

WINDHAM VILLAGE APARTMENTS

MAJOR SITE PLAN REVIEW APPLICATION

WINDHAM, MAINE

PREPARED BY:

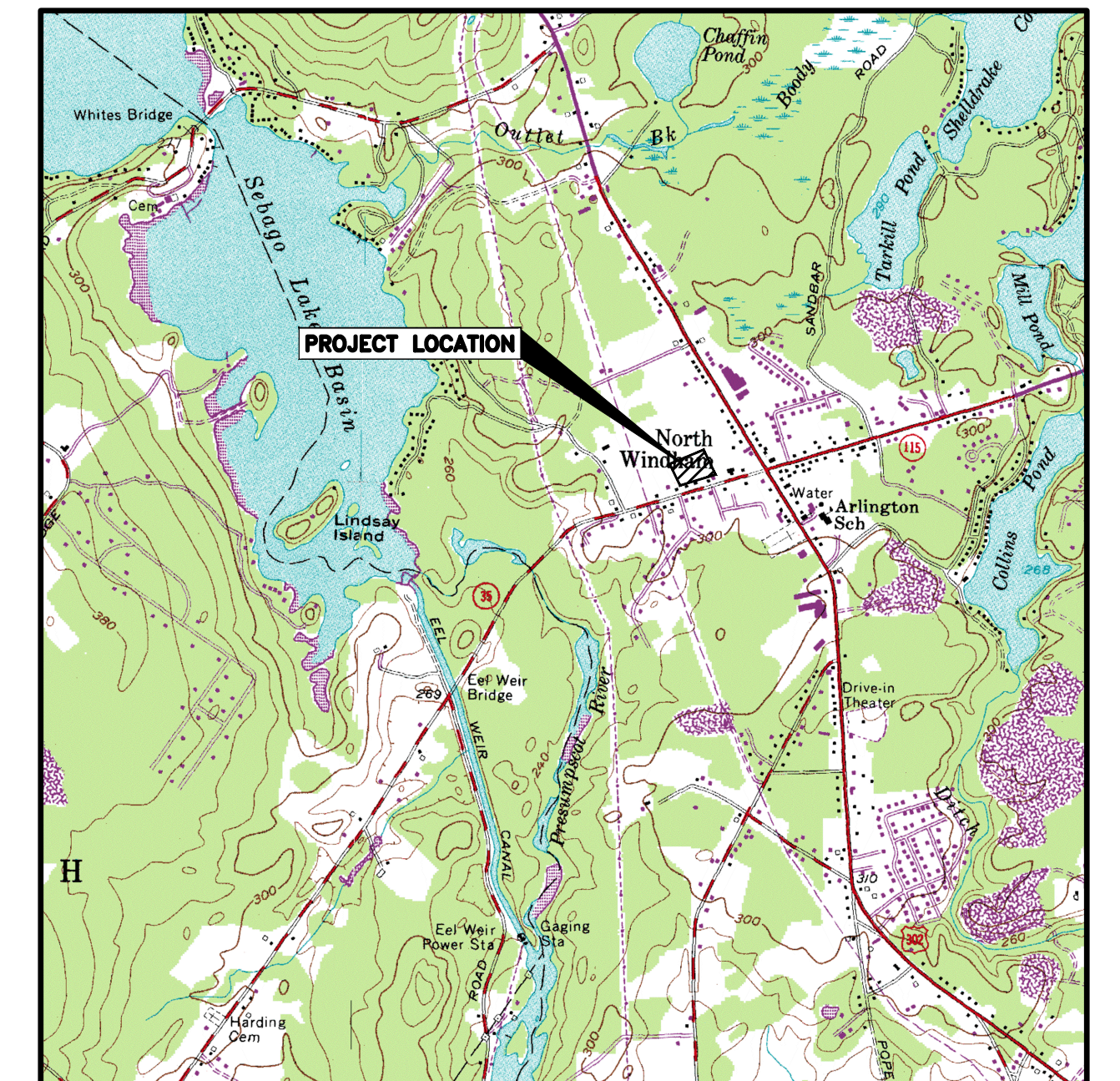
PROJECT PARCEL SITE	
WINDHAM ASSESSOR'S	
MAP & LOT NUMBERS	
MAP	LOT
70	1A

Applicant/Developer:
Windham Village Apartments, LLC
 40 Farm Gate Road
 Falmouth, ME 04105

REPRESENTATIVE: LONI GRAIVER
 LONI@GRAIVERHOMES.COM



Relationships. Responsiveness. Results.
 www.gorrillpalmer.com
 207.772.2515



LOCATION MAP
N.T.S.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
[Symbol]	BUILDING	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]
[Symbol]	EASEMENT	[Symbol]
[Symbol]	RIGHT OF WAY	[Symbol]
[Symbol]	BUILDING SETBACK	[Symbol]
[Symbol]	PROJECT LIMITS	[Symbol]
[Symbol]	ZONE LINE	[Symbol]
[Symbol]	WETLAND BOUNDARY	[Symbol]
[Symbol]	STREAM	[Symbol]
[Symbol]	STREAM SETBACK	[Symbol]
[Symbol]	CONSERVATION EASEMENT	[Symbol]
[Symbol]	GUARD RAIL	[Symbol]
[Symbol]	EDGE OF PAVEMENT	[Symbol]
[Symbol]	EDGE OF GRAVEL DRIVE	[Symbol]
[Symbol]	GRADING CONTOUR LINE	[Symbol]
[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	TREELINE	[Symbol]
[Symbol]	TREES & HEDGES	[Symbol]
[Symbol]	POLE WITH LIGHT FIXTURE(S)	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	FREESTANDING SIGN	[Symbol]
[Symbol]	PAINTED DIRECTIONAL TRAFFIC ARROW	[Symbol]
[Symbol]	OVERHEAD ELECTRIC/TELEPHONE	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC/TELEPHONE	[Symbol]
[Symbol]	WATER LINE	[Symbol]
[Symbol]	STORM DRAIN LINE	[Symbol]
[Symbol]	CULVERT	[Symbol]
[Symbol]	FORCE MAIN	[Symbol]
[Symbol]	HYDRANT	[Symbol]
[Symbol]	WATER GATE VALVE	[Symbol]
[Symbol]	WATER SHUT OFF VALVE	[Symbol]
[Symbol]	MANHOLE	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	TEST PIT	[Symbol]
[Symbol]	IRON ROD (SET)	[Symbol]
[Symbol]	IRON ROD (FOUND)	[Symbol]
[Symbol]	MONUMENT	[Symbol]
[Symbol]	RIPRAP	[Symbol]
[Symbol]	SILT FENCE - PERIMETER	[Symbol]
[Symbol]	STONE SEDIMENT BARRIER	[Symbol]
[Symbol]	FENCE	[Symbol]
[Symbol]	WELL	[Symbol]
[Symbol]	TEST PIT	[Symbol]
[Symbol]	BORING	[Symbol]

GENERAL NOTES

GENERAL NOTES

- TOPOGRAPHIC DATA AND EXISTING CONDITIONS WAS PREPARED BY OWEN HASKELL OF FALMOUTH MAINE ON 02/02/23.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THE TOWN OF WINDHAM OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND/OR TOWN OF WINDHAM SPECIFICATIONS.

PERMITTING NOTES

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A SITE PLAN & SUBDIVISION APPROVAL FROM THE TOWN OF WINDHAM. THE CONSTRUCTION WILL BE GOVERNED BY THE TOWN OF WINDHAM ZONING ORDINANCE WHICH IS AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE.
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A SITE LOCATION OF DEVELOPMENT ACT PERMIT FROM MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL REVIEW THE ABOVE REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

LAYOUT NOTES

- ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB.
- OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE, BY A MAINE LICENSED LAND SURVEYOR.
- PROPOSED RIGHT OF WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE LICENSED LAND SURVEYOR.
- CURB RADI RADI UNLESS OTHERWISE NOTED ON THE PLAN SHALL BE A MINIMUM OF 3'.

UTILITY NOTES

- ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. ALL WATER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/ANSI C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
- THE LOCATION OF THE PROPOSED UNDERGROUND ELECTRICAL SERVICE IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH CENTRAL MAINE POWER COMPANY.
- THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, VALVES, CHANGES IN DIRECTION, ETC. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE PORTLAND WATER DISTRICT STANDARDS.
- TEST PITS AT ALL UTILITY CROSSINGS SHALL BE COMPLETED TWO WEEKS IN ADVANCE OF THE START OF CONSTRUCTION OR ORDERING OF MATERIALS. TEST PIT INFORMATION SHALL BE PROMPTLY PROVIDED TO ENGINEER FOR REVIEW.
- ALL GAS UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO UNILIT STANDARDS.

GRADING AND DRAINAGE NOTES

- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603-- PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 REINFORCED CONCRETE PIPE, CLASS III
 POLYVINYL-CHLORIDE (PVC) PIPE
 SMOOTH BORE POLYETHYLENE -- ADS OR HANCOR
- TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

PERMITS

TYPE OF PERMIT	GOVERNING BODY	STATUS
MAJOR SUBDIVISION & SITE PLAN	TOWN OF WINDHAM 8 SCHOOL ROAD WINDHAM, ME 04062 (207)894-5960	SUBMITTED: APRIL & MAY 2024
SITE LOCATION OF DEVELOPMENT ACT AMENDMENT	MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 312 CANCO ROAD PORTLAND, ME 04103 #L-04332-23-G-T APRIL STEHR	APPROVED: MAY 2024 #L-04332-87-I-A

UTILITIES

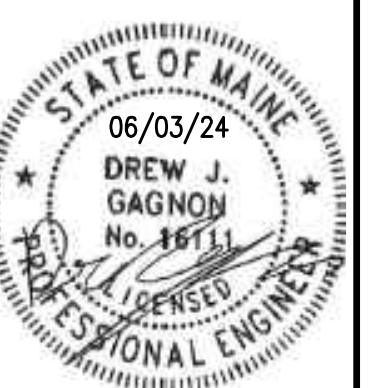
WATER: PORTLAND WATER DISTRICT 225 DOUGLASS STREET PORTLAND, MAINE 04102 (207) 761-8310 CONTACT: ROBERT BARTELS RBARTELS@PW.DIG ANDREW WEAVER AWEAVER@PW.DIG	CABLE: SPECTRUM 118 JOHNSON ROAD PORTLAND, MAINE 04102 (207) 253-2324 CONTACT: MARK PELLETIER
SEWER (FUTURE): PORTLAND WATER DISTRICT 225 DOUGLASS STREET PORTLAND, MAINE 04102 (207) 761-8310 CONTACT: ROBERT BARTELS RBARTELS@PW.DIG ANDREW WEAVER AWEAVER@PW.DIG	GAS: MAINE NATURAL GAS MAILING ADDRESS: P.O. BOX 99 BRUNSWICK, ME 04011 BUSINESS OFFICE: 9 INDUSTRIAL PARKWAY BRUNSWICK, ME 04011 (207)729-0420 CONTACT:
ELECTRIC: CENTRAL MAINE POWER 162 CANCO ROAD PORTLAND, MAINE 04103 (207) 828-2882 CONTACT: JAMES COUGH	FIBER OPTIC: CMI 8 POMERLEAU STREET BIDDEFORD, MAINE 04005 (207)-602-1115 CONTACT: CHRIS WHELAN
TELEPHONE: CONSOLIDATED COMMUNICATIONS 5 DAVIS FARM ROAD PORTLAND, MAINE 04103 (207) 797-1866 CONTACT: PATRICK MORRISON	

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-	FIRST AMENDED SHAW'S COMMERCIAL SUBDIVISION PLAN (BY OWEN HASKELL)
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C003	EROSION AND TREE CLEARING PLAN
C004	SITE & SUBDIVISION PLAN
C100	OVERALL PROXIMITY PLAN
C101	SITE PLAN
C102	UTILITY PLAN
C103	DRAINAGE PLAN
C104	OFFSITE DRAINAGE IMPROVEMENTS
C105	GRADING PLAN
C106	GRADING INSETS
C201	ANNA WAY UTILITY PLAN & PROFILE
C202	OFFSITE WATERMAIN PLAN & PROFILE
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C204	MANCHESTER DRIVE SIDEWALK CROSS SECTIONS
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C302	CHAMBER DETAILS
C401	SITE DETAILS
C402	SITE & DRAINAGE DETAILS
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C404	UTILITY DETAILS
C405	UTILITY, EROSION & SEDIMENTATION CONTROL DETAILS
C406	EROSION & SEDIMENTATION CONTROL NOTES
L1	LANDSCAPE PLAN (BY LONGMEADOW LANDSCAPE ARCHITECTS)
L2	LANDSCAPE DETAILS (BY LONGMEADOW LANDSCAPE ARCHITECTS)
-	PHOTOMETRIC PLAN (BY SWANEY LIGHTING ASSOCIATES)

CALL BEFORE YOU DIG
 DIAL 811 (AT LEAST
 72 HOURS IN ADVANCED)

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



U:\3796_Graver Homes_Tandberg Trail Mixed Residential Housing - Windham\Z - CAD\DWG\3796-COV.dwg 5/31/2024 9:43 AM

Rev.	Date	Revision

Site and Subdivision Application	Date	By
RESPONSE TO MDEP COMMENTS	06/03/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/08/24	DJG
SLDA RESPONSE TO COMMENTS	04/01/24	DJG
SLDA SUBMISSION	01/17/24	DJG
SKETCH PLAN SUBMISSION	10/6/23	DJG
Issued For	4/17/23	DJG

Design:	Draft:	Date:
LEL	CEH	DEC 2022
Checked: DJG	Scale: NTS	Job No.: 3796
File Name: 3796-COV.dwg		

This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.



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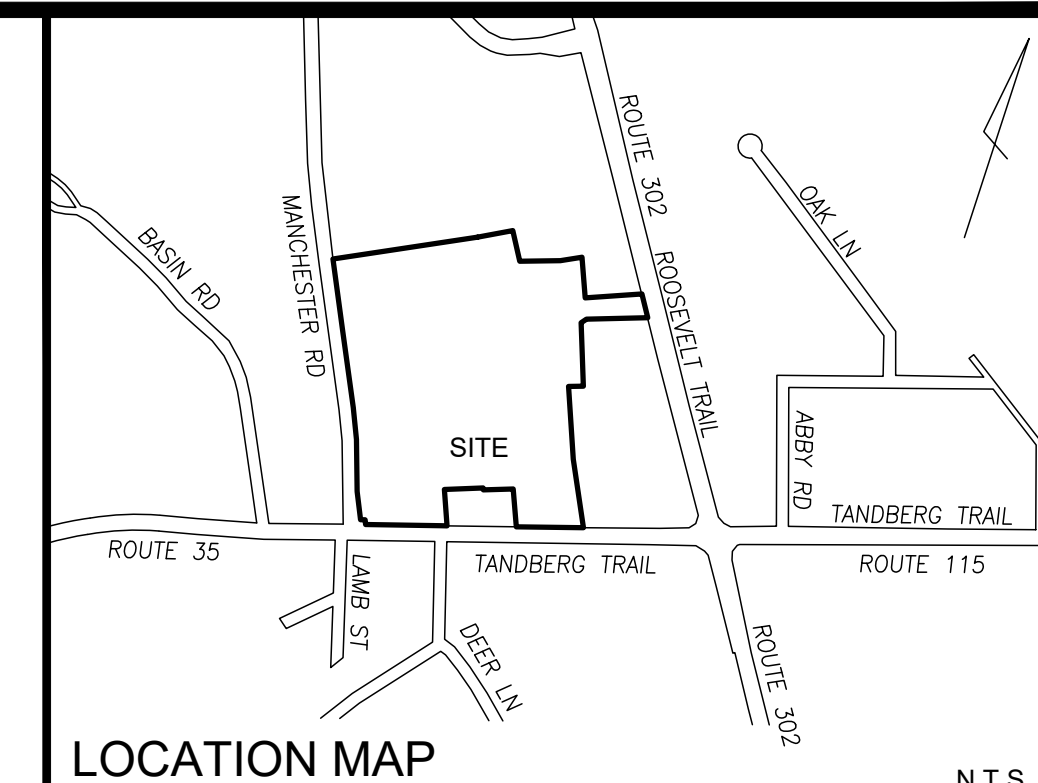
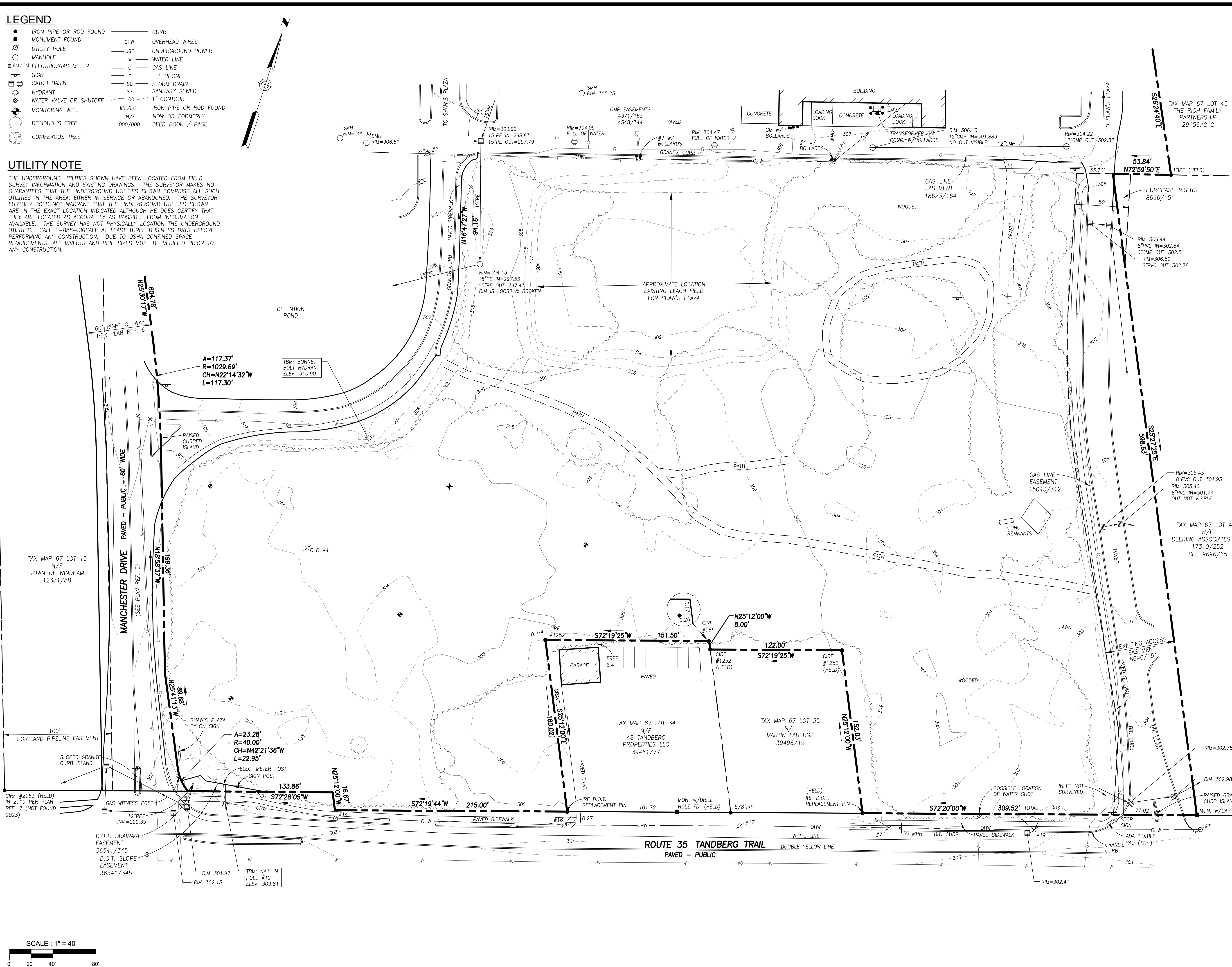
Drawing Name:	Cover Sheet, General Notes, & Legend
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.	C001
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LEGEND	
●	IRON PIPE OR ROD FOUND
■	MONUMENT FOUND
○	UTILITY POLE
○	MANHOLE
⊕	ELECTRIC/GAS METER
⊕	SIGN
⊕	CATCH BASIN
⊕	HYDRANT
⊕	WATER VALVE OR SHUTOFF
⊕	MONITORING WELL
⊕	DECIDUOUS TREE
⊕	CONIFEROUS TREE
—	CURB
—	OHW
—	OVERHEAD WIRES
—	UGE
—	UNDERGROUND POWER
—	W
—	WATER LINE
—	G
—	GAS LINE
—	T
—	TELEPHONE
—	SD
—	STORM DRAIN
—	SS
—	SANITARY SEWER
—	1' CONTOUR
—	IPF/IRF
—	IRON PIPE OR ROD FOUND
—	N/F
—	NOW OR FORMERLY
—	DEED BOOK / PAGE

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DISSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.



- PLAN REFERENCES**
- "SITE PLAN, SHAW'S PLAZA, SHAW'S REALTY COMPANY, SOUTH PORTLAND, MAINE" APRIL 1985, REVISED THROUGH SEPTEMBER 20, 1985 BY E.C. JORDAN CO. RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 150, PAGE 41.
 - "SITE PLAN, SHAW'S PLAZA, SHAW'S REALTY COMPANY, SOUTH PORTLAND, MAINE" APRIL 1985, REVISED THROUGH SEPTEMBER 20, 1985 BY E.C. JORDAN CO. RECORDED IN PLAN BOOK 158, PAGE 1.
 - "PLAN OF DRAINAGE AND CONST. WORK EASEMENT IN WINDHAM, MAINE FOR SHAW'S REALTY CO." JANUARY 29, 1987 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 168, PAGE 9.
 - "SUBDIVISION OF LAND, SHAW'S RELIEVER ROAD, ROUTE 35, NORTH WINDHAM, MAINE" JUNE 7, 1995 REV. 2 NOV. 1995 BY DOUCET SURVEY INC. RECORDED IN PLAN BOOK 196, PAGE 17.
 - "SUBDIVISION OF LAND, SHAW'S COMMERCIAL SUBDIVISION, ROUTE 35, NORTH WINDHAM, MAINE" JUNE 7, 1995 REV. 3 NOV. 1995 BY DOUCET SURVEY INC. RECORDED IN PLAN BOOK 196, PAGE 18.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION, WINDHAM RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 3, ROUTE 35 / TANDBERG TRAIL, WINDHAM, CUMBERLAND COUNTY, FEDERAL AID PROJECT NO. 2216600 SEPTEMBER 2019 D.O.T. FILE NO. 3-645"
 - "PLAN OF LAND IN WINDHAM, MAINE FOR MAINE SAVINGS BANK AND DONALD L. RICH" AUGUST 16, 1973 REVISED SEPT. 9, 1978 BY OWEN HASKELL, INC.
 - "PLAN OF LAND IN WINDHAM, MAINE FOR SHAW'S REALTY COMPANY" NOV. 8, 1979 REVISED APRIL 14, 1986 BY OWEN HASKELL, INC.
 - "PLAN OF LAND, STANDARD BOUNDARY SURVEY ON ROUTE 302 & ROUTE 35, WINDHAM, MAINE FOR J. & L. ASSOCIATES" JUNE 3, 1987 REVISED JUNE 1, 1989 BY OWEN HASKELL, INC.
 - "PLAN OF LAND, 52 TANDBERG TRAIL, WINDHAM, MAINE MADE FOR RECORD OWNER MARTIN LABERGE" MAY 16, 2019 BY OWEN HASKELL, INC.
 - "SHAW'S PLAZA GAS LINE EASEMENT PLAN FOR MAINE NATURAL GAS CO. OF CALIFORNIA STATE TEACHER'S RETIREMENT SYSTEM," BY DOUCET SURVEY INC., DATED SEPT. 25, 2002. SEE EXHIBIT A IN DEED BOOK 10623, PAGE 164.

- GENERAL NOTES**
- OWNER OF RECORD: B33 WINDHAM II LLC
TAX MAP 70 LOT 1A
C.C.R.D. BOOK 38370 PAGE 320
 - BEARINGS ARE BASED ON STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD83 PER GNSS OBSERVATION.
 - ELEVATIONS ARE BASED ON NAVD88 PER GNSS OBSERVATION.
 - THIS SURVEY WAS PERFORMED IN CONDITIONS OF SNOW AND ICE COVER. SOME SURFACE FEATURES MAY HAVE BEEN OBSCURED FROM VIEW.

