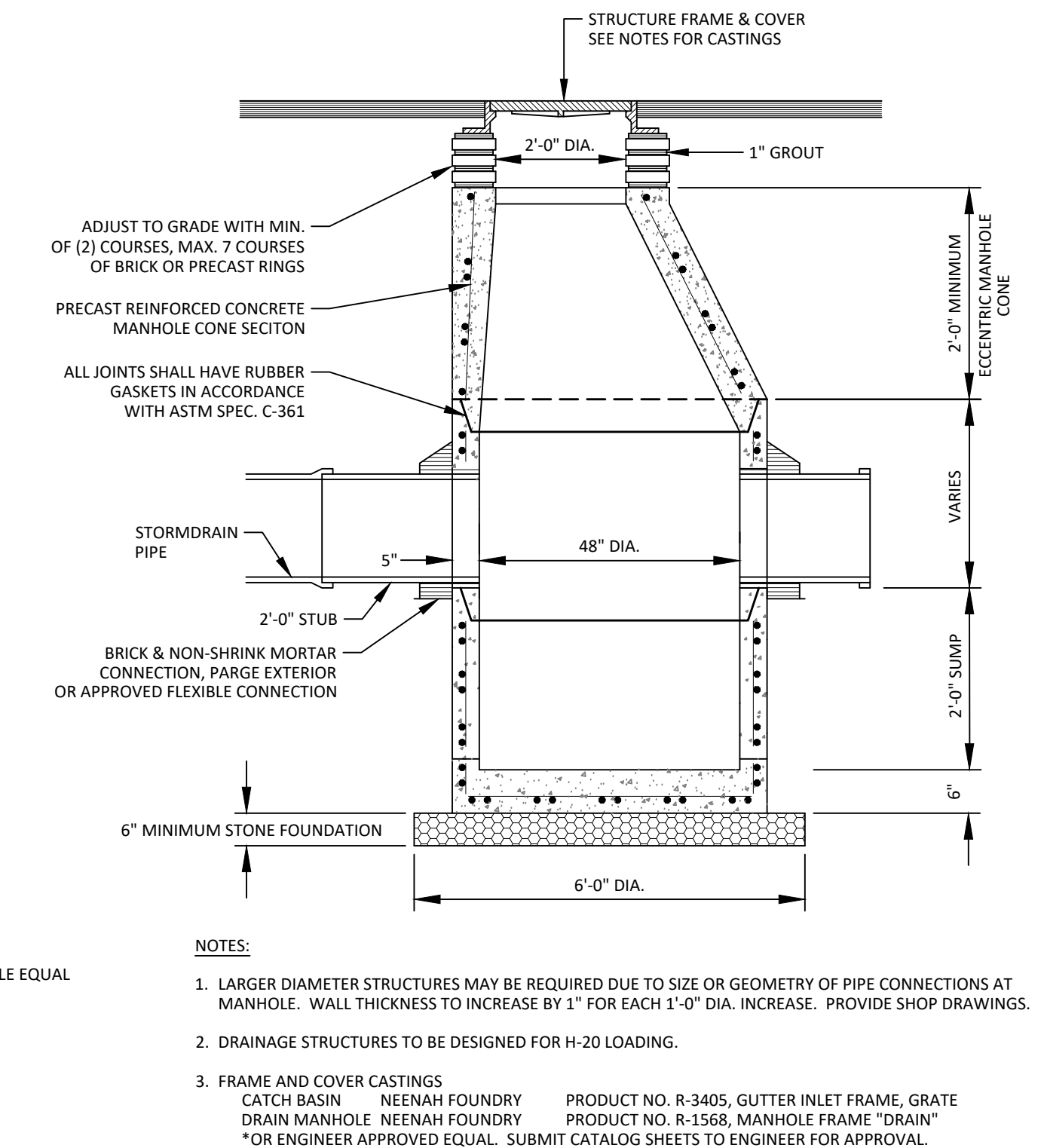
UNIT ROOFLINE DRIPEDGE LOCATIONS
NOT TO SCALE