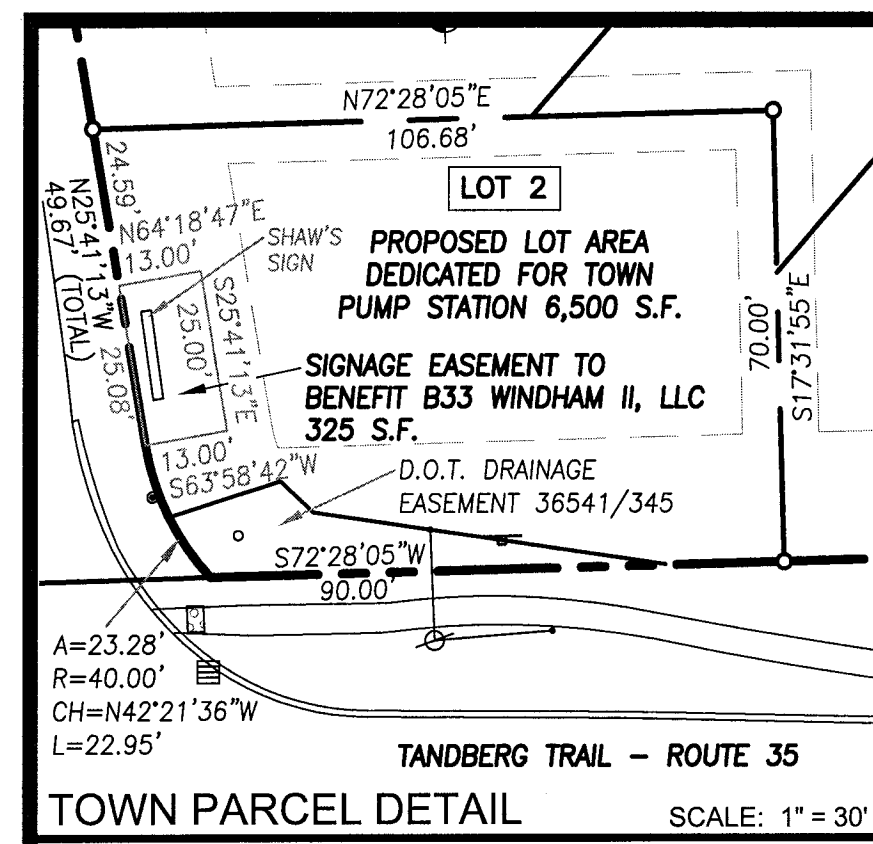
CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

Samuel D. Glidden, PLS #2520
 STATE OF MAINE
 SAMUEL D. GLIDDEN
 2520
 LICENSED PROFESSIONAL LAND SURVEYOR
 DATE: 2/3/2023

Boundary & Topographic Survey
 At
 Tandberg Trail and Manchester Drive
 Windham, Maine
 Made for
 Gorrill Palmer
 707 Sable Oaks Dr., #30, South Portland, ME

OWEN HASKELL, INC.
 PROFESSIONAL LAND SURVEYORS
 390 US ROUTE 1, UNIT 10, FALMOUTH, ME 04105 TEL. 207-774-0424
 DRAWN BY: JLW DATE: FEB. 6, 2023 JOB NO. 2023-015 WI
 CHECKED BY: SDG SCALE: 1" = 40' DRWG. NO. 1



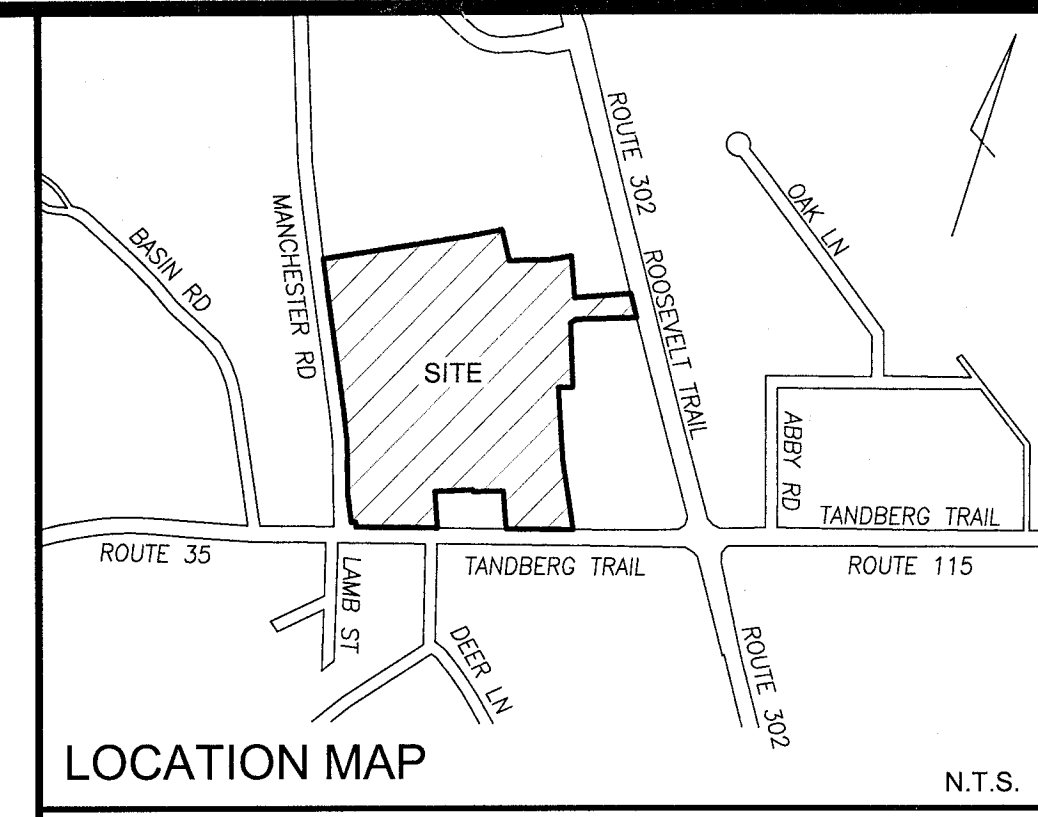
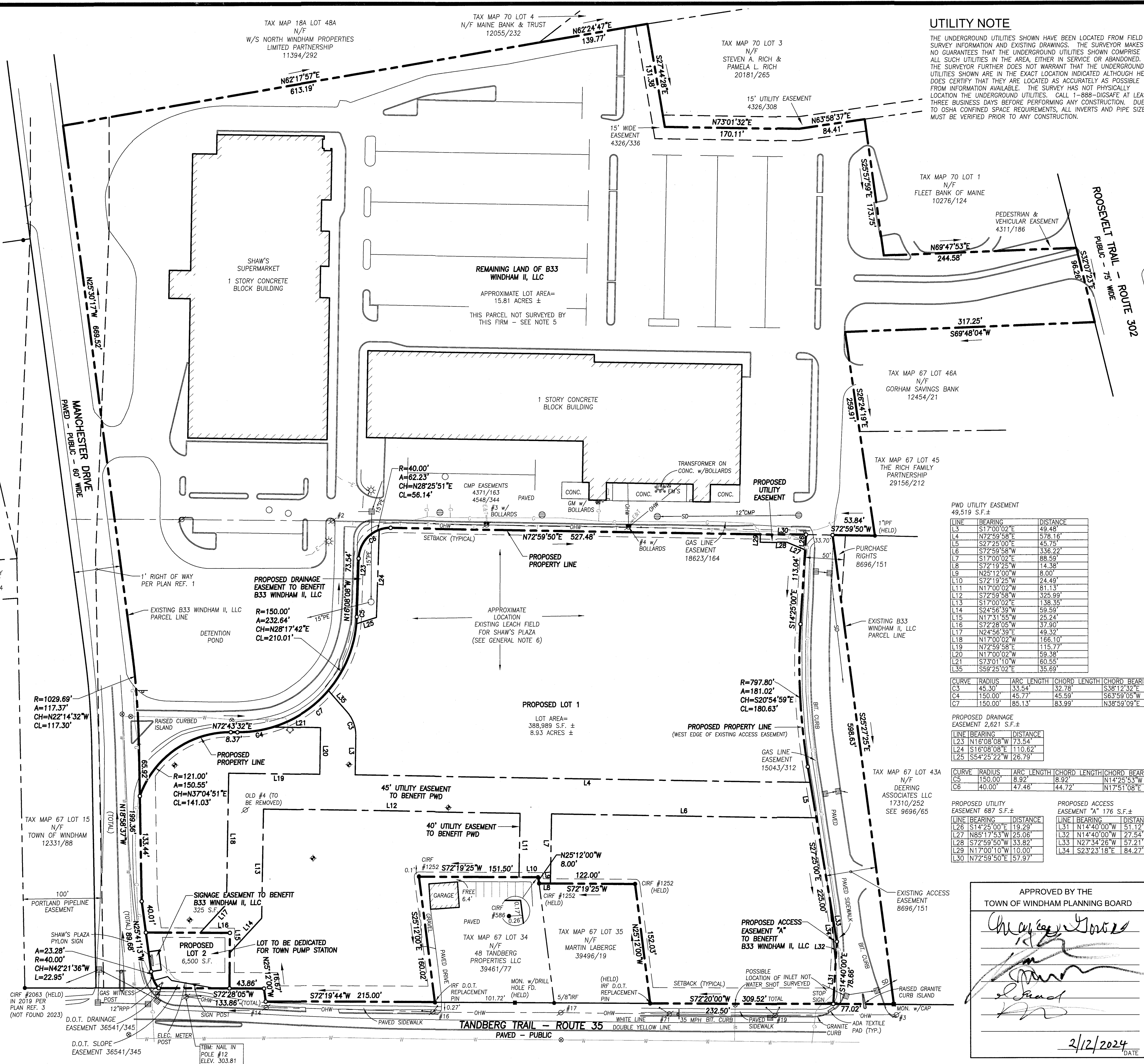
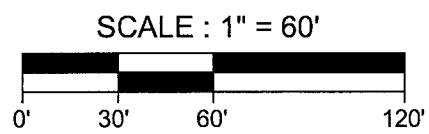
REGISTRY BLOCK
 STATE OF MAINE, CUMBERLAND, SS
 REGISTRY OF DEEDS
 RECEIVED February 15, 2024
 AT 1 hr. 40 min. P m AND RECORDED
 IN PLAN BOOK 224, PAGE 52
 ATTEST: *Janet Spaulding*
 REGISTER

SPACE AND BULK STANDARDS

ZONE: COMMERCIAL DISTRICT 1 (C1)

	REQUIRED
MINIMUM LOT SIZE	N/A
BUILDING SETBACKS	
FRONT	0-20'
SIDE	6'
REAR	6'
MAX. FRONTAGE	100'
MAXIMUM BUILDING HEIGHT	N/A

- LEGEND**
- CAPPED IRON ROD TO BE SET
 - IRON PIPE OR ROD FOUND
 - MONUMENT FOUND
 - UTILITY POLE
 - MANHOLE
 - ⊗ GM/GM ELECTRIC/GAS METER
 - ⊕ CATCH BASIN
 - ⊕ HYDRANT
 - ⊕ WATER VALVE OR SHUTOFF
 - ⊕ MONITORING WELL
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - OHW OVERHEAD WIRES
 - E UNDERGROUND POWER
 - W WATER LINE
 - G GAS LINE
 - T TELEPHONE
 - SS STORM DRAIN
 - SANITARY SEWER
 - ⊕ IPF/IRF IRON PIPE OR ROD FOUND
 - N/F NOW OR FORMERLY
 - DEED BOOK / PAGE
 - PWD PORTLAND WATER DISTRICT



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 - "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: ACADIA REALTY TRUST, MAP 70 - LOT 1A, CITY OF WINDHAM, CUMBERLAND COUNTY, MAINE," BY HOLDEN ENGINEERING & SURVEYING, INC., DATED OCTOBER 18, 2017.
 - "BOUNDARY & TOPOGRAPHIC SURVEY AT #3796 TANDBERG TRAIL, WINDHAM, MAINE MADE FOR GORRILL PALMER," BY OWEN HASKELL INC., DATED FEB. 6, 2023.

- GENERAL NOTES**
- OWNER OF RECORD: B33 WINDHAM II, LLC
TAX MAP 70 LOT 1A
C.C.R.D. BOOK 38370 PAGE 320
 - BEARINGS ARE BASED ON STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD83 PER GNSS OBSERVATION.
 - ELEVATIONS ARE BASED ON NAVD88 PER GNSS OBSERVATION.
 - THIS SURVEY WAS PERFORMED IN CONDITIONS OF SNOW AND ICE COVER. SOME SURFACE FEATURES MAY HAVE BEEN OBTUSCURED FROM VIEW.
 - THE REMAINING LAND OF B33 WINDHAM II, LLC WAS NOT FIELD SURVEYED BY THIS FIRM. THE LOT LINES OF THE REMAINING LAND SHOWN HEREON AS WELL AS THE IMPROVEMENTS THEREIN ARE TAKEN FROM PLAN REFERENCE 4.
 - THE EXISTING LEACH FIELD WILL BE REMOVED AND CONVERTED TO A NEW SANITARY SEWER SYSTEM.
 - LOT 1 TO BENEFIT FROM PROPOSED ACCESS EASEMENTS OVER EXISTING PRIVATE ACCESS ROADS WHICH EXTEND FROM TANDBERG TRAIL AND MANCHESTER DRIVE.
 - THIS LOT IS SUBJECT TO THE APPROVED SITE LOCATION OF DEVELOPMENT ACT PARTIAL TRANSFER PERMIT (L-4332-23-H-T) DATED NOVEMBER 29TH, 2023.

- CONDITIONS OF APPROVAL**
- APPROVAL IS DEPENDENT UPON AND LIMITED TO THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION DATED JANUARY 22, 2024 AS AMENDED FEBRUARY 12, 2024, AND SUPPORTING DOCUMENTS AND ORAL REPRESENTATIONS SUBMITTED AND AFFIRMED BY THE APPLICANT, AND CONDITIONS, IF ANY, IMPOSED BY THE PLANNING BOARD. ANY VARIATION FROM SUCH PLANS, PROPOSALS, SUPPORTING DOCUMENTS, AND REPRESENTATIONS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD OR THE TOWN PLANNER IN ACCORDANCE WITH 120-913 OF THE LAND USE ORDINANCE.

CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSEURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

Samuel D. Glidden
 SAMUEL D. GLIDDEN, PLS #2520
 2/12/24
 DATE

Record Owner: B33 Windham II, LLC
 770 Roosevelt Trail, Windham, Maine

THIS PLAN AMENDS THE PREVIOUSLY APPROVED 1995 SUBDIVISION ENTITLED SHAW'S RELIEVER ROAD AND SHAW'S COMMERCIAL SUBDIVISION BY APPLORDE ENGINEERING, INC. AND DOUCET SURVEY, INC., RECORDED IN PLAN BOOK 196, PAGES 17 & 18.

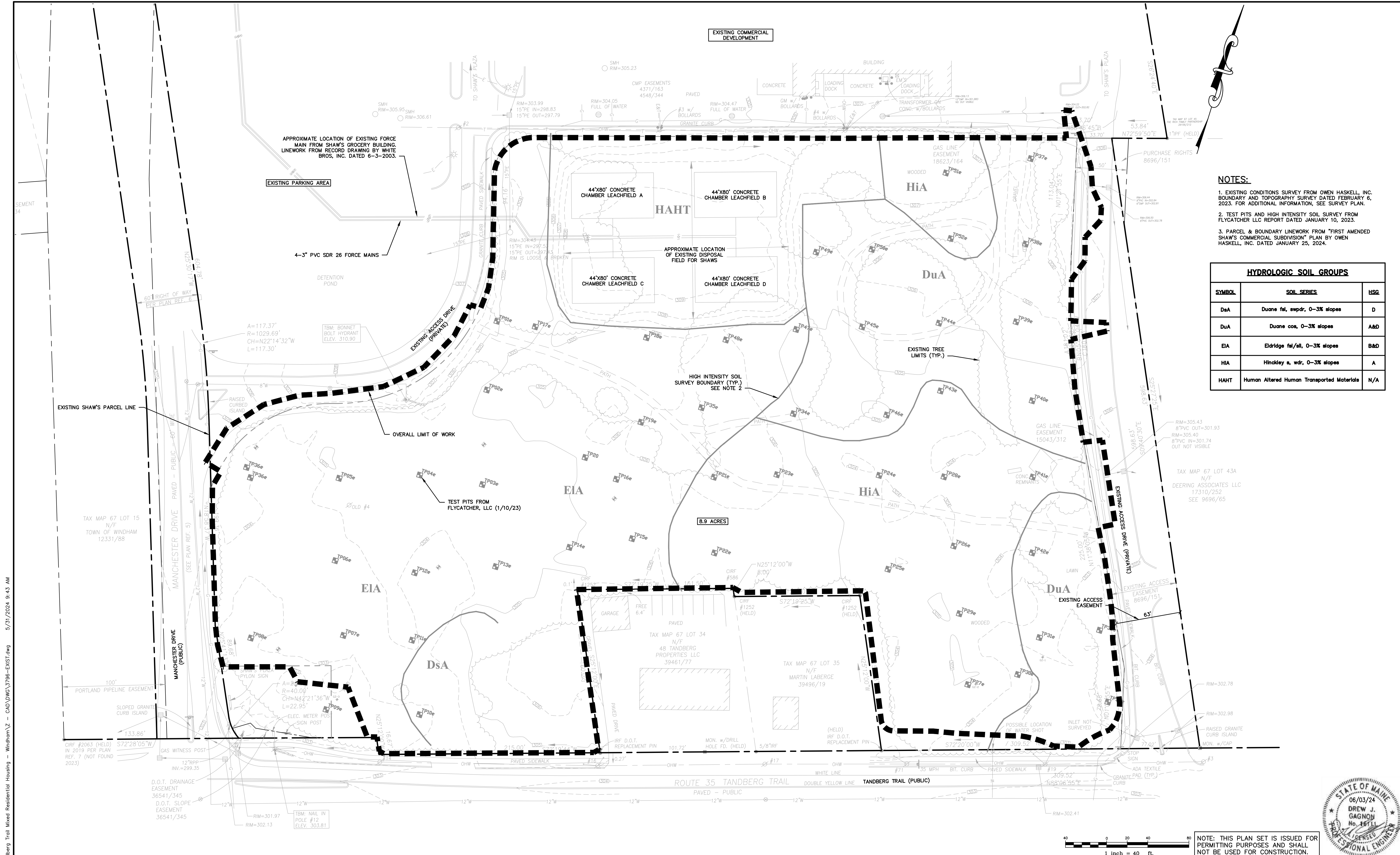
First Amended Shaw's Commercial Subdivision:
 Windham Village Apartments
 770 Roosevelt Trail, Windham, Maine
 Made for Applicant:
 Windham Village Apartments, LLC
 40 Farm Gate Road, Falmouth, ME 04105

OWEN HASKELL, INC.
 PROFESSIONAL LAND SURVEYORS
 390 US ROUTE 1, UNIT 10, FALMOUTH, ME 04105 TEL. 207-774-0424

DRAWN BY: JLW DATE: FEB. 5, 2024 JOB NO. 2023-015 WJ
 CHECKED BY: SDG SCALE: 1" = 60' DRWG. NO. 1-SD

APPROVED BY THE
 TOWN OF WINDHAM PLANNING BOARD

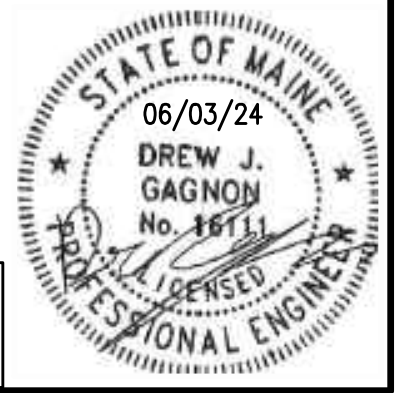
Cheryl J. Jones
 [Signature]
 2/12/2024
 DATE



- NOTES:**
- EXISTING CONDITIONS SURVEY FROM OWEN HASKELL, INC. BOUNDARY AND TOPOGRAPHY SURVEY DATED FEBRUARY 6, 2023. FOR ADDITIONAL INFORMATION, SEE SURVEY PLAN.
 - TEST PITS AND HIGH INTENSITY SOIL SURVEY FROM FLYCATCHER LLC REPORT DATED JANUARY 10, 2023.
 - PARCEL & BOUNDARY LINWORK FROM "FIRST AMENDED SHAW'S COMMERCIAL SUBDIVISION" PLAN BY OWEN HASKELL, INC. DATED JANUARY 25, 2024.

HYDROLOGIC SOIL GROUPS		
SYMBOL	SOIL SERIES	HSG
DsA	Duane fs, swpd, 0-3% slopes	D
DuA	Duane cos, 0-3% slopes	A&D
EIA	Eldridge fs/sl, 0-3% slopes	B&D
HiA	Hinckley s, wdr, 0-3% slopes	A
HAHT	Human Altered Human Transported Materials	N/A

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



U:\3796-Grower Homes-Tandberg Trail Mixed Residential Housing - Windham\Z - CAD\DWG\3796-EXIST.dwg 5/31/2024 9:43 AM

Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: 1"=40' Job No.: 3796
 File Name: 3796-EXIST.dwg
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Drawing Name:	Existing Conditions Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

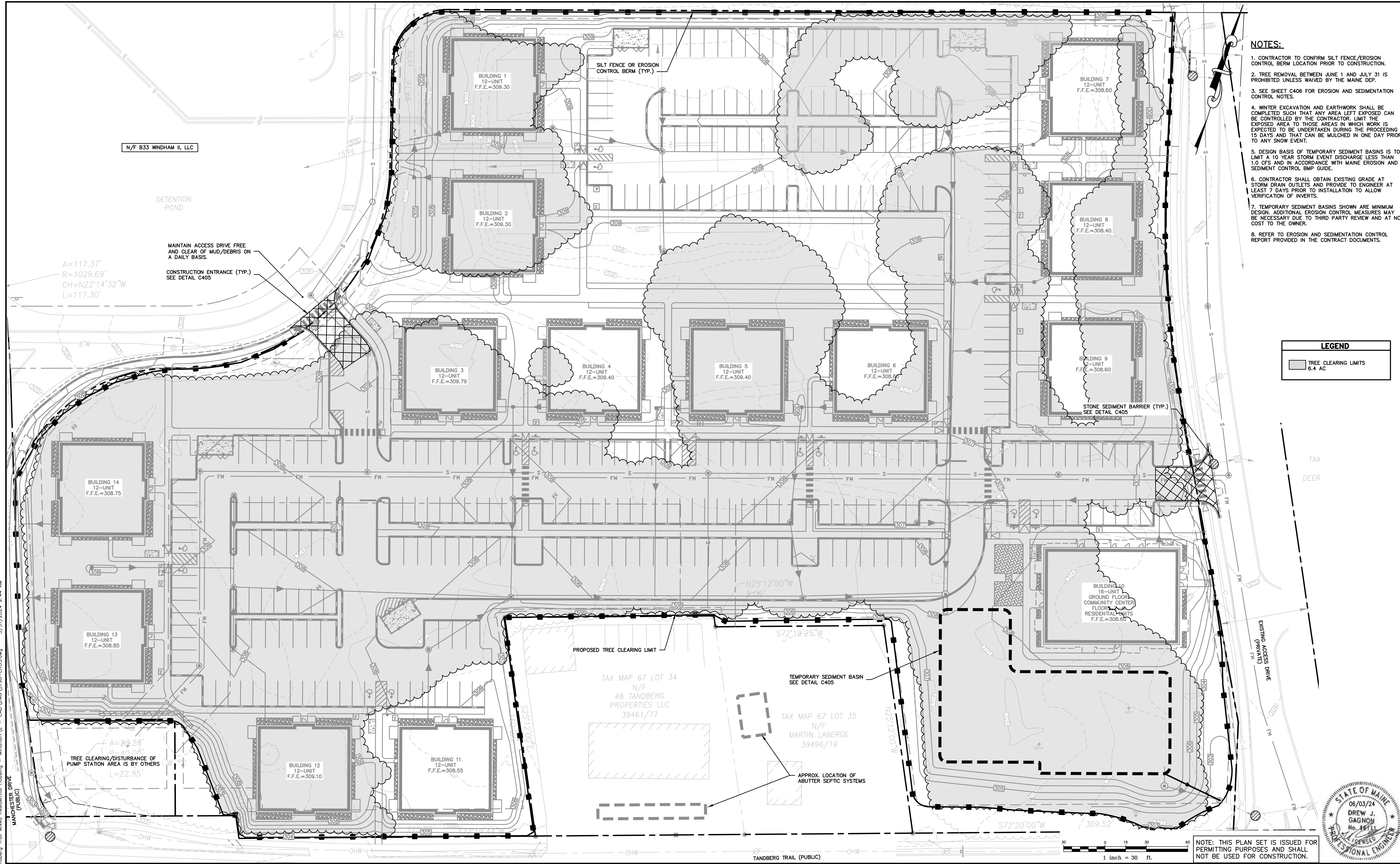
Drawing No.
C002

NOTES:

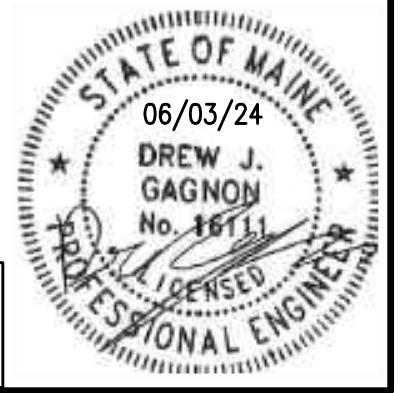
1. CONTRACTOR TO CONFIRM SILT FENCE/EROSION CONTROL BERM LOCATION PRIOR TO CONSTRUCTION.
2. TREE REMOVAL BETWEEN JUNE 1 AND JULY 31 IS PROHIBITED UNLESS WAIVED BY THE MAINE DEP.
3. SEE SHEET C406 FOR EROSION AND SEDIMENTATION CONTROL NOTES.
4. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT ANY AREA LEFT EXPOSED CAN BE CONTROLLED BY THE CONTRACTOR. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
5. DESIGN BASIS OF TEMPORARY SEDIMENT BASINS IS TO LIMIT A 10 YEAR STORM EVENT DISCHARGE LESS THAN 1.0 CFS AND IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL BMP GUIDE.
6. CONTRACTOR SHALL OBTAIN EXISTING GRADE AT STORM DRAIN OUTLETS AND PROVIDE TO ENGINEER AT LEAST 7 DAYS PRIOR TO INSTALLATION TO ALLOW VERIFICATION OF INVERTS.
7. TEMPORARY SEDIMENT BASINS SHOWN ARE MINIMUM DESIGN. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY DUE TO THIRD PARTY REVIEW AND AT NO COST TO THE OWNER.
8. REFER TO EROSION AND SEDIMENTATION CONTROL REPORT PROVIDED IN THE CONTRACT DOCUMENTS.

LEGEND

■ TREE CLEARING LIMITS
6.4 AC



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



U:\3796-Gravel Homes-Tandberg Trail Mixed Residential Housing - Windham\Z - CAD\DWG\3796-EROS.dwg 5/31/2024 9:44 AM

Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/06/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design: LEL Draft: CEH Date: DEC 2022
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 File Name: 3796-EROS.dwg
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Drawing Name:	Erosion and Tree Clearing Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C003

TOWN OF WINDHAM PLANNING BOARD	
CHAIR:	DATE:

APPROVAL NOTES:

- APPROVAL IS DEPENDENT UPON UPON AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION DATED APRIL 1, 2024 AND (THE FINAL APPROVAL DATE) OF AND ON SUPPORTING DOCUMENTS AND ORAL REPRESENTATIONS SUBMITTED AND AFFIRMED BY THE APPLICANT, AND CONDITIONS, IF ANY, IMPOSED BY THE PLANNING BOARD AND ANY VARIATION FROM SUCH PLANS, PROPOSALS, AND SUPPORTING DOCUMENTS, AND REPRESENTATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD OR THE TOWN PLANNER IN 120-815 OF THE SITE PLAN AND 120-913 OF THE SUBDIVISION ORDINANCES.
- APPROVAL IS SUBJECT TO THE REQUIREMENTS OF CHAPTER 201 ARTICLE II POST-CONSTRUCTION STORMWATER ORDINANCE. ANY PERSON OWNING, OPERATING, LEASING, OR HAVING CONTROL OVER STORMWATER MANAGEMENT FACILITIES REQUIRED BY THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN MUST ANNUALLY ENGAGE THE SERVICES OF A QUALIFIED THIRD PARTY INSPECTOR WHO MUST CERTIFY COMPLIANCE WITH THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN ON OR BY JUNE 1ST OF EACH YEAR.
- AT THE TIME OF APPLYING FOR BUILDING PERMITS FOR THE 172 RESIDENTIAL UNITS, THE APPLICANT SHALL PAY THE NORTH WINDHAM ROUTE 302 ROAD IMPROVEMENT IMPACT FEE OF (WHITE BRIDGES ROAD AND ANGERS ROAD INTERSECTION WITH ROUTE 302), THE RECREATION IMPACT FEE, THE OPEN SPACE IMPACT FEE, THE PUBLIC SAFETY IMPACT FEE, AND THE MUNICIPAL OFFICE IMPACT FEE. ALL FEES WILL BE DETERMINED AND COLLECTED FOR ANY BUILDING, OR ANY OTHER PERMITS NECESSARY FOR THE DEVELOPMENT, 120-1201C.
- AT THE TIME LOTS 1 AND 2 ARE APPROVED FOR DEVELOPMENT, THE APPLICANT OR APPLICANTS ARE REQUIRED TO ADDRESS THE CUMULATIVE TRAFFIC GENERATION FROM ALL THE LOTS WITHIN THE SUBDIVISION AND PAY THE NORTH WINDHAM ROUTE 302 ROAD IMPROVEMENT IMPACT FEE, PUBLIC SAFETY IMPACT FEE, AND MUNICIPAL OFFICE IMPACT FEE. ALL FEES WILL BE DETERMINED AND COLLECTED FOR ANY BUILDING, OR ANY OTHER PERMITS NECESSARY FOR THE DEVELOPMENT, 120-1201C.
- THIS PROJECT QUALIFIES FOR THE ANNUAL STORMWATER MANAGEMENT FACILITIES CERTIFICATION. AS A CONDITION OF APPROVAL, COMPLIANCE WITH THIS CERTIFICATION IS REQUIRED.
- THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF AN AMENDED SITE LAW PERMIT (#L-04332-87-1-A)

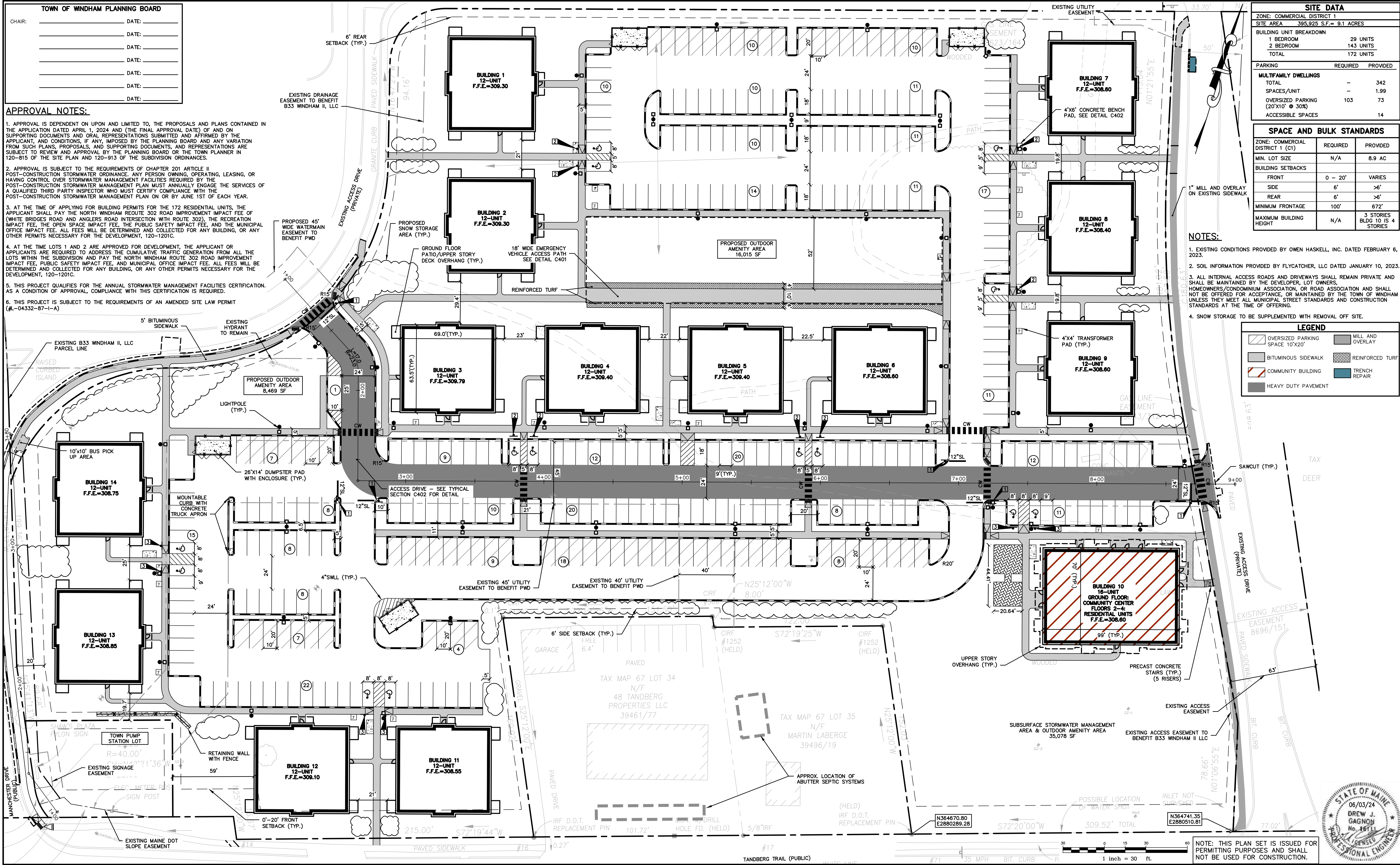
SITE DATA	
ZONE: COMMERCIAL DISTRICT 1	
SITE AREA	395,925 S.F. = 9.1 ACRES
BUILDING UNIT BREAKDOWN	
1 BEDROOM	29 UNITS
2 BEDROOM	143 UNITS
TOTAL	172 UNITS
PARKING	REQUIRED PROVIDED
MULTIFAMILY DWELLINGS	
TOTAL	342
SPACES/UNIT	1.99
OVERSIZED PARKING (20'X10' @ 30%)	103 73
ACCESSIBLE SPACES	14

SPACE AND BULK STANDARDS		
ZONE: COMMERCIAL DISTRICT 1 (C1)	REQUIRED	PROVIDED
MIN. LOT SIZE	N/A	8.9 AC
BUILDING SETBACKS		
FRONT	0 - 20'	VARIES
SIDE	6'	>6'
REAR	6'	>6'
MINIMUM FRONTAGE	100'	672'
MAXIMUM BUILDING HEIGHT	N/A	3 STORIES BLDG 10 IS 4 STORIES

NOTES:

- EXISTING CONDITIONS PROVIDED BY OWEN HASKELL, INC. DATED FEBRUARY 6, 2023.
- SOIL INFORMATION PROVIDED BY FLYCATCHER, LLC DATED JANUARY 10, 2023.
- ALL INTERNAL ACCESS ROADS AND DRIVEWAYS SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE DEVELOPER, LOT OWNERS, HOMEOWNERS' ASSOCIATION, OR ROAD ASSOCIATION AND SHALL NOT BE OFFERED FOR ACCEPTANCE OR MAINTAINED BY THE TOWN OF WINDHAM UNLESS THEY MEET ALL MUNICIPAL STREET STANDARDS AND CONSTRUCTION STANDARDS AT THE TIME OF OFFERING.
- SNOW STORAGE TO BE SUPPLEMENTED WITH REMOVAL OFF SITE.

LEGEND	
	OVERSIZED PARKING SPACE 10'X20'
	BITUMINOUS SIDEWALK
	COMMUNITY BUILDING
	HEAVY DUTY PAVEMENT
	MILL AND OVERLAY
	REINFORCED TURF
	TRENCH REPAIR



U:\3796-Grower Homes-Tandberg Trail Mixed Residential Housing - Windham\Z - CAD\DWG\3796-SUBD.dwg 5/31/2024 9:44 AM

Rev.	Date	Revision

Site and Subdivision Application	Date	By
RESPONSE TO MDEP COMMENTS	06/03/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/08/24	DJG
SLDA RESPONSE TO COMMENTS	04/01/24	DJG
SLDA SUBMISSION	01/17/24	DJG
SKETCH PLAN SUBMISSION	10/6/23	DJG
	4/17/23	DJG

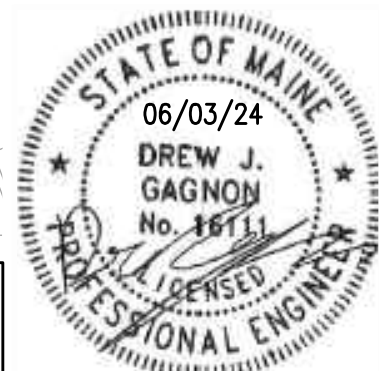
Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: 1"=30' Job No.: 3796
 File Name: 3796-SUBD.dwg
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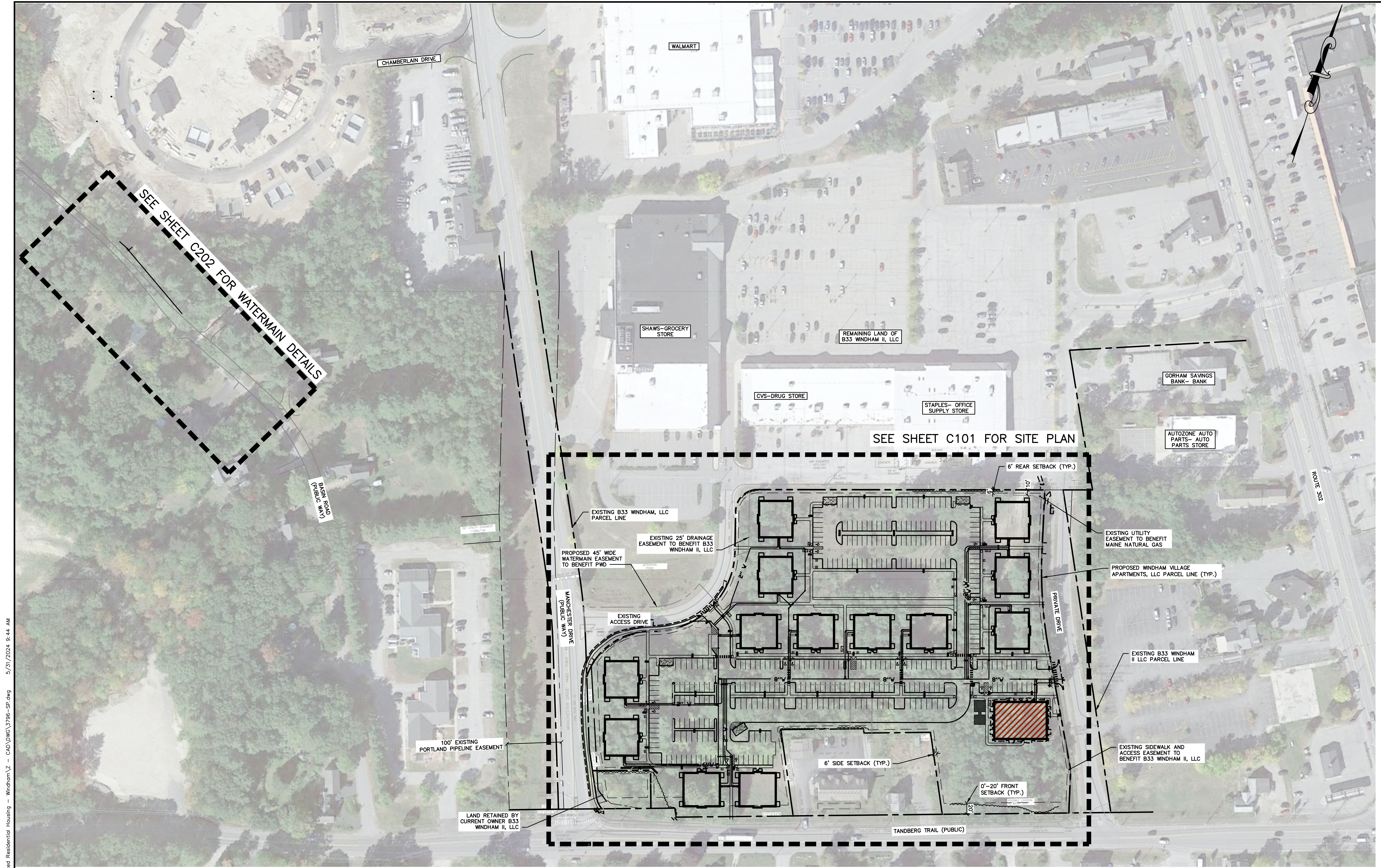
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Drawing Name:	Site & Subdivision Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C004

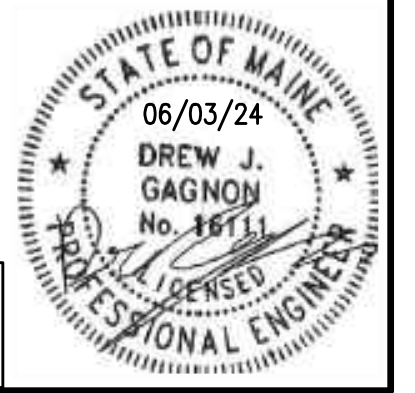


NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



SEE SHEET C202 FOR WATERMAIN DETAILS

SEE SHEET C101 FOR SITE PLAN



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

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Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

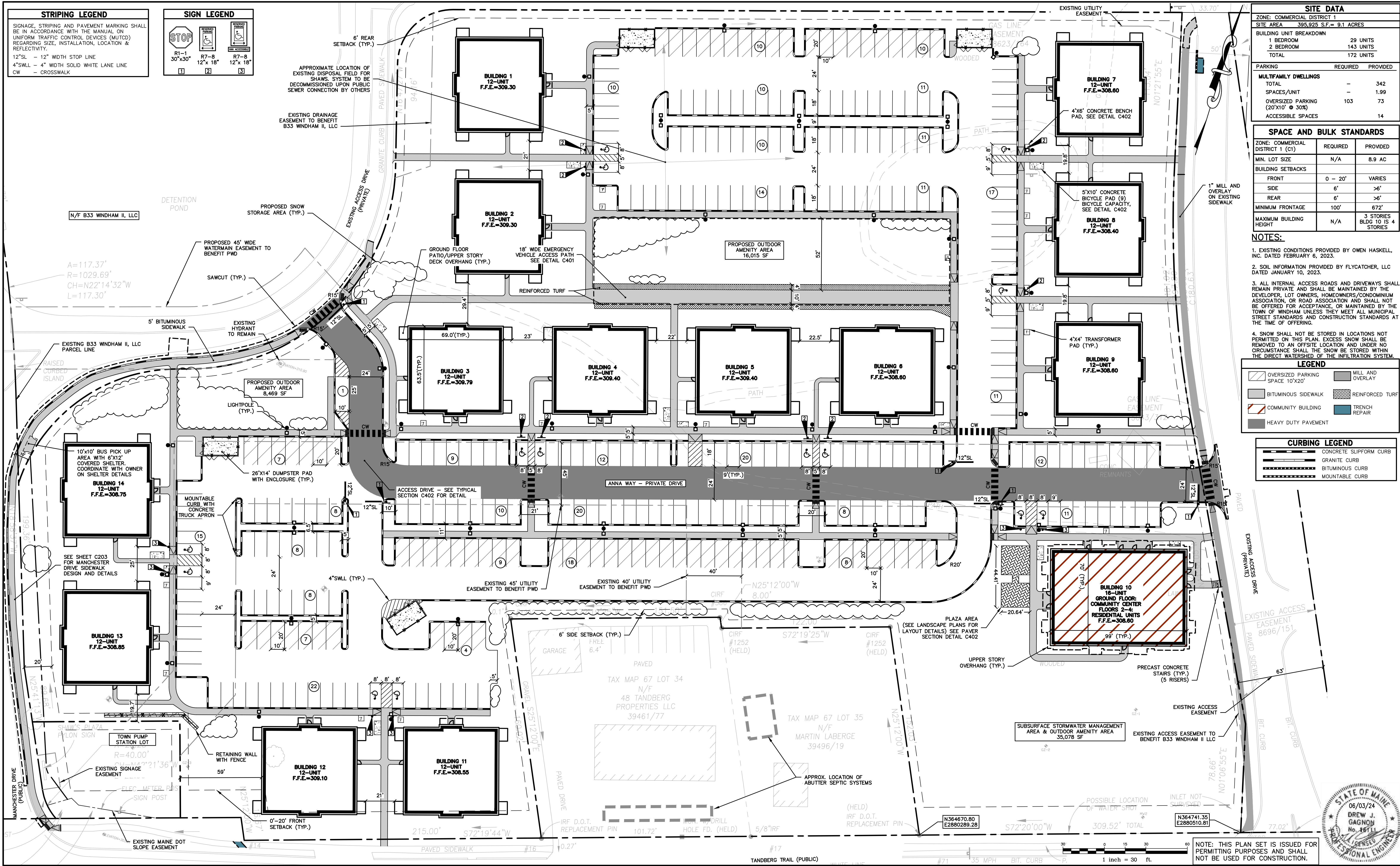
Design: LEL Draft: CEH Date: DEC 2022
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 File Name: 3796-SP.dwg
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Drawing Name:	Overall Proximity Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C100



STRIPING LEGEND

SIGNAGE, STRIPING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REGARDING SIZE, INSTALLATION, LOCATION & REFLECTIVITY.

12"SL - 12" WIDTH STOP LINE
 4"SWLL - 4" WIDTH SOLID WHITE LANE LINE
 CW - CROSSWALK

SIGN LEGEND

STOP
 R1-1 30"x30"
 R7-8 12"x18"
 R7-9 12"x18"

SITE DATA

ZONE: COMMERCIAL DISTRICT 1
 SITE AREA: 395,925 S.F. = 9.1 ACRES

BUILDING UNIT BREAKDOWN

1 BEDROOM	29 UNITS
2 BEDROOM	143 UNITS
TOTAL	172 UNITS

PARKING

MULTIFAMILY DWELLINGS	REQUIRED	PROVIDED
TOTAL	342	342
SPACES/UNIT	1.99	1.99
OVERSIZED PARKING (20'X10' @ 30%)	103	73
ACCESSIBLE SPACES		14

SPACE AND BULK STANDARDS

ZONE: COMMERCIAL DISTRICT 1 (C1)	REQUIRED	PROVIDED
MIN. LOT SIZE	N/A	8.9 AC
BUILDING SETBACKS		
FRONT	0 - 20'	VARIES
SIDE	6'	>6'
REAR	6'	>6'
MINIMUM FRONTAGE	100'	672'
MAXIMUM BUILDING HEIGHT	N/A	3 STORES BLDG 10 IS 4 STORES

- NOTES:**
- EXISTING CONDITIONS PROVIDED BY OWEN HASKELL, INC. DATED FEBRUARY 6, 2023.
 - SOIL INFORMATION PROVIDED BY FLYCATCHER, LLC DATED JANUARY 10, 2023.
 - ALL INTERNAL ACCESS ROADS AND DRIVEWAYS SHALL REMAIN PRIVATE AND SHALL BE MAINTAINED BY THE DEVELOPER, LOT OWNERS, HOMEOWNERS/CONDOMINIUM ASSOCIATION, OR ROAD ASSOCIATION AND SHALL NOT BE OFFERED FOR ACCEPTANCE, OR MAINTAINED BY THE TOWN OF WINDHAM UNLESS THEY MEET ALL MUNICIPAL STREET STANDARDS AND CONSTRUCTION STANDARDS AT THE TIME OF OFFERING.
 - SNOW SHALL NOT BE STORED IN LOCATIONS NOT PERMITTED ON THIS PLAN. EXCESS SNOW SHALL BE REMOVED TO AN OFFSITE LOCATION AND UNDER NO CIRCUMSTANCE SHALL THE SNOW BE STORED WITHIN THE DIRECT WATERSHED OF THE INFILTRATION SYSTEM.