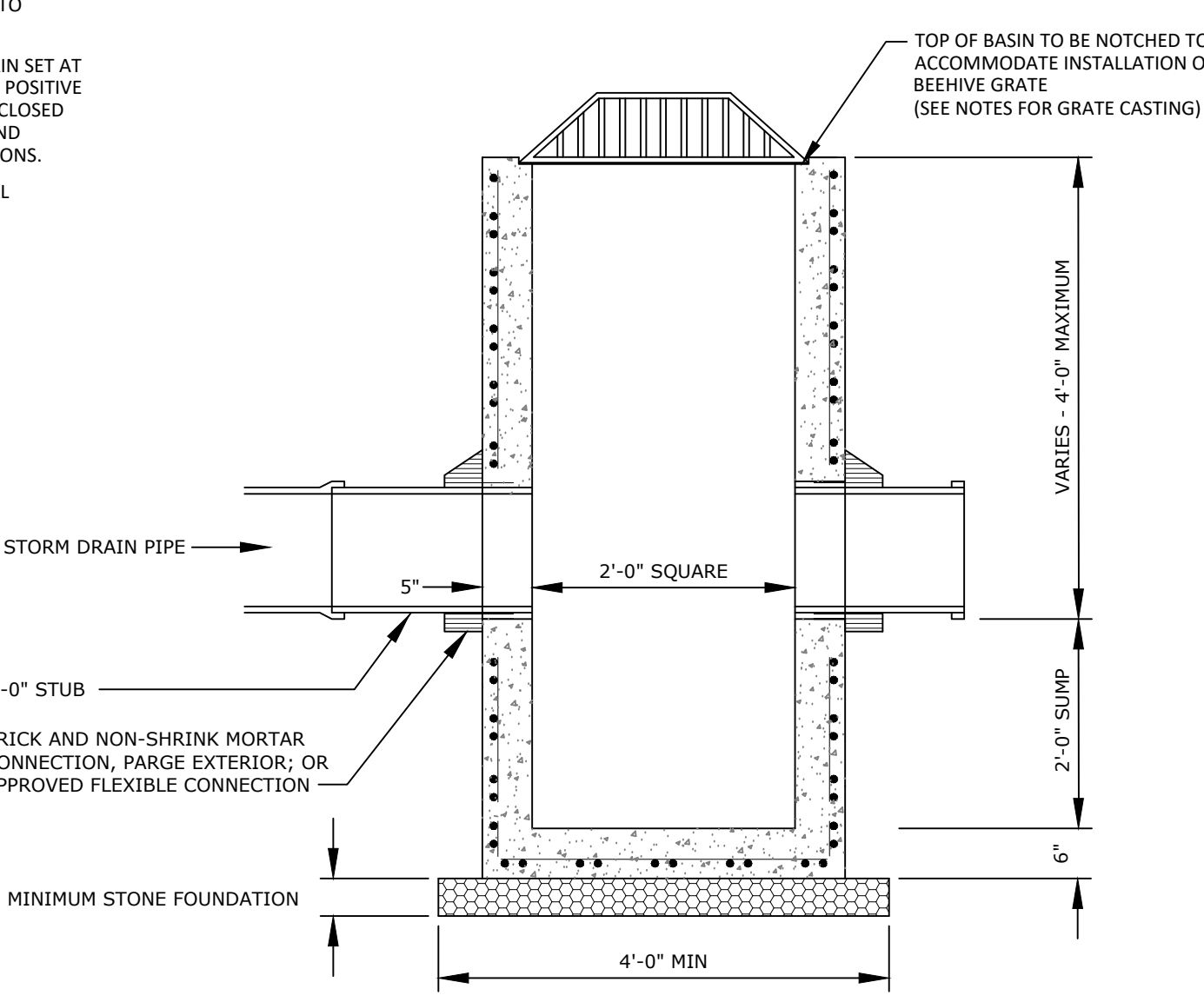
ROOF DRIP EDGE
NOT TO SCALE



TYPICAL WATER MAIN TRENCH CROSS-SECTION
NOT TO SCALE

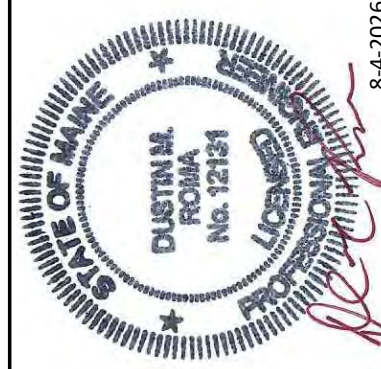


PRECAST CONCRETE DRAINAGE STRUCTURE
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
STRUCTURE - TYPE F
NOT TO SCALE

NOT FOR CONSTRUCTION



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DETAILS
LEGACY VILLAGE RETIREMENT COMMUNITY
WEBB ROAD
WINDHAM, MAINE
FOR: **ROBIE HOLDINGS, LLC**
PO BOX 1508
WINDHAM, ME 04062

25007
JOB NUMBER:
AS NOTED
SCALE:
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SHEET 13 OF 13
D-3