LEGEND

OVERSIZED PARKING SPACE 10'X20'	MILL AND OVERLAY
BITUMINOUS SIDEWALK	REINFORCED TURF
COMMUNITY BUILDING	TRENCH REPAIR
HEAVY DUTY PAVEMENT	

CURBING LEGEND

CONCRETE SLIPFORM CURB
GRANITE CURB
BITUMINOUS CURB
MOUNTABLE CURB

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Rev.	Date	Revision

SITE AND SUBDIVISION APPLICATION		06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG	
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG	
SLDA RESPONSE TO COMMENTS	01/17/24	DJG	
SLDA SUBMISSION	10/6/23	DJG	
SKETCH PLAN SUBMISSION	4/17/23	DJG	
Issued For	Date	By	

Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: 1"=30' Job No.: 3796
 File Name: 3796-SP.dwg

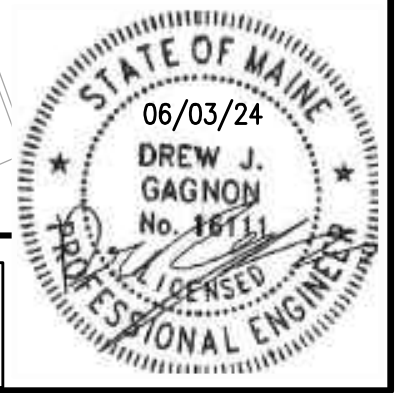
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Drawing Name:	Site Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C101

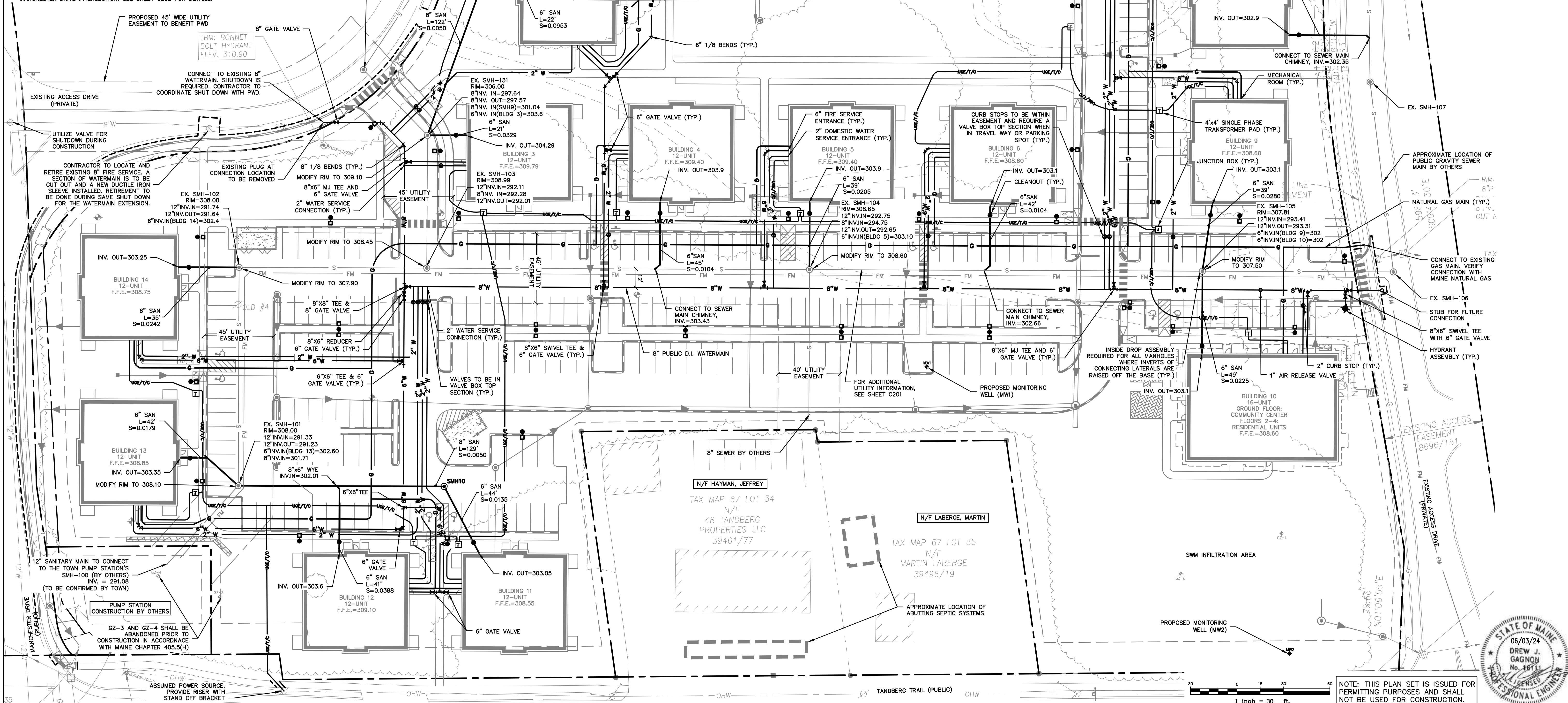


NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

SANITARY SCHEDULE				
STRUCTURE	SIZE	RIM	INV. IN./SIZE (FROM)	INV. OUT./SIZE (TO)
SMH9	4"	307.25	301.75/6"(BLDG1) 301.75/6"(BLDG2)	301.65/8"(EX. SMH-131)
SMH10	4"	307.95	302.45/6"(BLDG11)	302.35/8"(EX. SMH-101)

UTILITY NOTES

1. MAINTAIN 5' SEPARATION FROM PROPERTY LINES AND MAN MADE STRUCTURES
2. MAINTAIN 5' OF COVER OVER THE LINE WITH NO MORE THAN 5.5'
3. MAINTAIN 10' OF SEPARATION FROM OTHER UTILITIES
4. MAINTAIN 3' SEPARATION FROM EXISTING PORTLAND WATER DISTRICT INFRASTRUCTURE, UNLESS CONNECTING.
5. MAINTAIN 18 INCHES OF VERTICAL SEPARATION AT CROSSINGS WITH OTHER UTILITIES (12-INCH MINIMUM WITH RIGID INSULATION BETWEEN).
6. RUN WITH TRACER WIRE WHERE NON-METALLIC AND BONDED FOR CONTINUITY FROM MAIN TO METER.
7. THE ENTIRE RUN FROM CURB STOP TO THE INTERIOR OF THE NEW DWELLING MUST BE CONTINUOUS.
8. MUST COMPLY WITH ALL OTHER PORTLAND WATER DISTRICT SPECIFICATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONCRETE DISPOSAL FIELD CHAMBERS AND ASSOCIATED FORCE MAINS/SEPTIC INFRASTRUCTURE WITHIN PROJECT LIMITS. REMOVAL OF SYSTEM SHALL ONLY OCCUR AFTER THE SHAW'S GROCERY BUILDING IS CONNECTED TO THE PUBLIC SEWER MAIN SYSTEM AND WITH AUTHORIZATION OF BUILDING OWNER. CONNECTION OF SHAW'S SEWER TO THE PUBLIC SYSTEM IS BY OTHERS.
10. SEWER AND FORCE MAIN SHOWN THROUGH THE SITE IS BY OTHERS. IT IS ANTICIPATED THE SEWER WILL BE EXISTING AND IN PLACE PRIOR TO LOT CONSTRUCTION. CONTRACTOR SHALL CONFIRM ACTUAL LOCATION AND ELEVATION OF SEWER INFRASTRUCTURE PRIOR TO COMMENCING WORK.
11. WATERMAIN SCOPE INCLUDES INSERTION VALVE ON TANDBERG TRAIL AT MANCHESTER DRIVE INTERSECTION. SEE SHEET C202 FOR DETAILS.



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Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

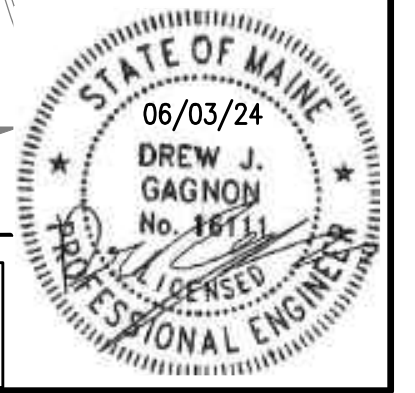
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File Name: 3796-UTIL.dwg
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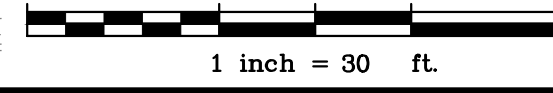
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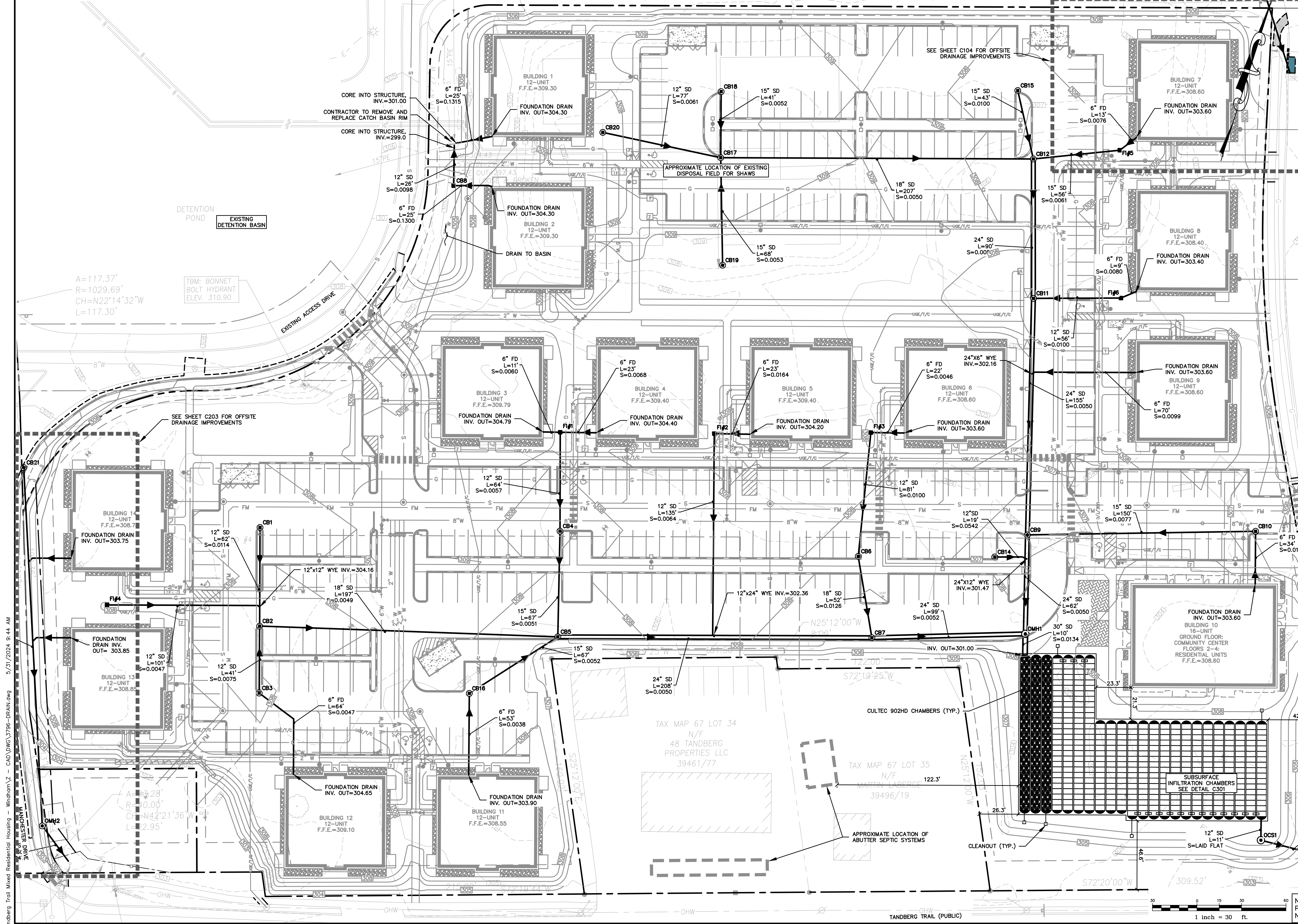
Drawing Name:	Utility Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C102



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.





STORMDRAIN SCHEDULE				
STRUCTURE	SIZE	RIM	INV. IN/SIZE (FROM)	INV. OUT/SIZE (TO)
CB1	4"	307.50		304.75/12"(CB2)
CB2	4"	307.50	304.04/12"(CB1) 304.04/12"(CB3)	303.94/18"(CB5)
CB3	4"	307.80	304.45/6"(FD3)	304.35/12"(CB2)
CB4	4"	307.40	303.78/12"(FI#1)	303.68/15"(CB5)
CB5	4"	307.45	303.34/15"(CB4) 302.98/18"(CB2) 303.25/15"(CB16)	302.88/24"(CB7)
CB6	4"	307.60	302.59/12"(FI#3)	302.49/18"(CB7)
CB7	4"	307.20	301.84/24"(CB5) 301.84/18"(CB6)	301.74/24"(DMH1)
CB8	2'X2'	304.25	301.00/6"(FD)	299.26/12"(EXIST.)
CB9	4"	306.55	301.64/24"(CB11) 301.84/15"(CB10)	301.54/24"(DMH1)
CB10	4"	306.50	303.26/6"(FD5)	303.00/15"(CB9)
CB11	4"	307.59	302.51/24"(CB12) 302.87/12"(FI#6)	302.41/24"(CB9)
CB12	4"	307.30	303.42/15"(CB15) 303.06/15"(FI#5) 303.06/18"(CB17)	302.96/24"(CB11)
CB13	4"	302.87	299.60/12"(OCS1)	±299.50/T.B.D.(EXIST.)
CB14	4"	306.70		303.00/12"(WYE3)
CB15	4"	308.12		303.85/15"(CB12)
CB16	4"	307.32	303.70/6"(FD)	303.60/15"(CB5)
CB17	4"	308.00	304.20/15"(CB18) 304.20/12"(CB20) 304.20/15"(CB19)	304.10/18"(CB12)
CB18	4"	308.00		304.41/15"(CB17)
CB19	2'X2'	308.00		304.56/15"(CB17)
CB20	2'X2'	308.20		304.67/12"(CB17)
CB21	4"	304.15		300.88/12"(DMH2)
DMH1	5"	307.75	301.23/24"(CB7) 301.23/24"(CB9)	301.13/30"(POND)
DMH2	4"	303.26	299.69/12"(CB21)	299.59/12"(EX. CB)
FI#1	2'X2'	308.75	304.24/6"(FD1) 304.24/6"(FD7)	304.14/12"(CB4)
FI#2	2'X2'	308.00	303.82/6"(FD2)	303.72/12"(WYE2)
FI#3	2'X2'	307.75	303.50/6"(FD4)	303.40/12"(CB6)
FI#4	2'X2'	307.55		304.64/12"(WYE1)
FI#5	2'X2'	307.60	303.50/6"(FD6)	303.40/15"(CB12)
FI#6	2'X2'	307.25	303.33/6"(FD10)	303.23/12"(CB11)
OCS1	6"	307.25	303.44/12"(CHAMBER)	302.90/12"(CB13)

NOTES:

- PROVIDE ELIMO-PILLOW FOR ALL CATCH BASINS WITHIN PARKING LOT AREA.
- THIS PLAN AND DEVELOPMENT IS SUBJECT TO THE APPROVED GROUNDWATER MONITORING PLAN INCLUDED WITHIN THE CONTRACT DOCUMENTS.
- BASELINE SAMPLING SHALL BE PERFORMED AT MW1 AND MW2 AS SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION AND LOT CLEARING.

LEGEND

- STORM DRAIN PIPES LESS THAN OR EQUAL TO 18" IN DIAMETER
- STORM DRAIN PIPES GREATER THAN 18" IN DIAMETER

STATE OF MAINE
06/03/24
DREW J. GAGNON
No. 16711
PROFESSIONAL ENGINEER

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

Rev.	Date	Revision

SITE AND SUBDIVISION APPLICATION		
RESPONSE TO MDEP COMMENTS	06/03/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/08/24	DJG
SLDA RESPONSE TO COMMENTS	04/01/24	DJG
SLDA SUBMISSION	01/17/24	DJG
SKETCH PLAN SUBMISSION	10/6/23	DJG
	4/17/23	DJG
Issued For	Date	By

Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: 1"=30'
 File Name: 3796-DRAIN.dwg

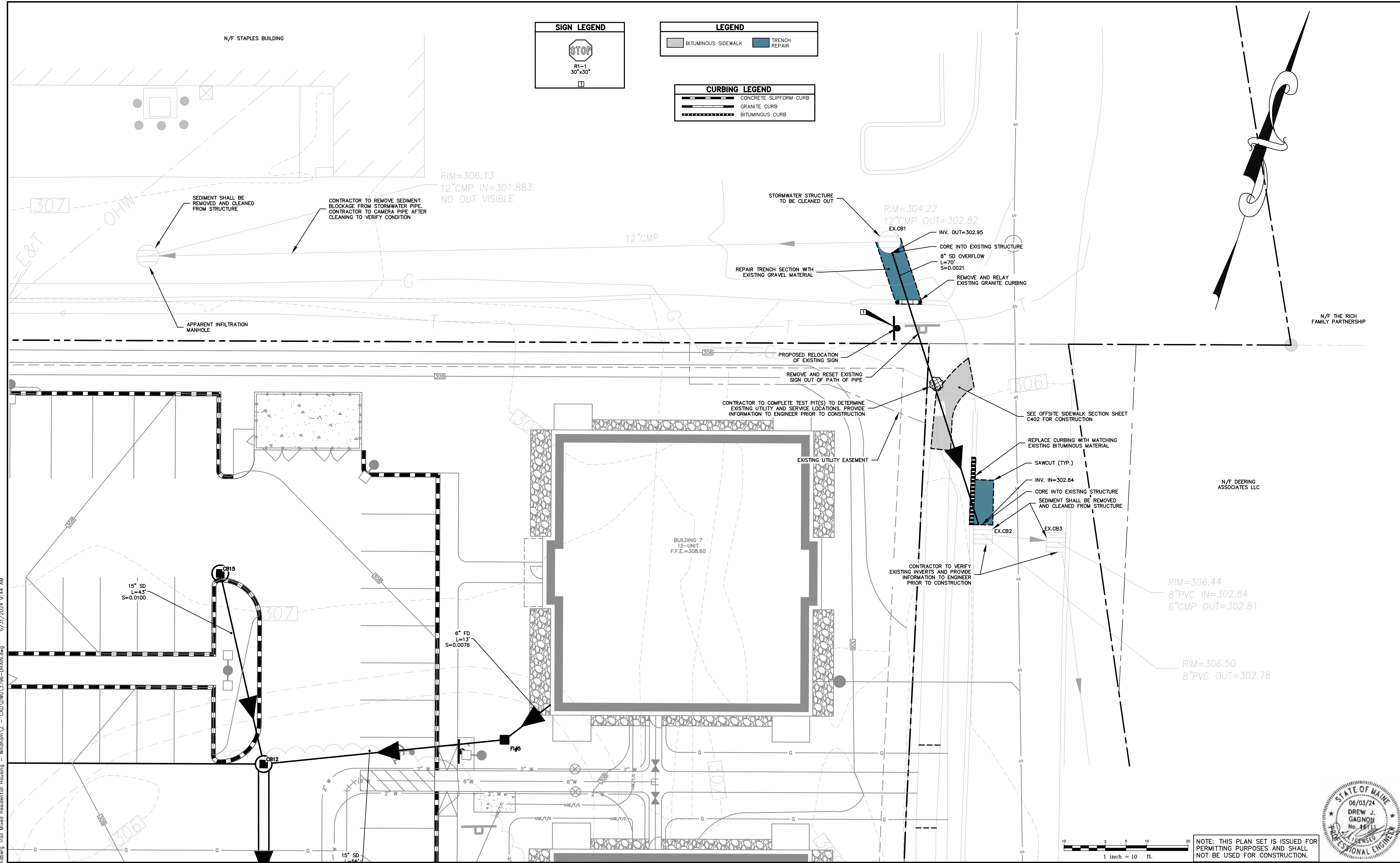
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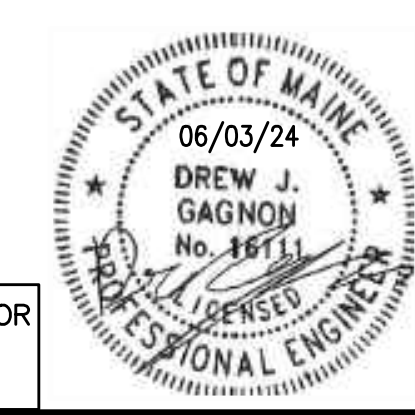
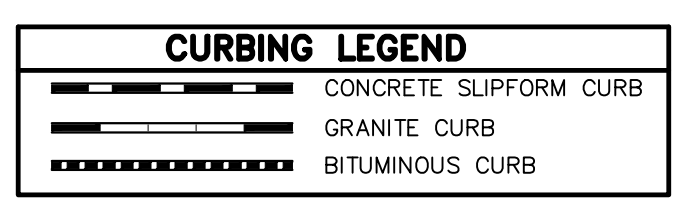
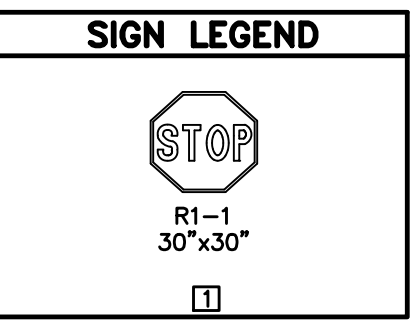
Relationships. Responsiveness. Results.
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Drawing Name:	Drainage Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

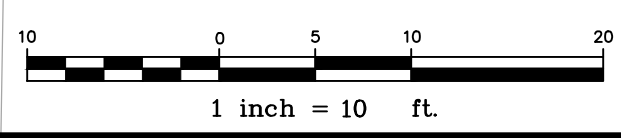
Drawing No.
C103



U:\3796-Gravel Homes-Tandberg Trail Mixed Residential Housing - Windham\3 - CAD\DWG\3796-DRAIN.dwg 5/31/2024 9:44 AM



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Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

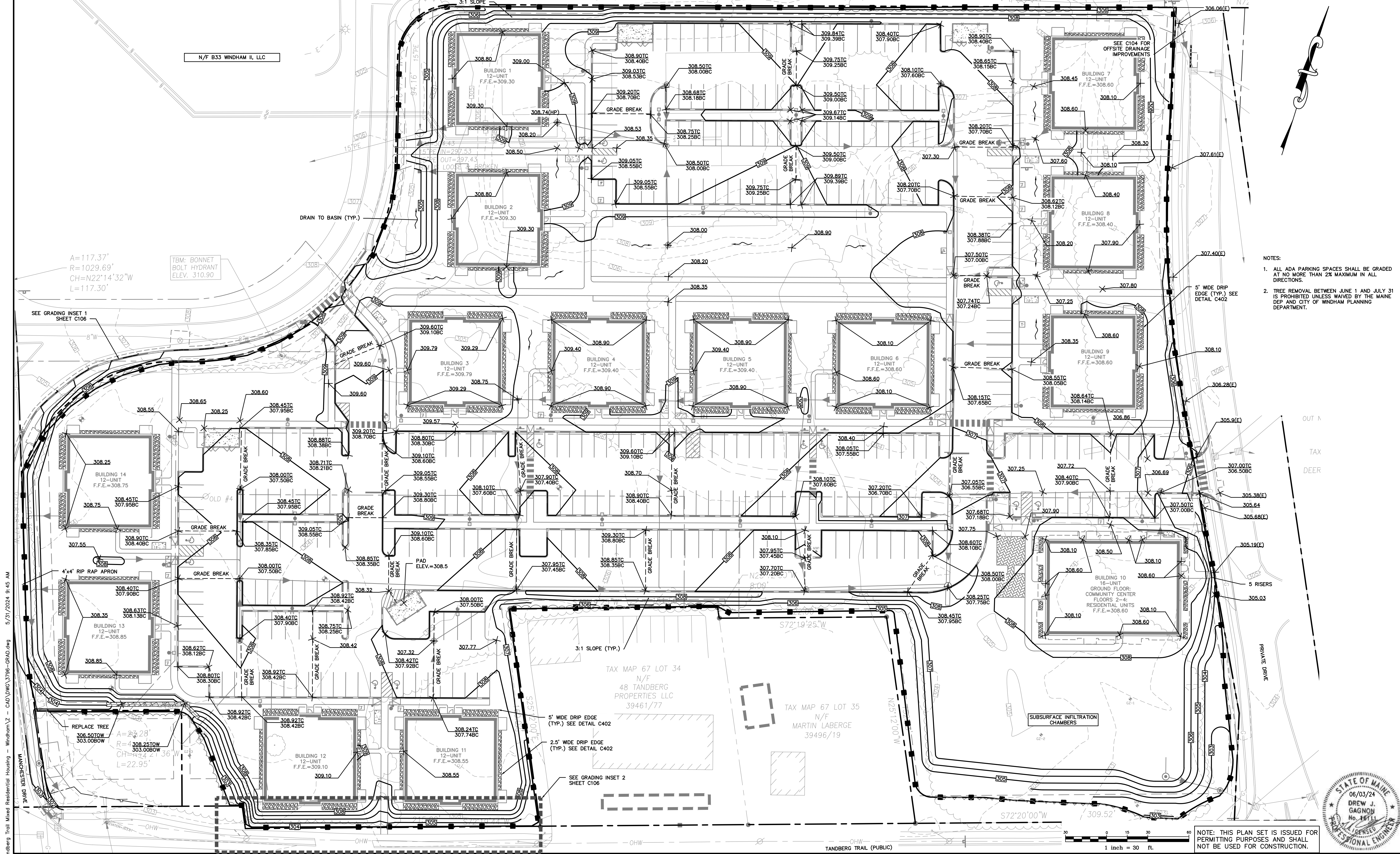
Design: LEL Draft: CEH Date: DEC 2022
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 File Name: 3796-DRAIN.dwg
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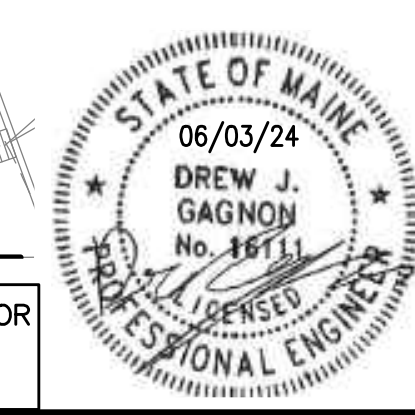
Relationships. Responsiveness. Results.
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 207.772.2515

Drawing Name:	Offsite Drainage Improvements
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C104



- NOTES:
1. ALL ADA PARKING SPACES SHALL BE GRADED AT NO MORE THAN 2% MAXIMUM IN ALL DIRECTIONS.
 2. TREE REMOVAL BETWEEN JUNE 1 AND JULY 31 IS PROHIBITED UNLESS WAIVED BY THE MAINE DEP AND CITY OF WINDHAM PLANNING DEPARTMENT.



U:\3796-Gravel Homes-Tandberg Trail Mixed Residential Housing - Windham\Z - CAD\DWG\3796-GRAD.dwg 5/31/2024 9:45 AM

Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design:	Draft:	Date:
LEL	CEH	DEC 2022
Checked: DJG	Scale: 1"=30'	Job No.: 3796
File Name: 3796-GRAD.dwg		

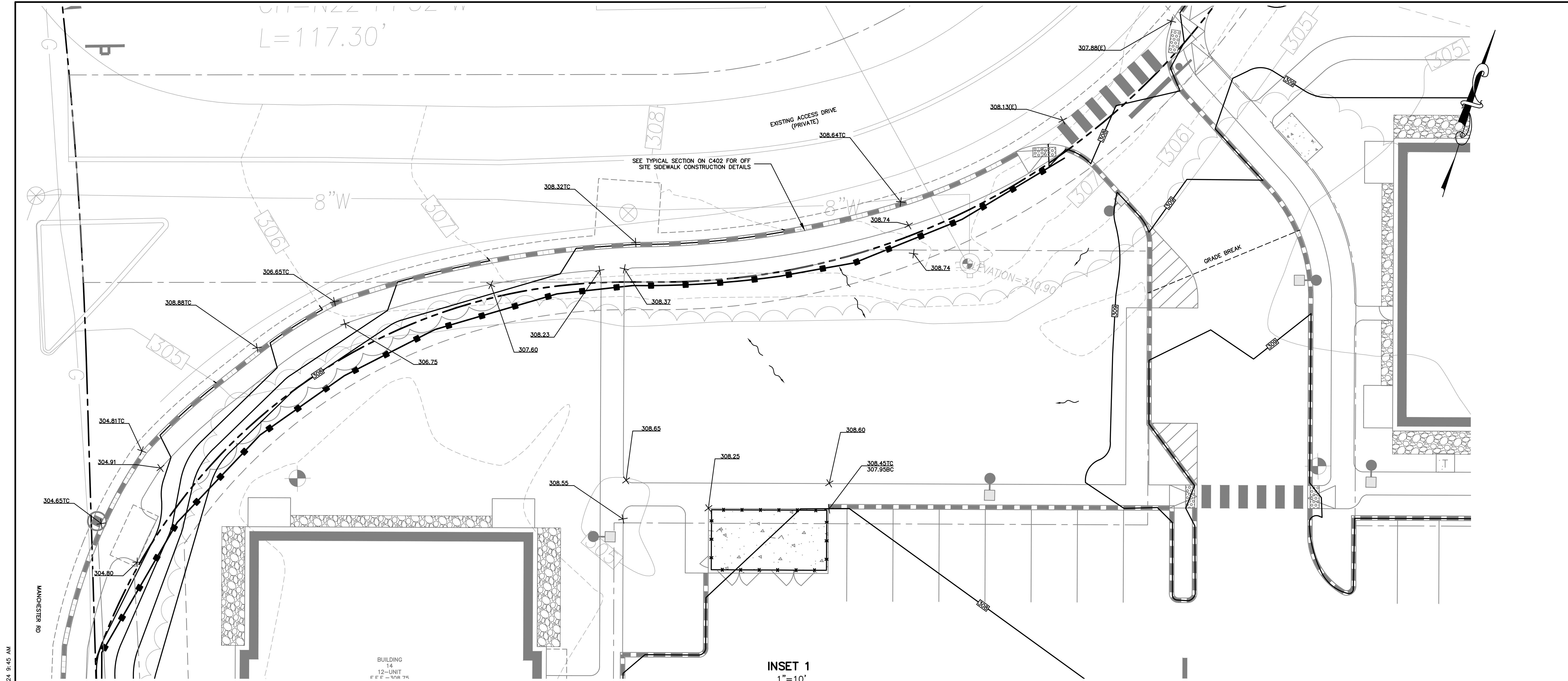
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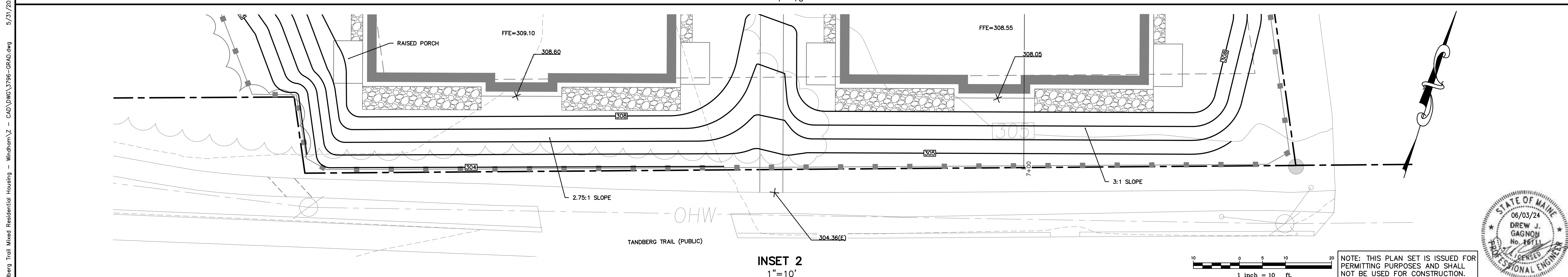
Relationships. Responsiveness. Results.
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207.772.2515

Drawing Name:	Grading Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C105

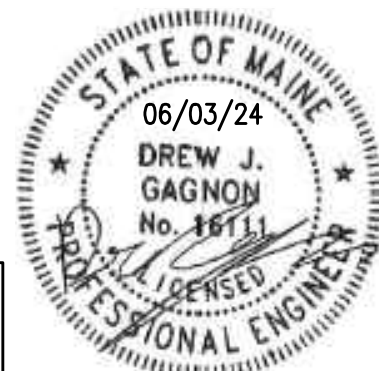


INSET 1
1"=10'



INSET 2
1"=10'

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



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Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

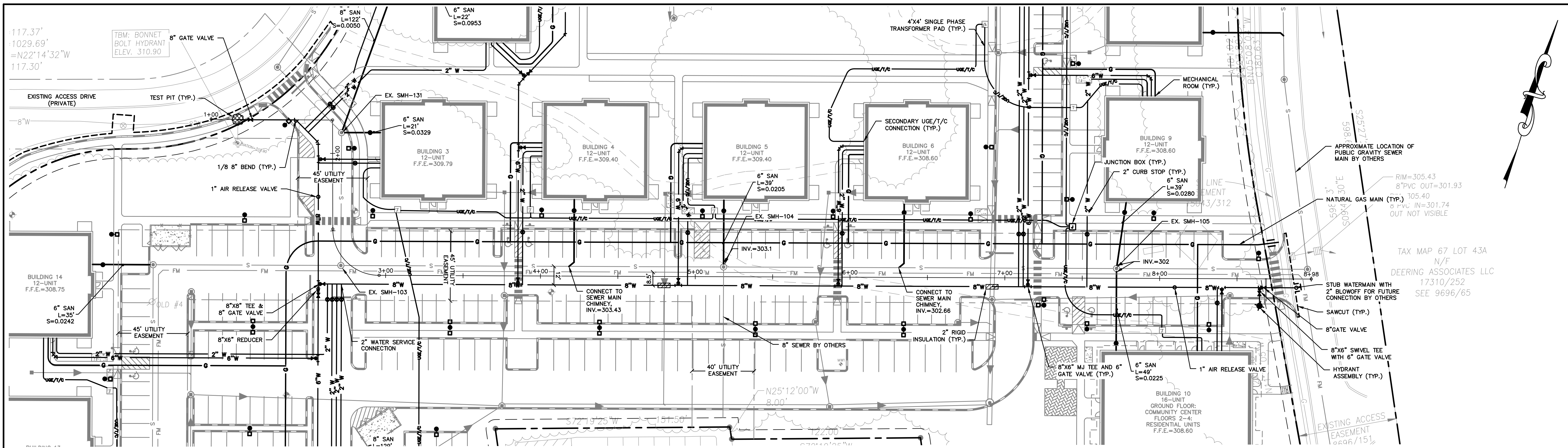
Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: 1"=10' Job No.: 3796
 File Name: 3796-GRAD.dwg
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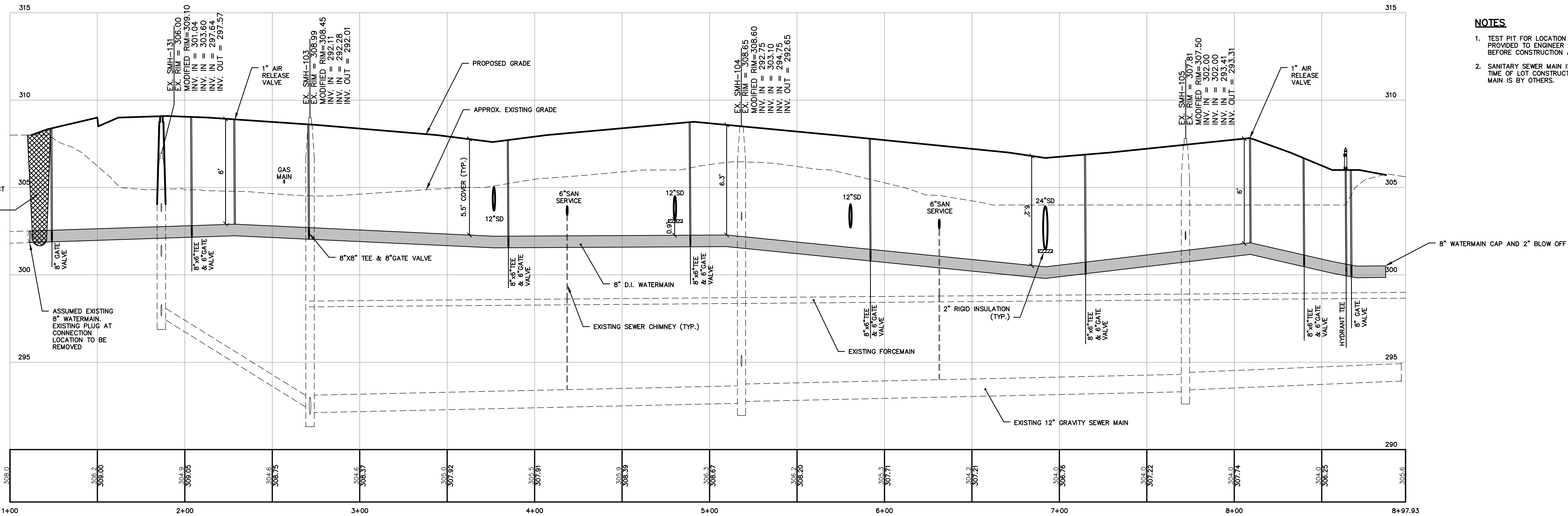
Drawing Name:	Grading Insets
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C106



ANNA WAY UTILITY PLAN

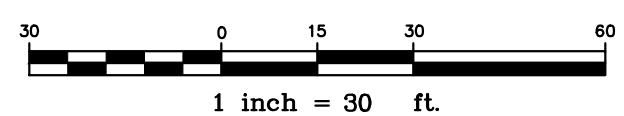
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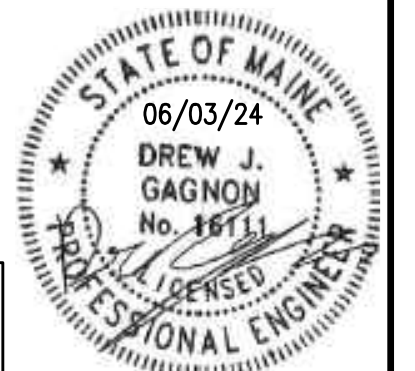
ANNA WAY UTILITY PROFILE

SCALE: 1"=30' HORIZ.
1"=3' VERT.

- NOTES**
- TEST PIT FOR LOCATION OF EXISTING WATERMAIN TO BE PROVIDED TO ENGINEER A MINIMUM OF TWO WEEKS BEFORE CONSTRUCTION AND ORDERING MATERIAL.
 - SANITARY SEWER MAIN IS ASSUMED TO BE EXISTING AS TIME OF LOT CONSTRUCTION. CONSTRUCTION OF SEWER MAIN IS BY OTHERS.



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



U:\3796_Growler Homes_Tandberg Trail Mixed Residential Housing - Windham\3 - CAD\DWG\3796-PPUTIL.dwg 5/31/2024 9:45 AM

Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design:	Draft:	Date:
LEL	CEH	DEC 2022
Checked: DJG	Scale: 1"=30'	Job No.: 3796
File Name: 3796-PPUTIL.dwg		
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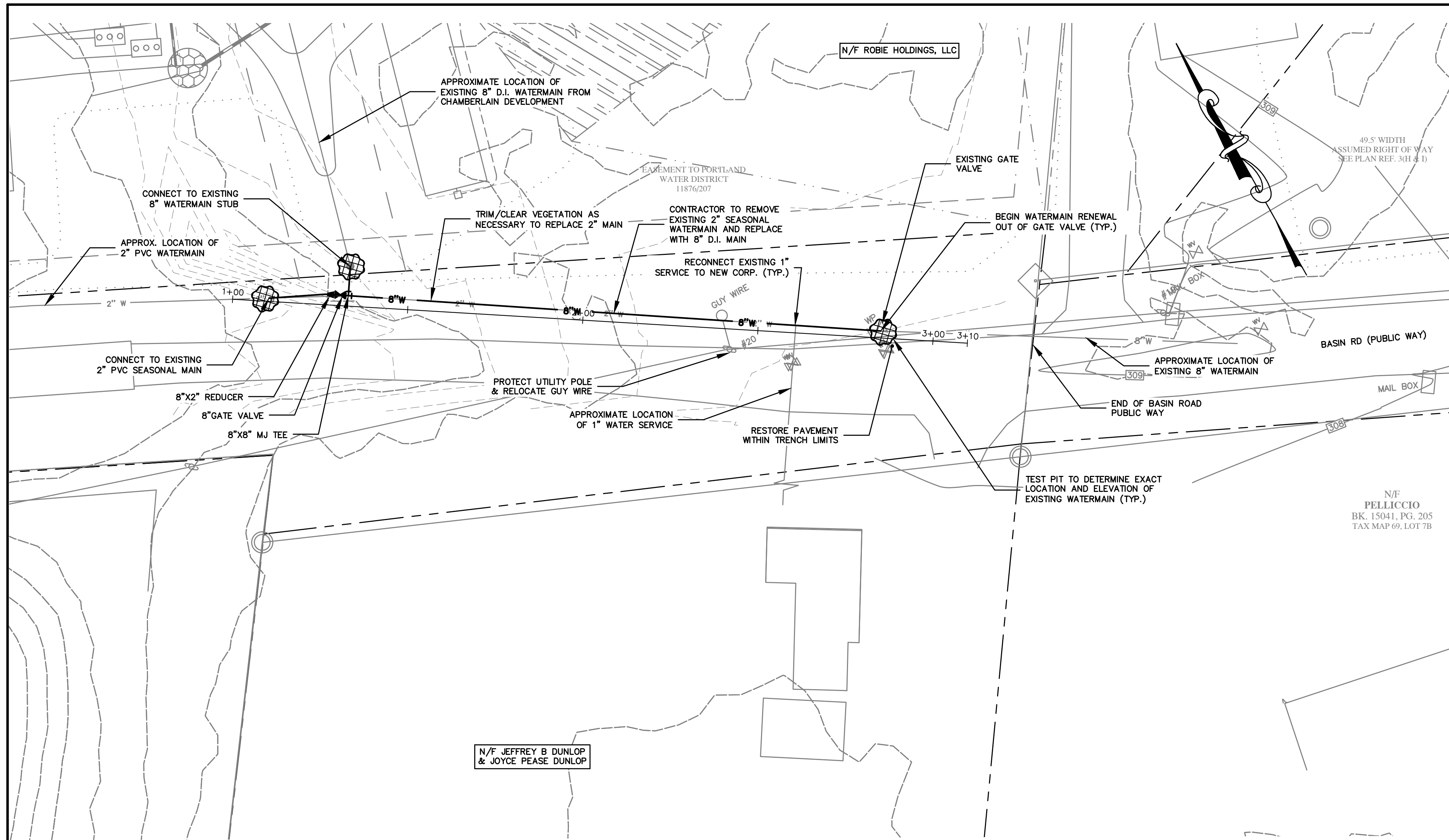


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Drawing Name:	Anna Way Utility Plan & Profile
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

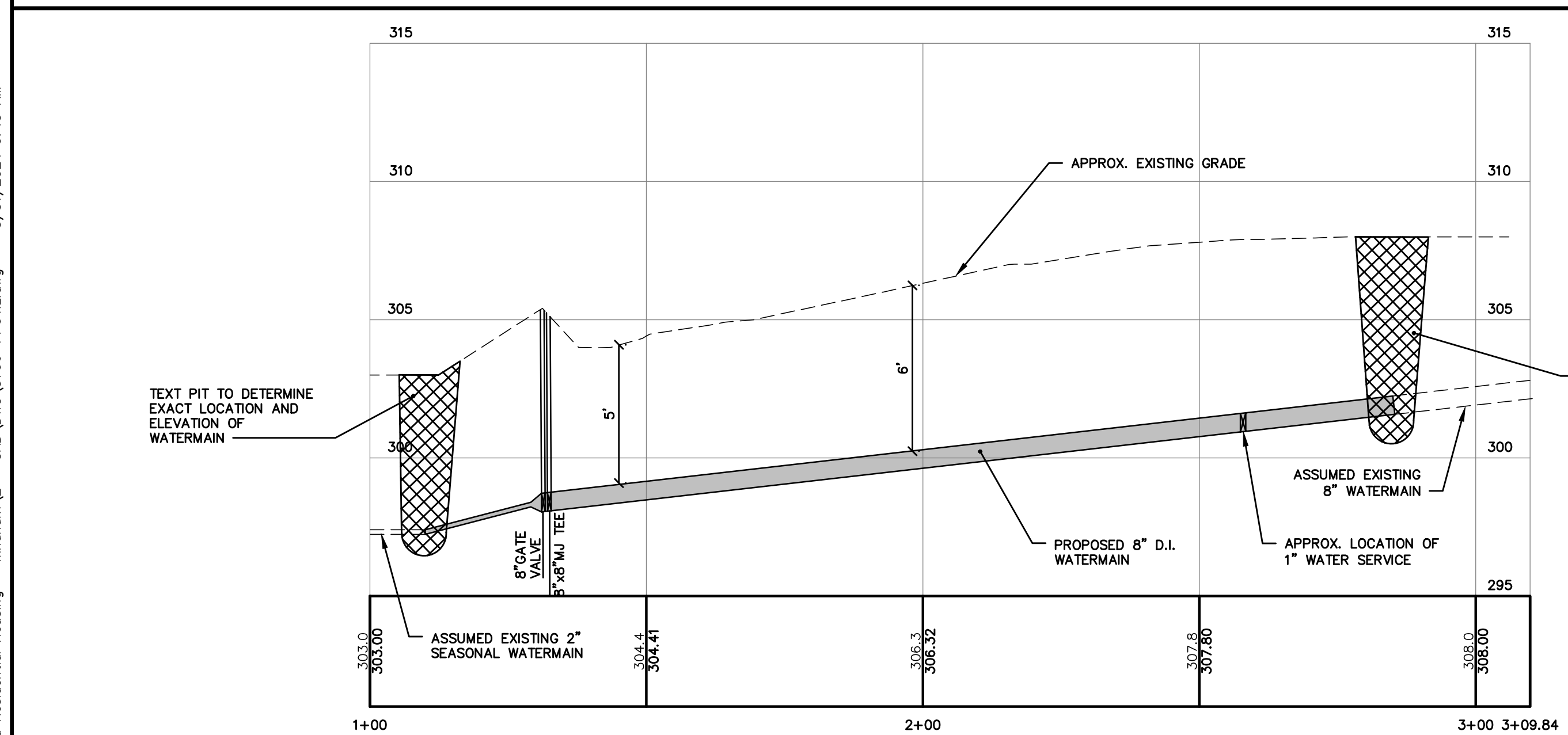
Drawing No.
C201

U:\3796_Grower Homes_Tandberg Trail Mixed Residential Housing - Windham\3 - CAD\DWG\3796-PPUTIL.dwg 5/31/2024 9:45 AM



OFFSITE WATERMAIN PLAN- BASIN ROAD

SCALE: 1"=20'

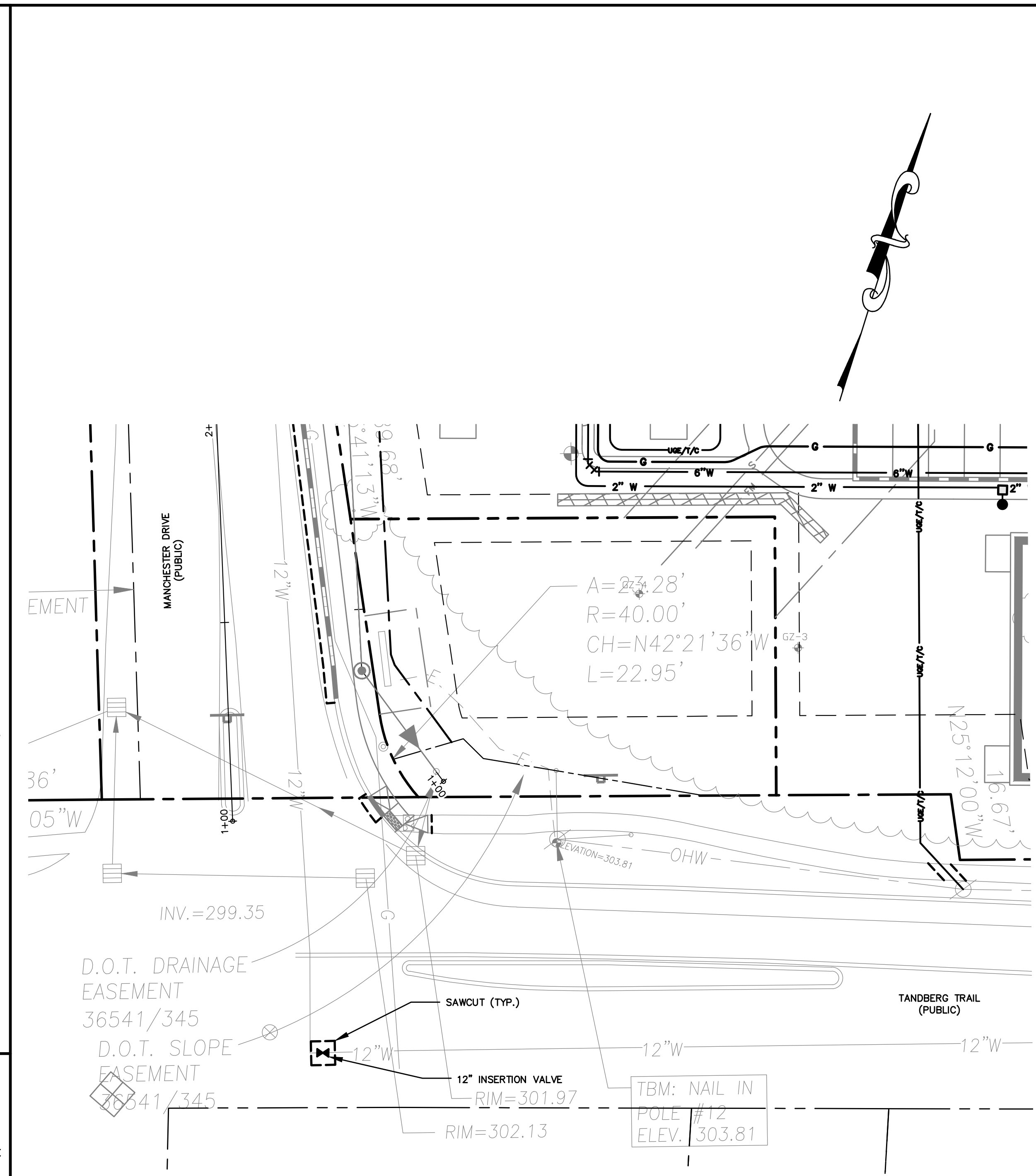


OFFSITE WATERMAIN PROFILE

SCALE: 1"=20' HORIZ.
1"=4' VERT.

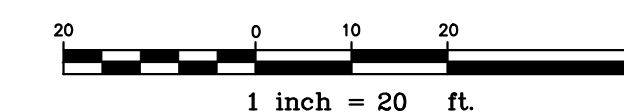
NOTES:

1. CHAMBERLAIN DEVELOPMENT INFORMATION HAS BEEN PROVIDED FROM CAD FILE BY DM ROMA OF WINDHAM, MAINE, DATED AUGUST 18, 2023. EXISTING CONDITIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WATERMAIN RENEWAL WITH PWD AND LAND OWNER.
3. WORK SHALL BE COMPLETED WHEN 2" SEASONAL WATERMAIN IN BASIN ROAD IS NOT ACTIVE. TYPICAL SEASONAL SERVICE AVAILABILITY FOR SURFACE MAINS ARE MAY 1 THROUGH OCTOBER 15 - COORDINATE WORK AND SCHEDULE WITH PWD.

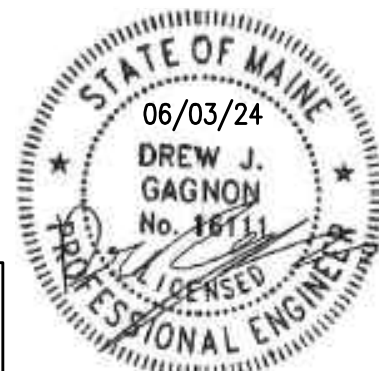


INTERSECTION PLAN

SCALE: 1"=20'



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



Rev.	Date	Revision

Issued For	Date	By

Design:	Draft:	Date:
LEL	CEH	DEC 2022
Checked: DJG	Scale: 1"=20'	Job No.: 3796
File Name: 3796-PPUTIL.dwg		

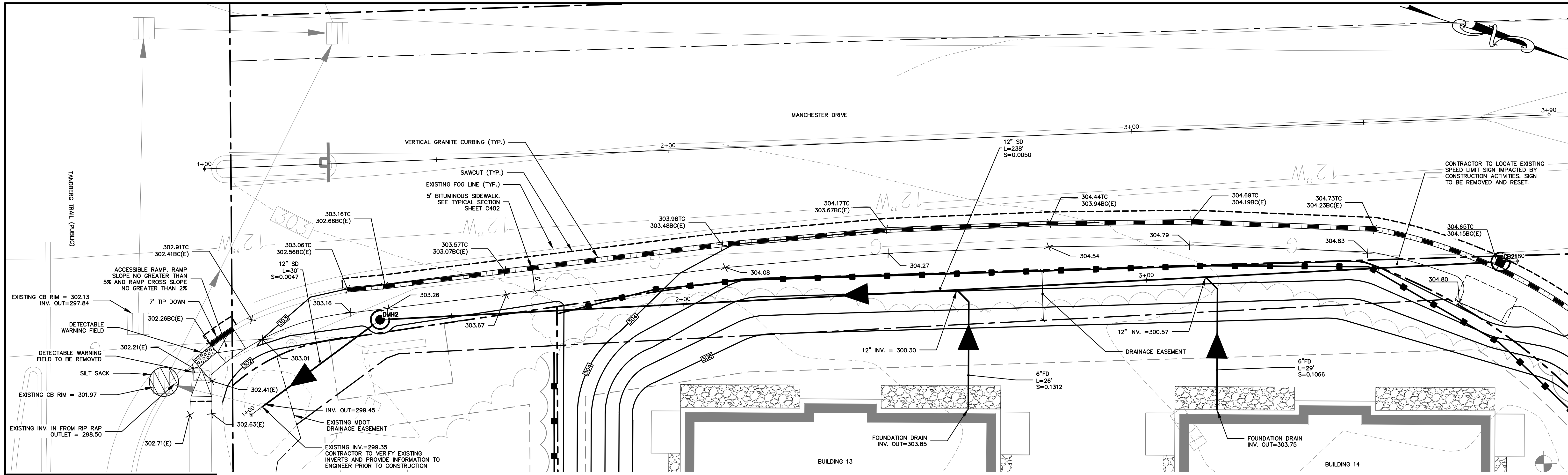
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Drawing Name:	Offsite Watermain Plan & Profile
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

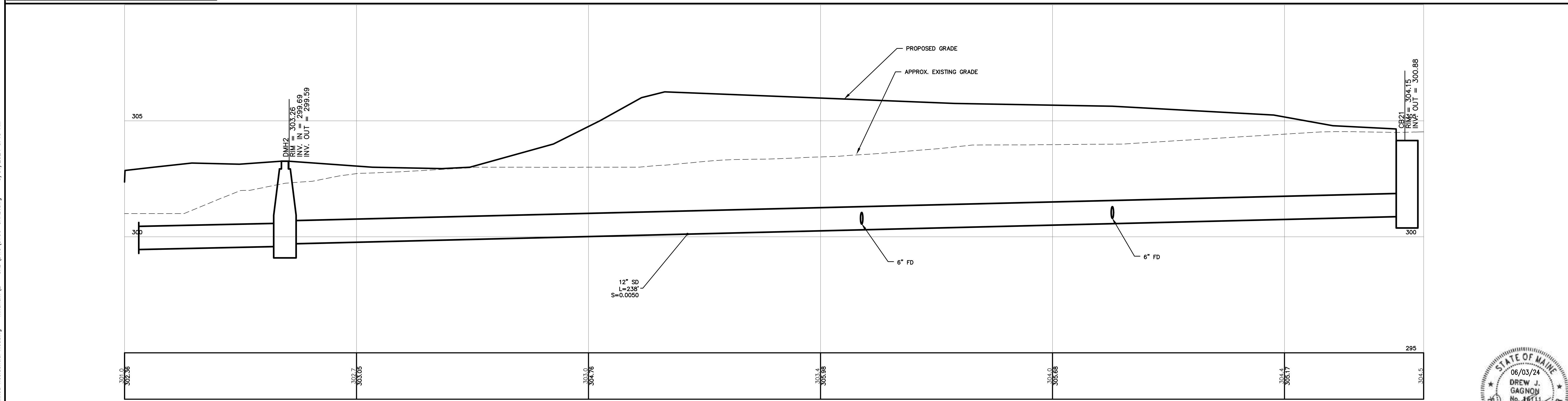
Drawing No.
C202



STORMDRAIN SCHEDULE

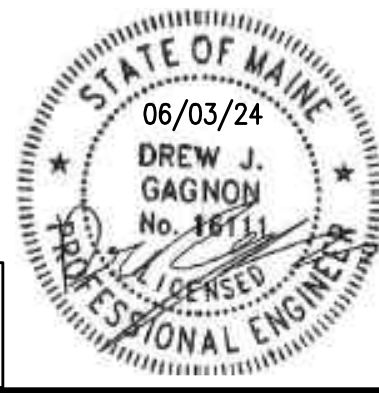
STRUCTURE	SIZE	RIM	INV. IN/SIZE (FROM)	INV. OUT/SIZE (TO)
CB21	4"	304.15		300.88/12"(DMH2)
DMH2	4"	303.26	299.69/12"(CB21)	299.59/12"(EX. CB)

MANCHESTER DRIVE SIDEWALK PLAN
SCALE: 1"=10'



MANCHESTER DRIVE SIDEWALK PROFILE
SCALE: 1"=10' HORIZ.
1"=2' VERT.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



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Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

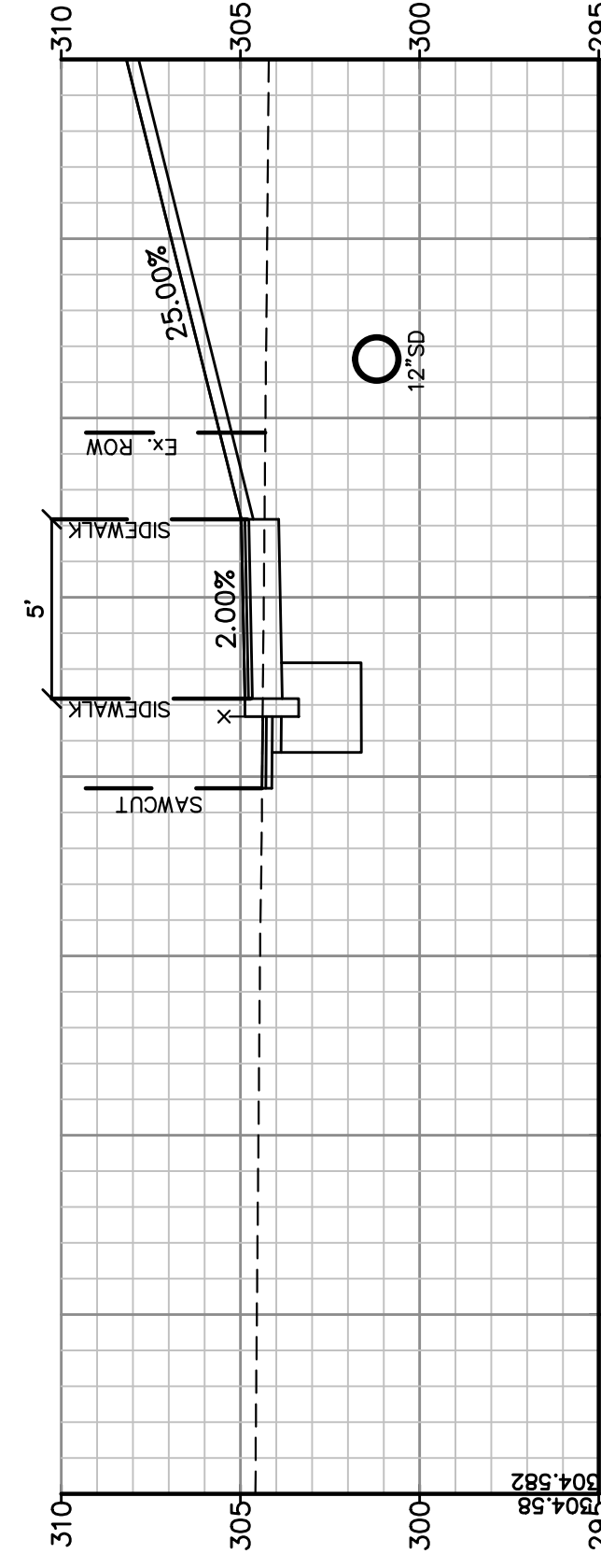
Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: 1"=10' Job No.: 3796
 File Name: 3796-GRAD.dwg
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.



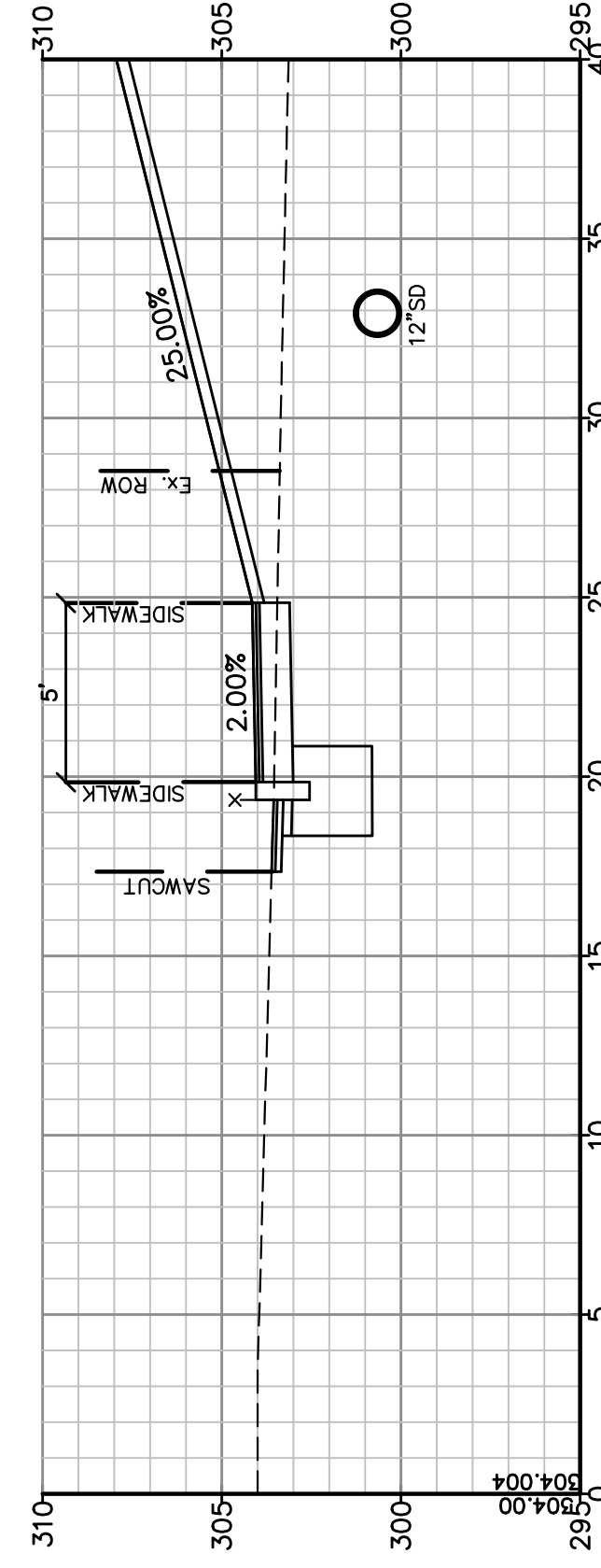
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Drawing Name:	Manchester Drive Sidewalk Plan & Profile
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

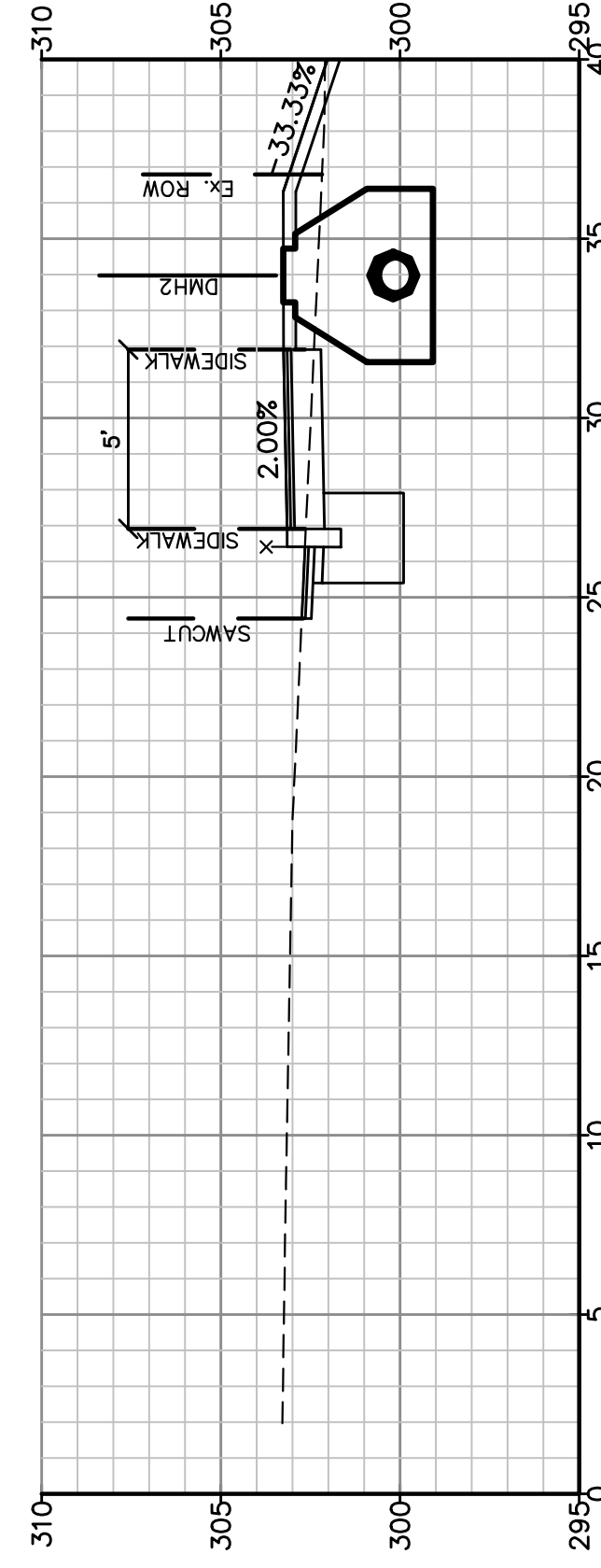
Drawing No.
C203



3+40.47



2+29.86



1+36.50

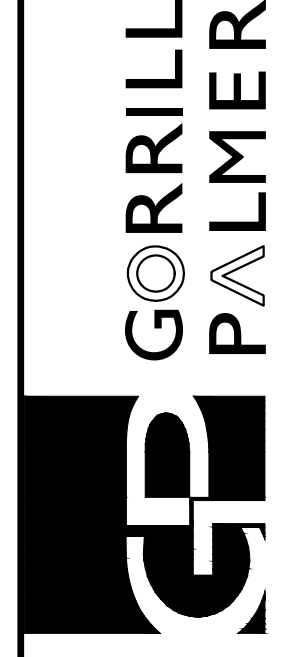
Rev.	Date	Revision



Drawing No.
C204

Manchester Drive Sidewalk Cross Sections

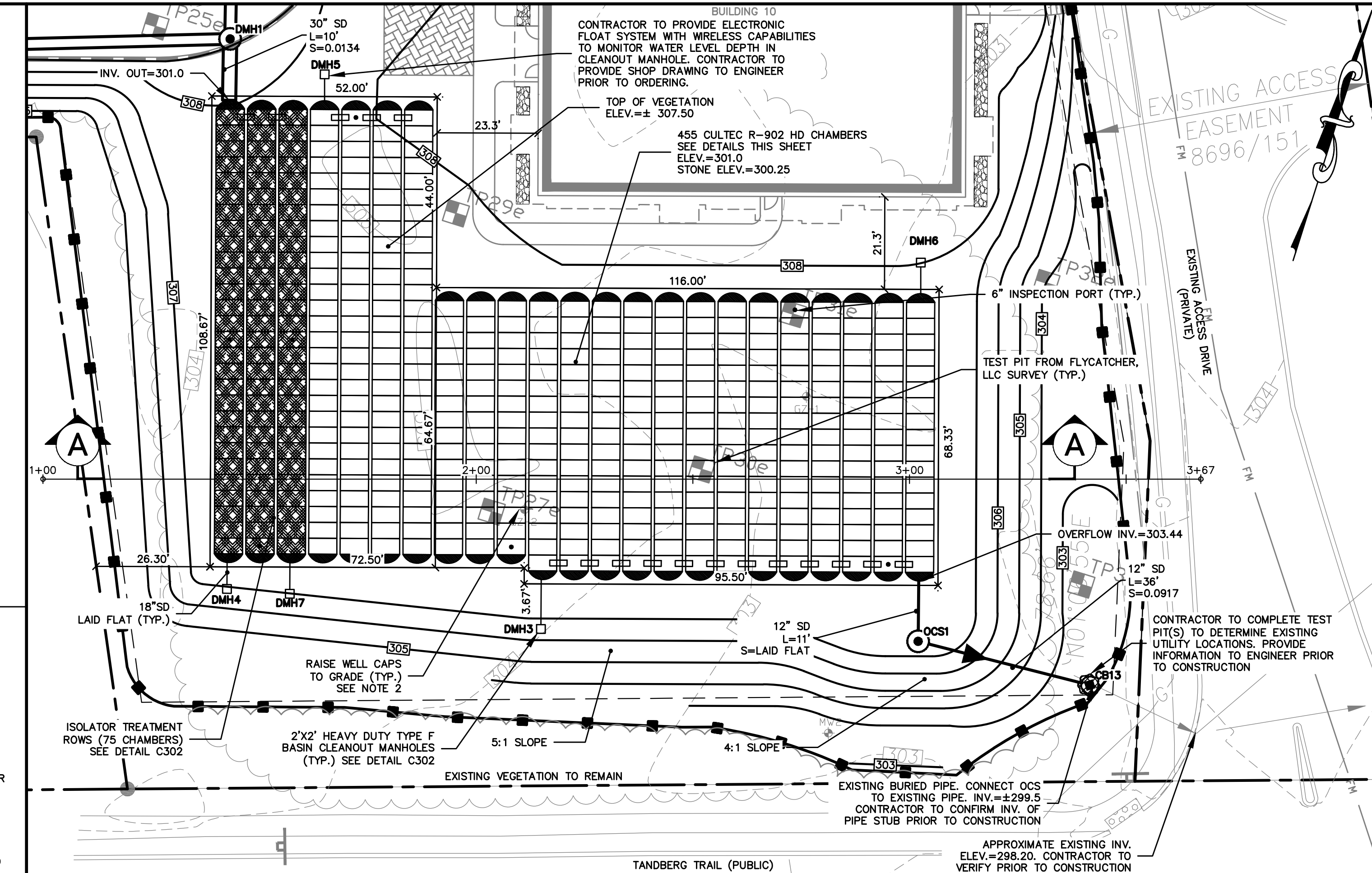
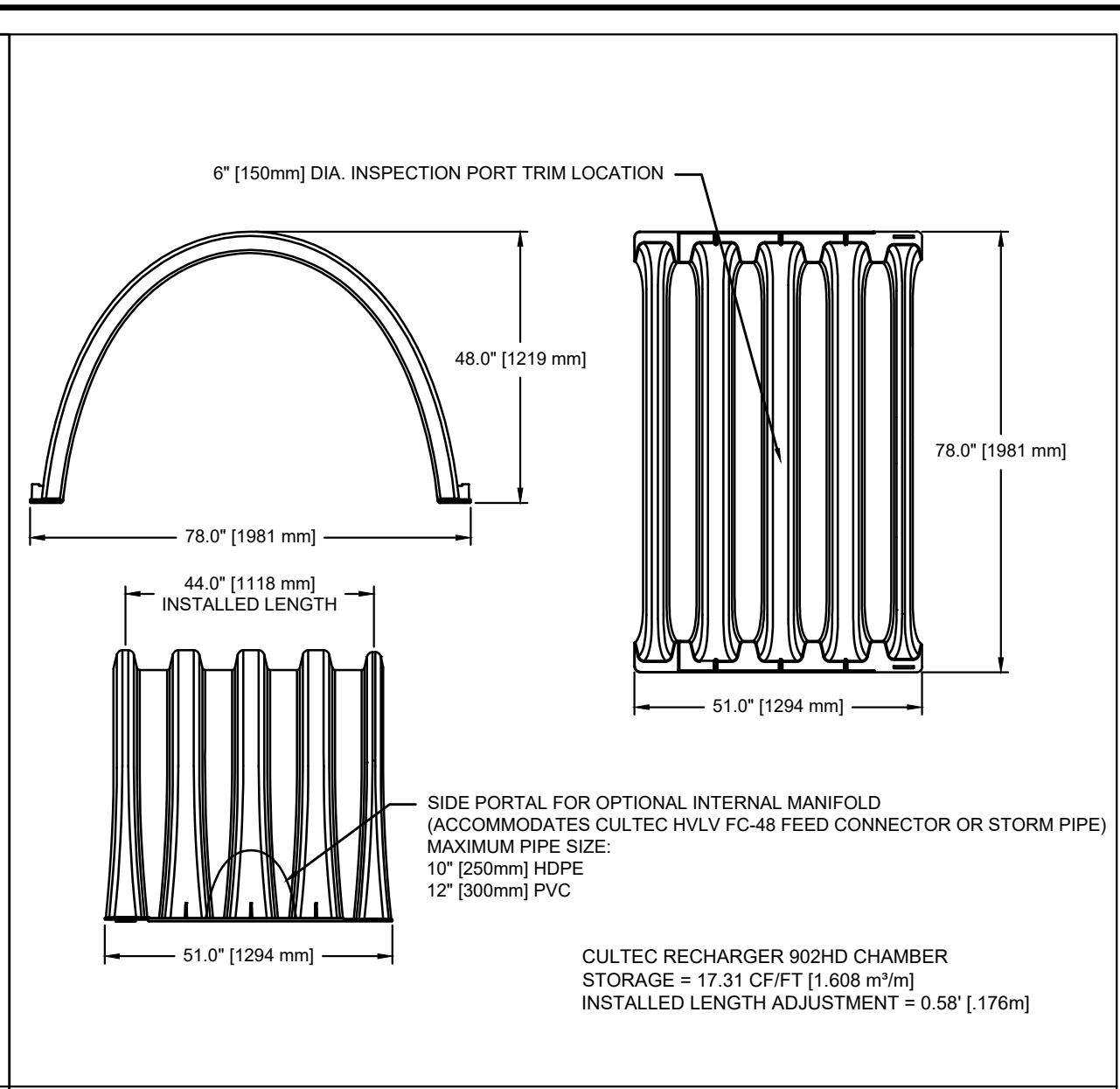
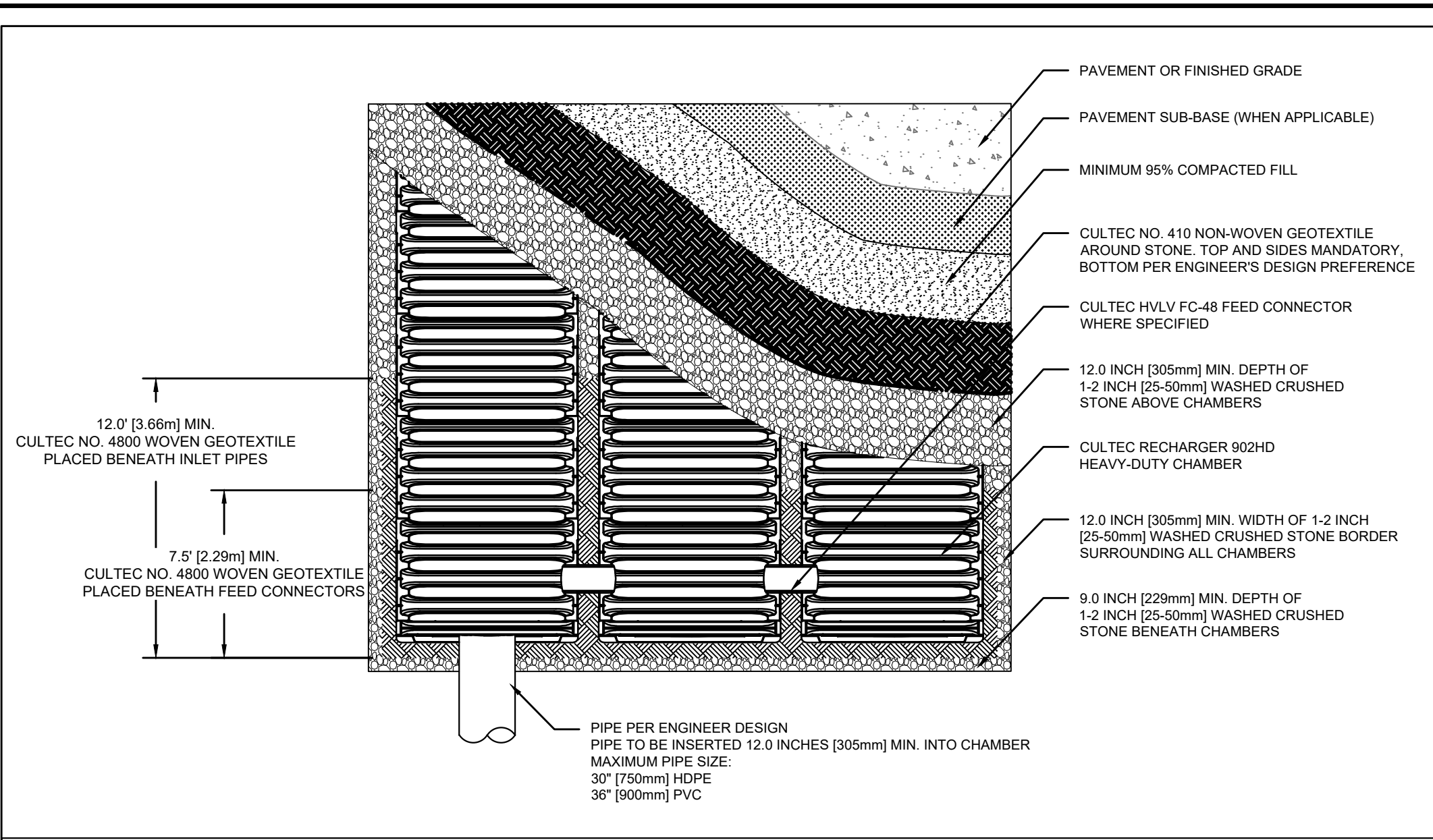
Project: **Windham Village Apartments**
770 Roosevelt Trail, Windham, Maine 04062
Client: **Windham Village Apartments, LLC**
40 Farm Gate Road, Falmouth, ME 04105



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South Portland, ME 04106

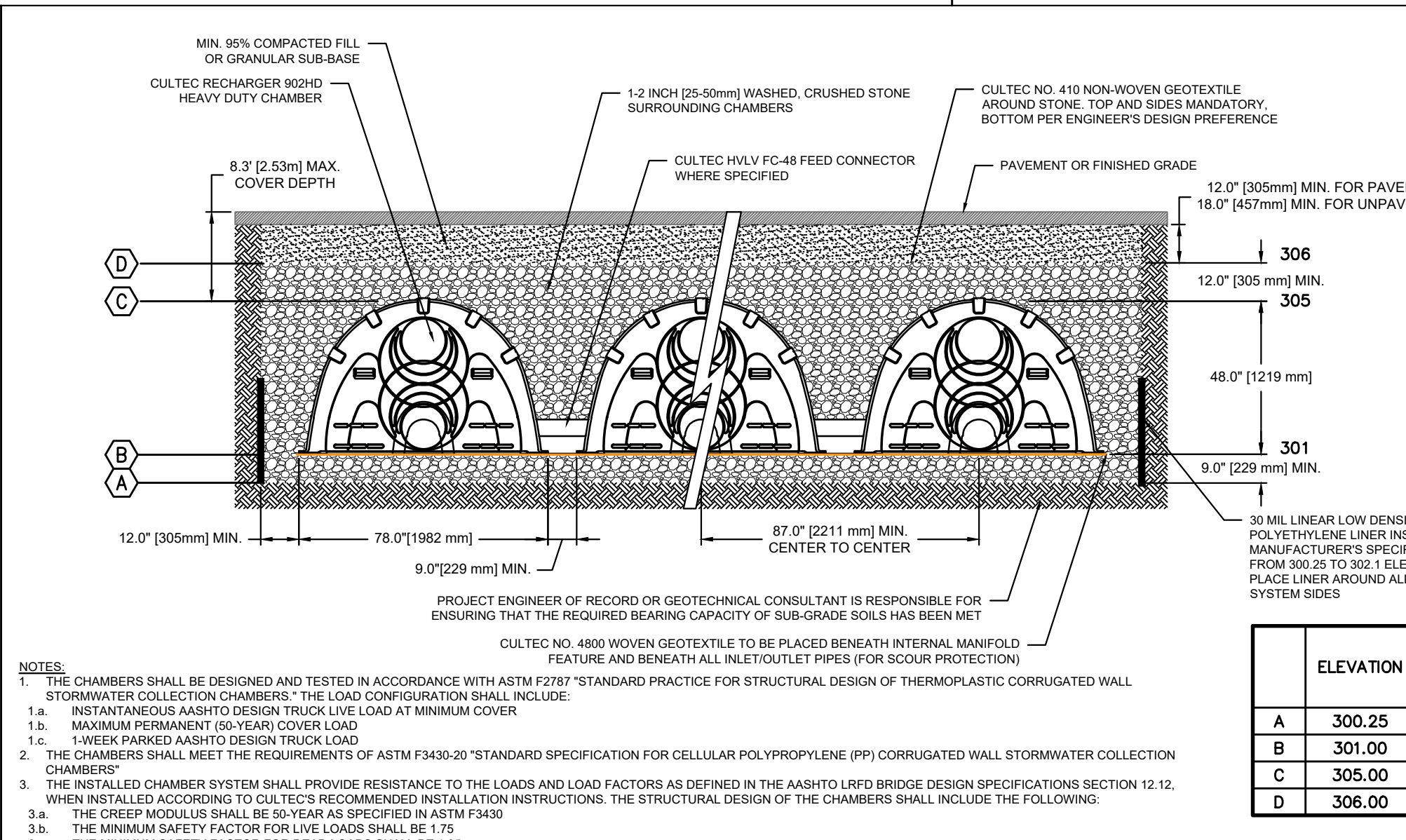
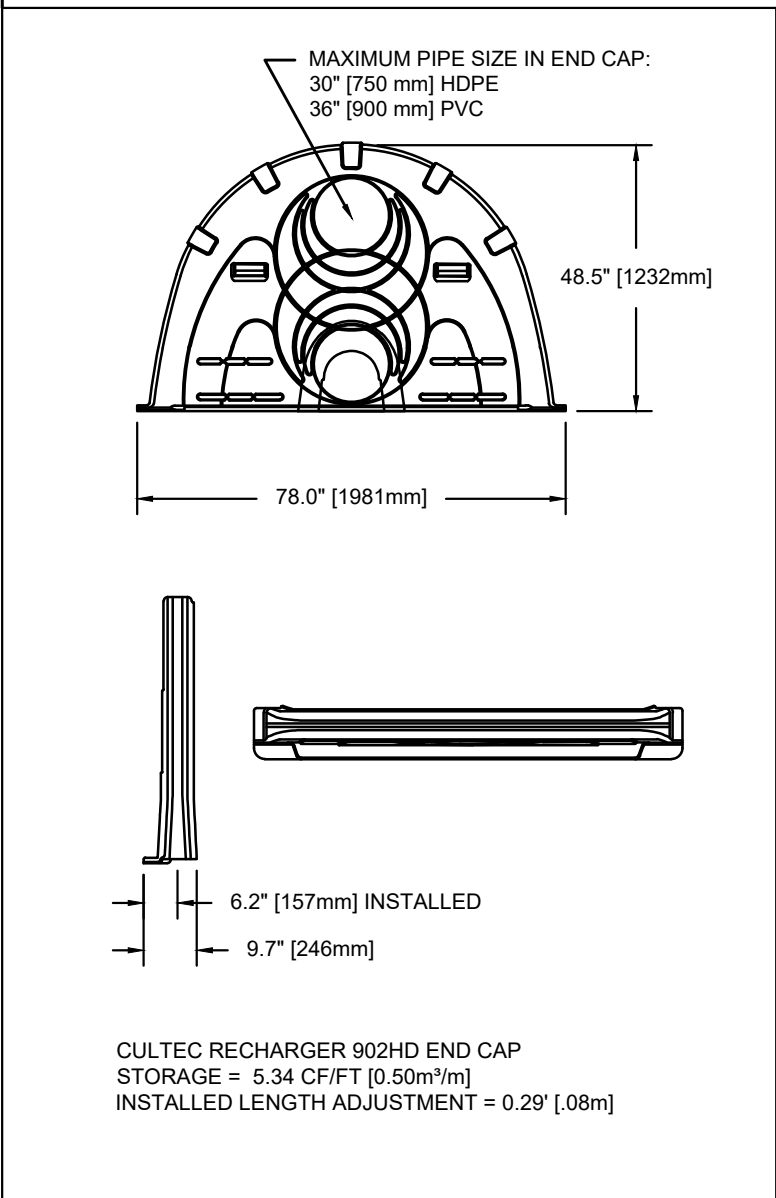
Design: LEL	Draft: CHE	Date: DEC 2022
Checked: DJG	Scale: 1"=5'	Job No.: 3796
File Name: 3796-PBASE.dwg		

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902HD 2.0 CULTEC RECHARGER 902HD HEAVY DUTY PLAN VIEW

902HD 3.0 CULTEC RECHARGER 902HD HEAVY DUTY THREE VIEW



CONSTRUCTION OVERSIGHT:

1. THE CHAMBER SYSTEM SHALL BE INSTALLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OF RECORD.
2. DOCUMENTATION OF THE CHOKER LAYER AND DRAINAGE STONE IS REQUIRED PRIOR TO BACKFILL.
3. DOCUMENTATION OF THE ISOLATOR ROW, GEOTEXTILE FABRIC, AND POLYETHYLENE LINER IS REQUIRED PRIOR TO BACKFILL.

POST CONSTRUCTION INSPECTION NOTES:

1. IN ACCORDANCE WITH THE AMENDED SITE LAW PERMIT, INSPECT CHAMBER SYSTEM SUBSEQUENT TO EVERY 1" OR GREATER STORM EVENT FOR THE FIRST 6 MONTHS OF OPERATION. AFTER THE FIRST 6 MONTHS, THE WATER LEVELS AND SYSTEM OPERATION SHALL BE CHECKED QUARTERLY.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION DICTATES.
3. INFILTRATION SYSTEM IS SUBJECT TO THE APPROVED GROUNDWATER MONITORING PLAN (INCLUDED IN CONTRACT DOCUMENTS).

NOTES:

1. INSTALL SEDIMENT HOODS (SNOUT) ON ALL CATCH BASIN OUTLET PIPES 18" AND LESS.
2. CONTRACTOR TO LOCATE WELL CAPS PRIOR TO INSTALLING CHAMBERS.

902HD 4.0 CULTEC RECHARGER 902HD HEAVY DUTY END CAP THREE VIEW

902HD 5.0 CULTEC RECHARGER 902HD HEAVY DUTY CROSS SECTION

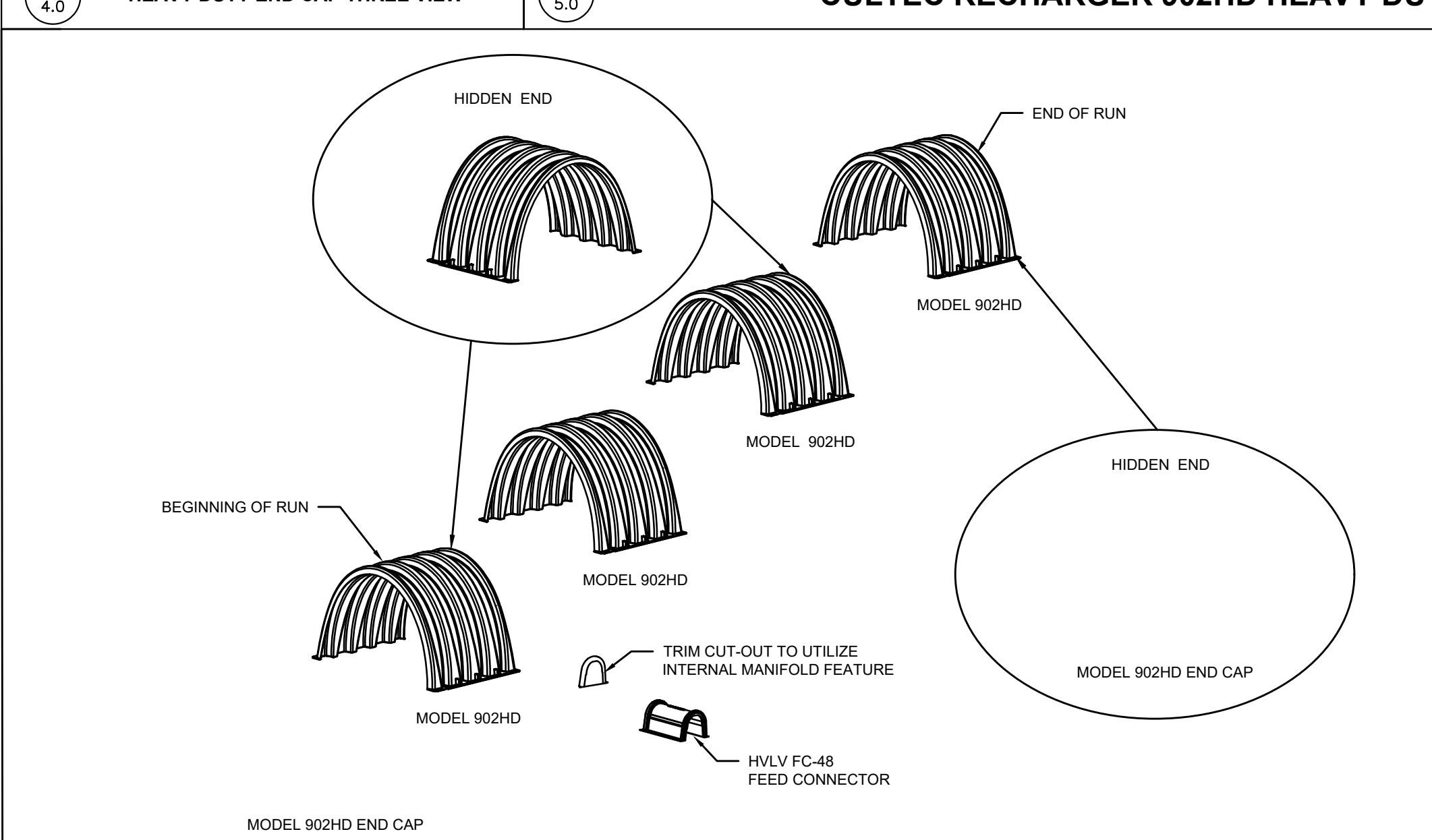


TABLE 7-3 LOAMY COARSE SAND (CHOKER LAYER)

SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
#10	85-100
#20	70-100
#60	15-40
#200	8-15
200 (LAY SIZE)	<2.0

NOTE: CONTRACTOR TO PROVIDE PERMEABILITY TEST FOR LOAMY COARSE SAND CHOKER LAYER MEETING MAXIMUM HYDRAULIC CONDUCTIVITY OF 0.75 IN/HR.

ELEVATION SCHEDULE	
ITEM DESCRIPTION	ELEVATION
FINISH GRADE	307.50
PEAK ELEVATION - 25 YEAR STORM	304.98
PEAK ELEVATION - 10 YEAR STORM	303.18
PEAK ELEVATION - 2 YEAR STORM	302.10
CHANNEL PROTECTION ELEVATION	302.09
CHAMBER INVERT	301.00

902HD 6.0 CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL INTERLOCK

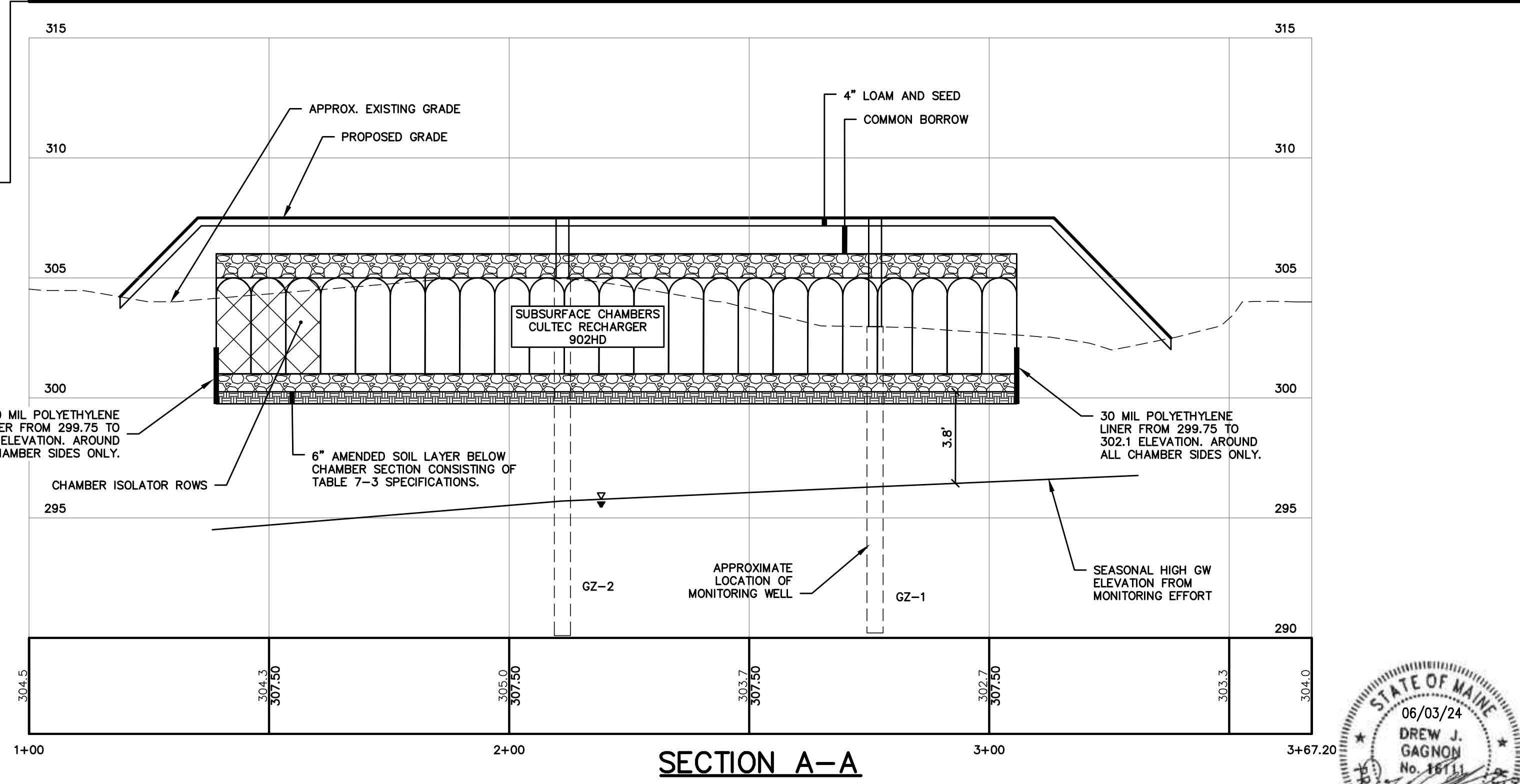
LEGEND

CHAMBER ISOLATOR ROWS

CHAMBER PLAN
1"=20'

STORMDRAIN SCHEDULE

STRUCTURE	SIZE	RIM	INV. IN./SIZE (FROM)	INV. OUT./SIZE (TO)	COMMENTS
CB13	4"	303.50	299.60/12"(DMH2)	±299.50/T.B.D.(EXIST.)	
OCS1	6"	307.25	303.44/12"(CHAMBER)	302.90/12"(CB13)	
DMH3	2'x2'	306.50	-	301.00/18"(CHAMBER)	TYPE F STRUCTURE
DMH4	2'x2'	307.00	-	301.00/18"(CHAMBER)	TYPE F STRUCTURE
DMH5	2'x2'	307.57	-	301.00/18"(CHAMBER)	TYPE F STRUCTURE
DMH6	2'x2'	308.00	-	301.00/18"(CHAMBER)	TYPE F STRUCTURE
DMH7	2'x2'	307.00	-	301.00/18"(CHAMBER)	TYPE F STRUCTURE



902HD 6.0 CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL INTERLOCK

Rev.	Date	Revision

Site and Subdivision Application	06/03/24	DJG
Response to MDEP Comments	04/08/24	DJG
Major Subdivision Preliminary Application	04/01/24	DJG
SLDA Response to Comments	01/17/24	DJG
SLDA Submission	10/6/23	DJG
Sketch Plan Submission	4/17/23	DJG
Issued For		

Design: LEL	Draft: CEH	Date: DEC 2022
Checked: DJG	Scale:	Job No.: 3796
File Name: 3796-POND DET.dwg		

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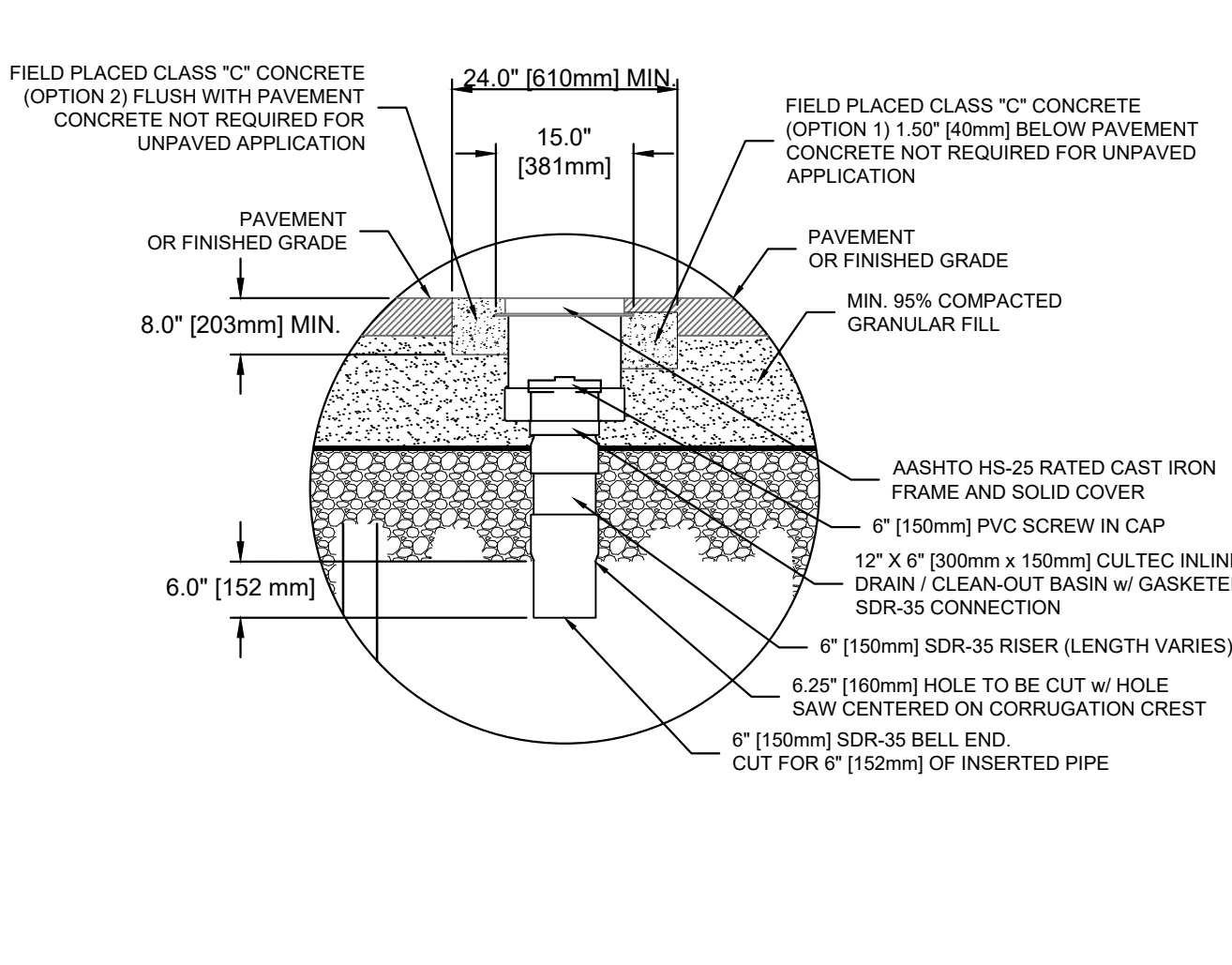
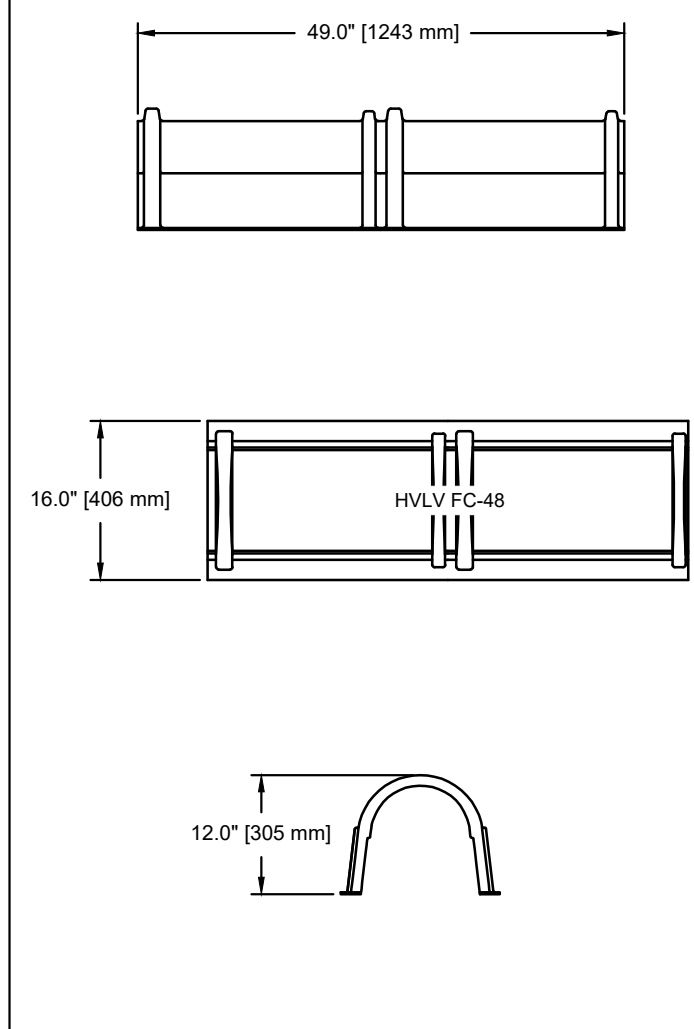


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Drawing Name:	Chamber Plan and Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105
Drawing No.:	C301

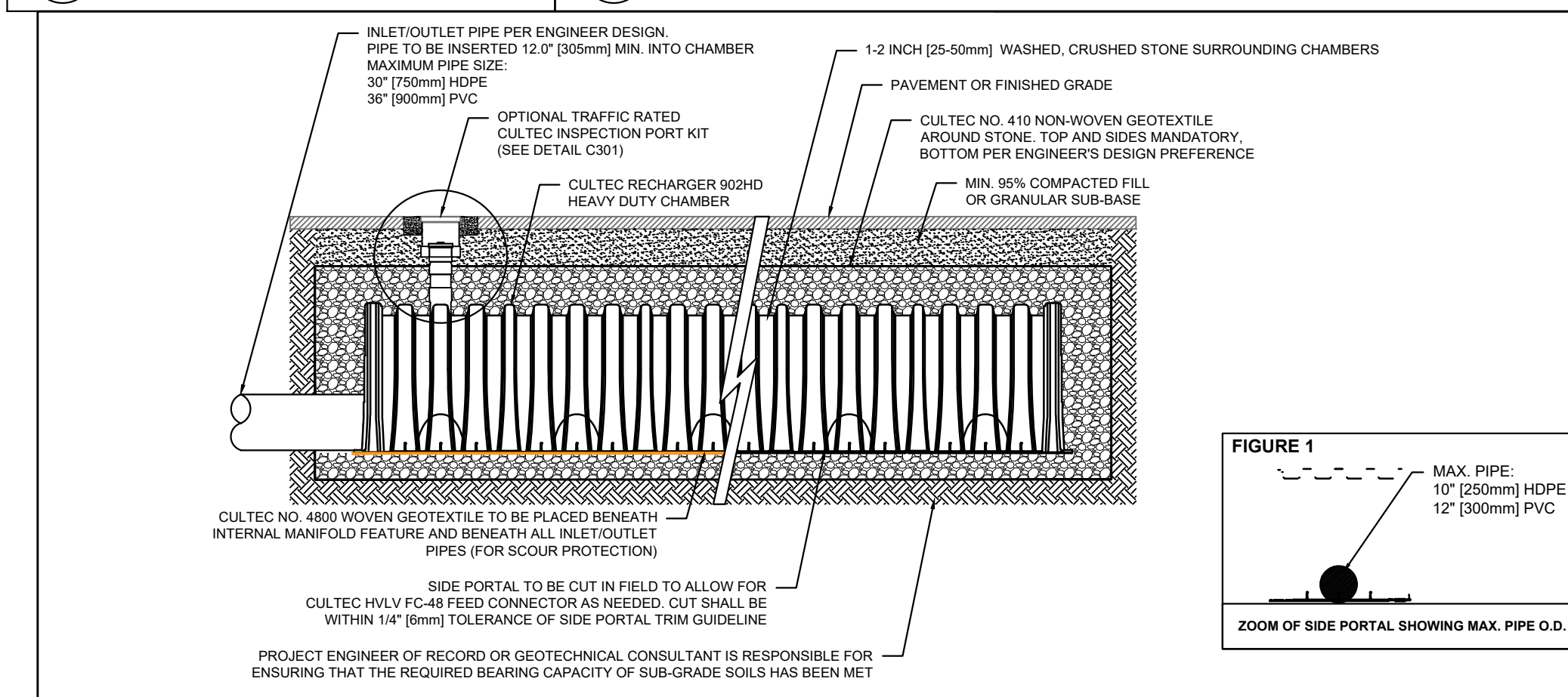


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CULTEC HVLV FC-48 FEED CONNECTOR THREE VIEW

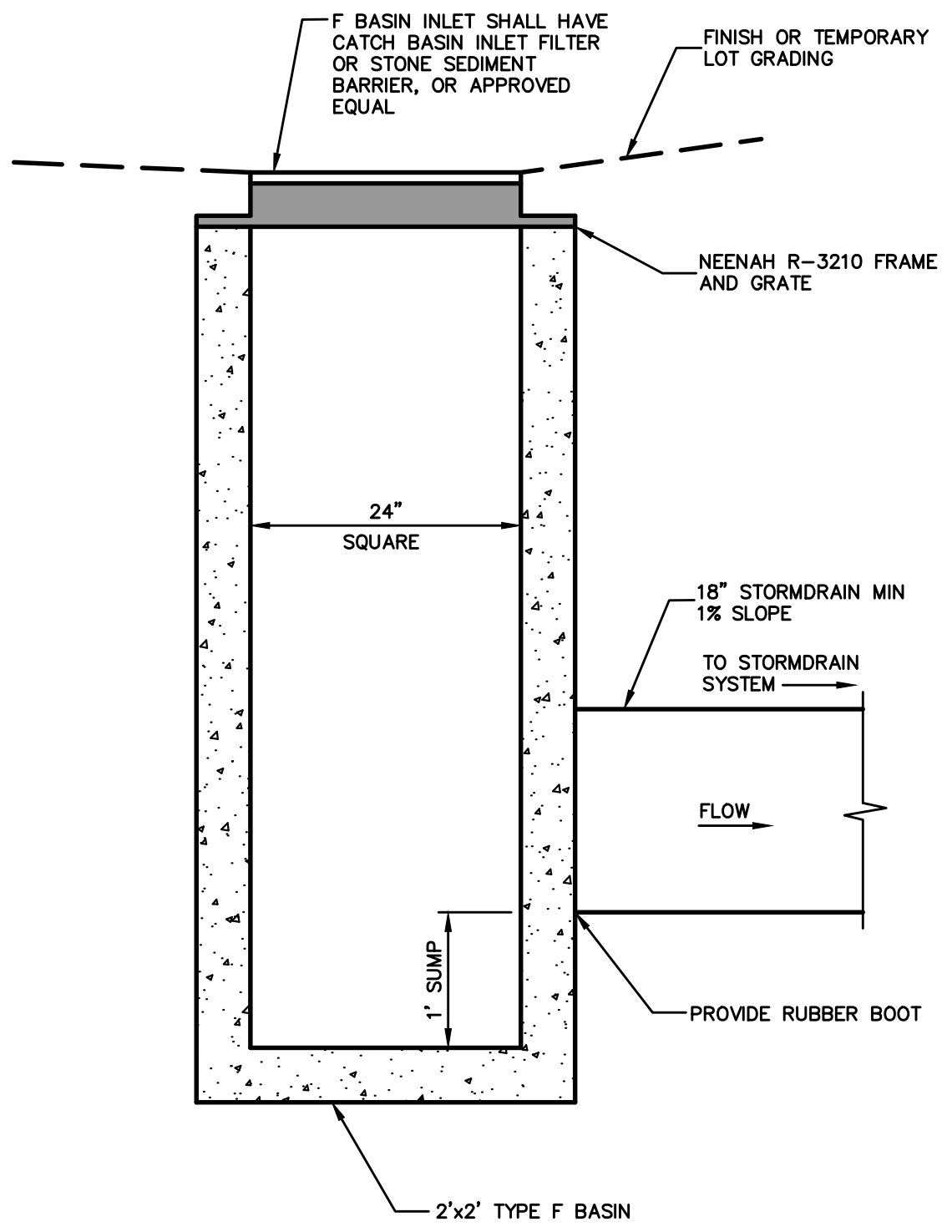
CULTEC INSPECTION PORT - ZOOM DETAIL



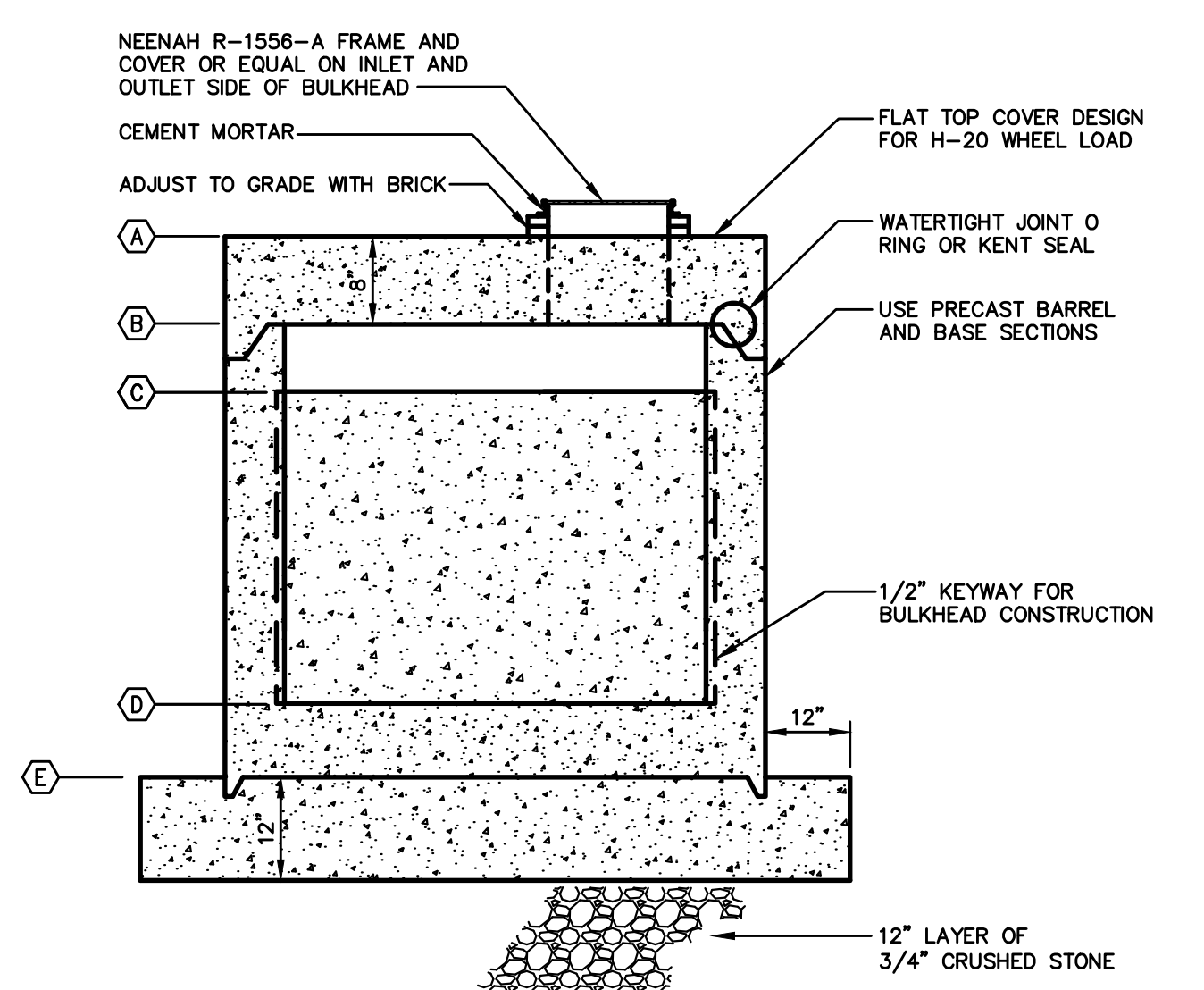
NOTES

- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE LOAD CONFIGURATION SHALL INCLUDE:
 - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
 - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
 - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
- THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F380-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.10, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
 - THE CREEP MODULUS SHALL BE 50 YEARS AS SPECIFIED IN ASTM F380.
 - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75.
 - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.50.

CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL

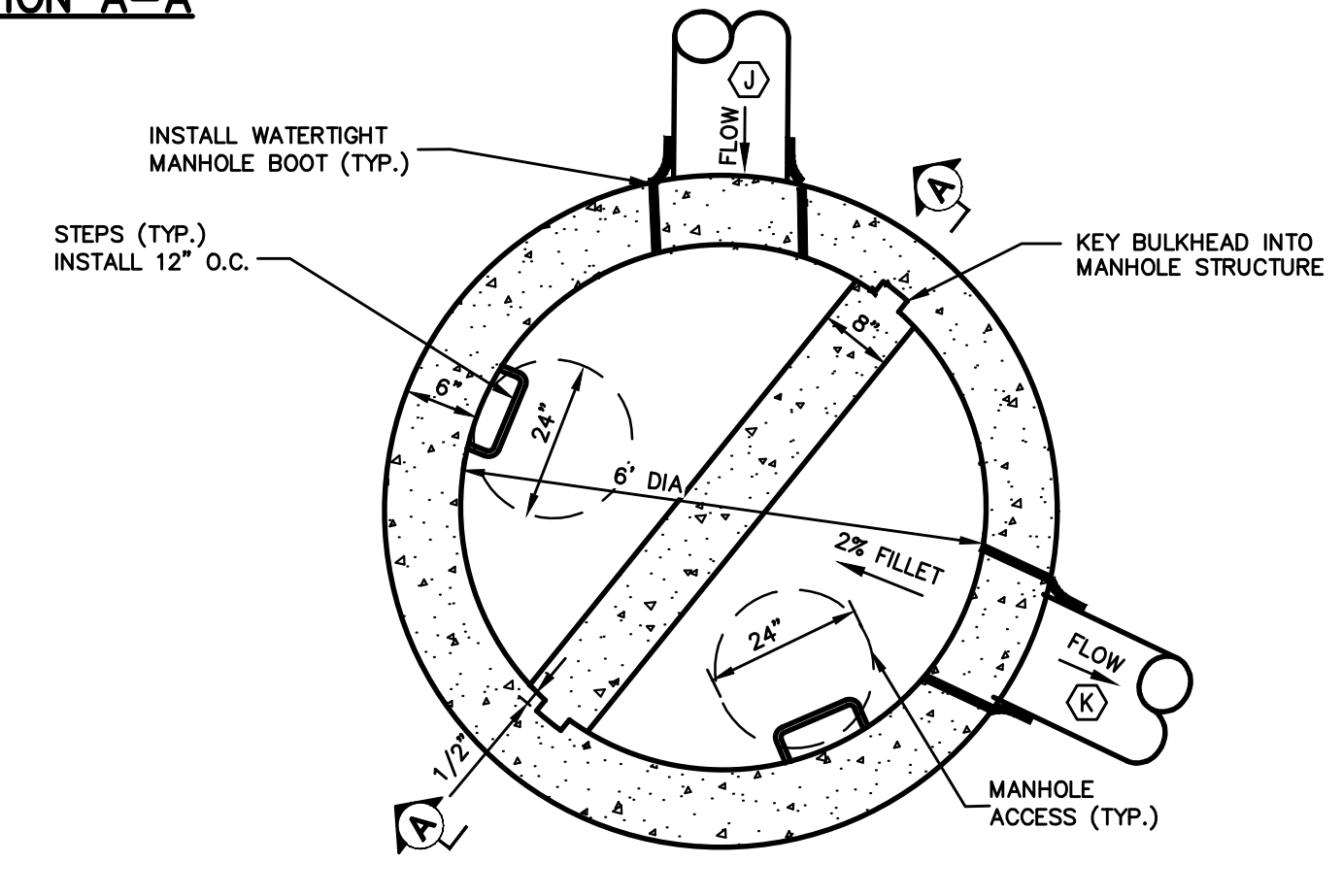


FIELD INLET DETAIL-TYPE F BASIN
NOT TO SCALE

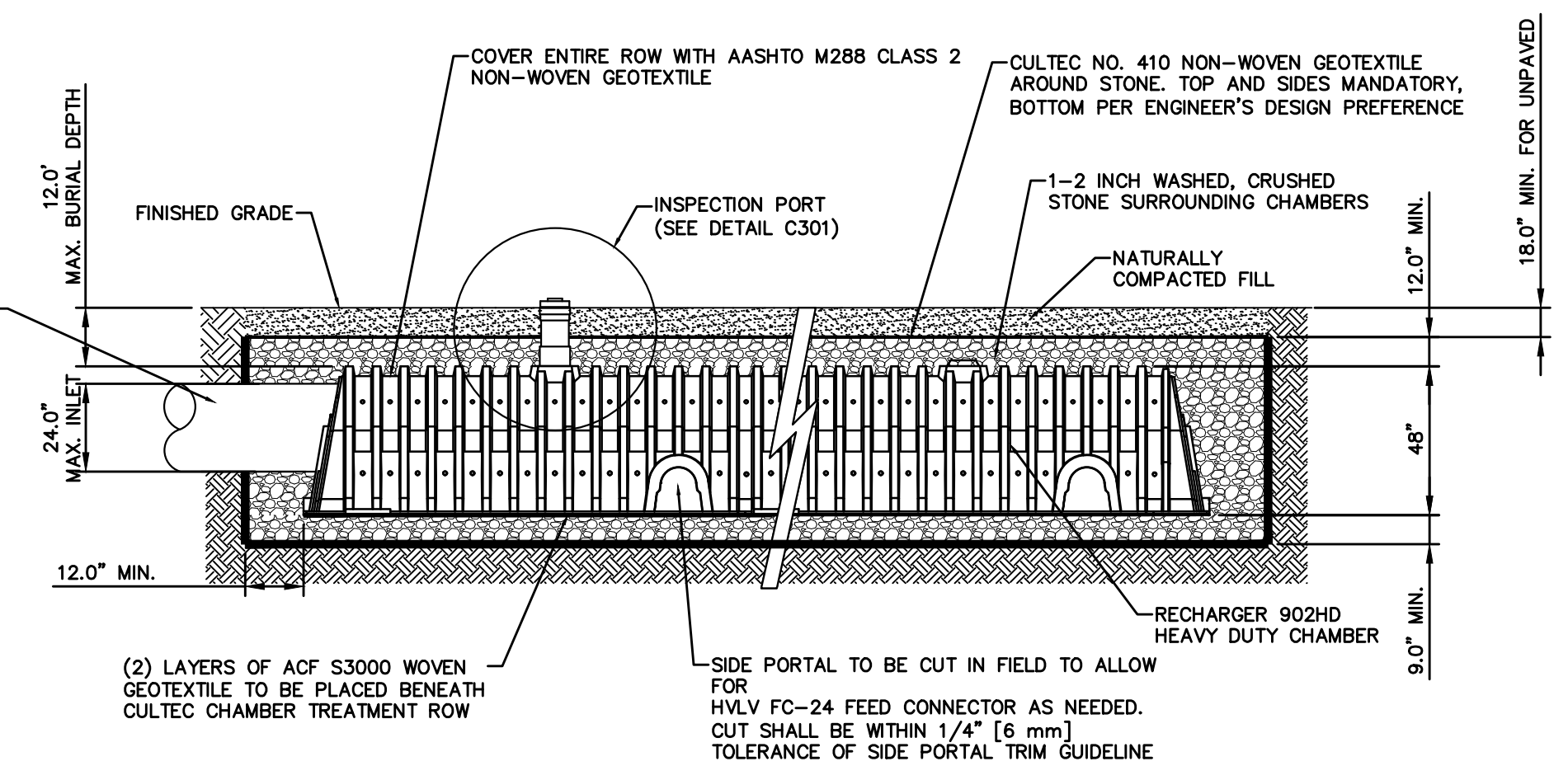


SECTION A-A

SCHEDULE C		
ITEM DESCRIPTION	ELEVATION	OCS 1
A TOP OF STRUCTURE	306.75	
B UNDERSIDE TOP SLAB	306.08	
C TOP CONCRETE BULKHEAD	304.98	
D MANHOLE INVERT	302.90	
E BOTTOM OF STRUCTURE	301.90	
J PIPE DIAMETER	12"	
K INVERT IN	303.44	
L PIPE DIAMETER	12"	
M INVERT OUT	302.90	

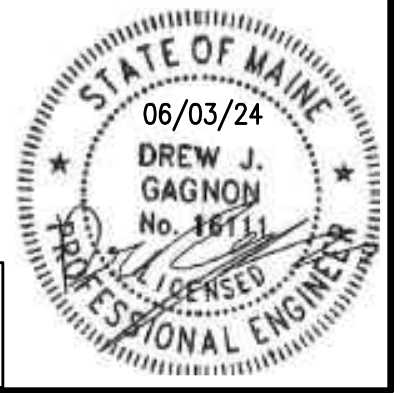


6" OUTLET CONTROL STRUCTURE (OCS 1)
SEE SCHEDULE C
NOT TO SCALE



CHAMBER TREATMENT ROW
NOT TO SCALE

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



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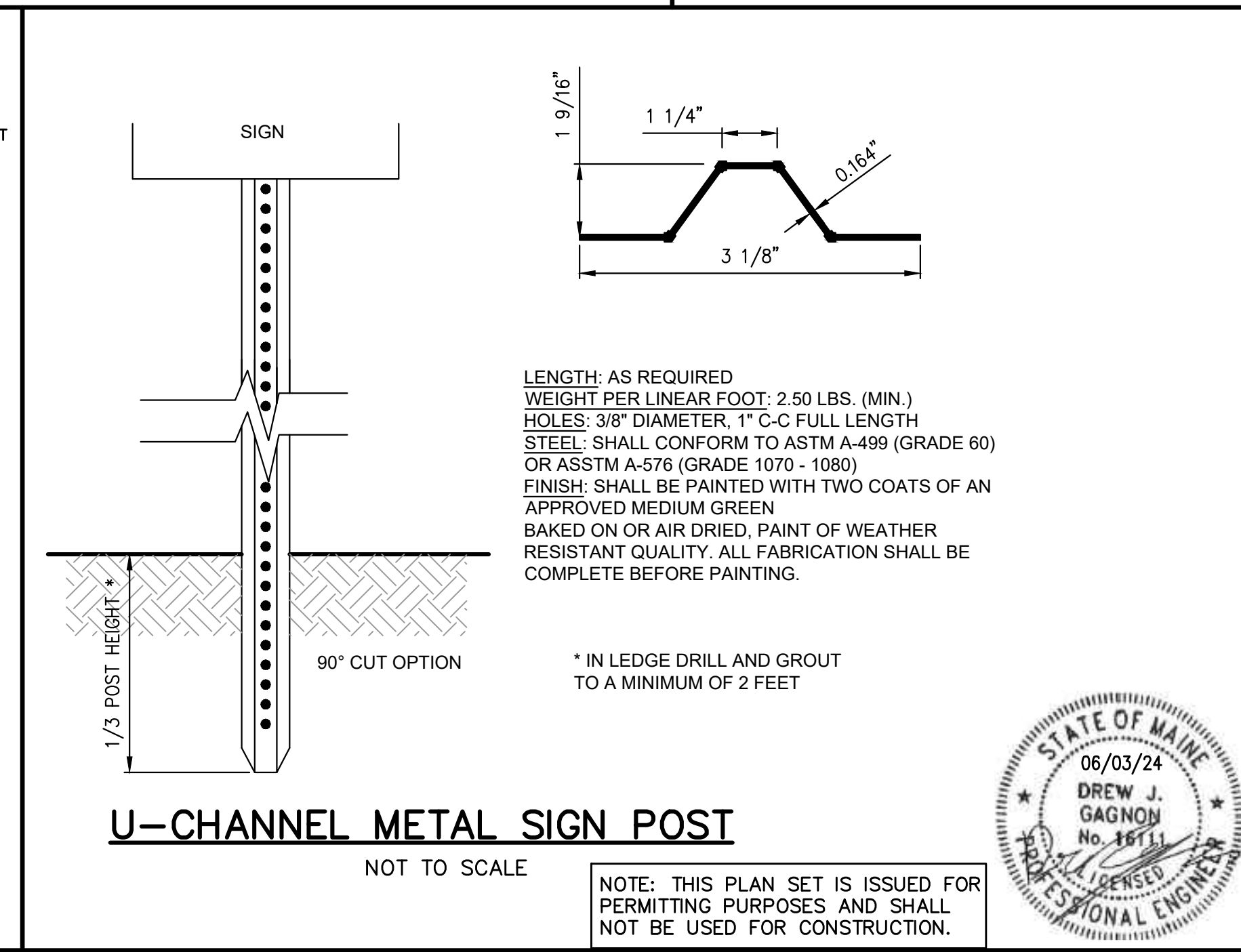
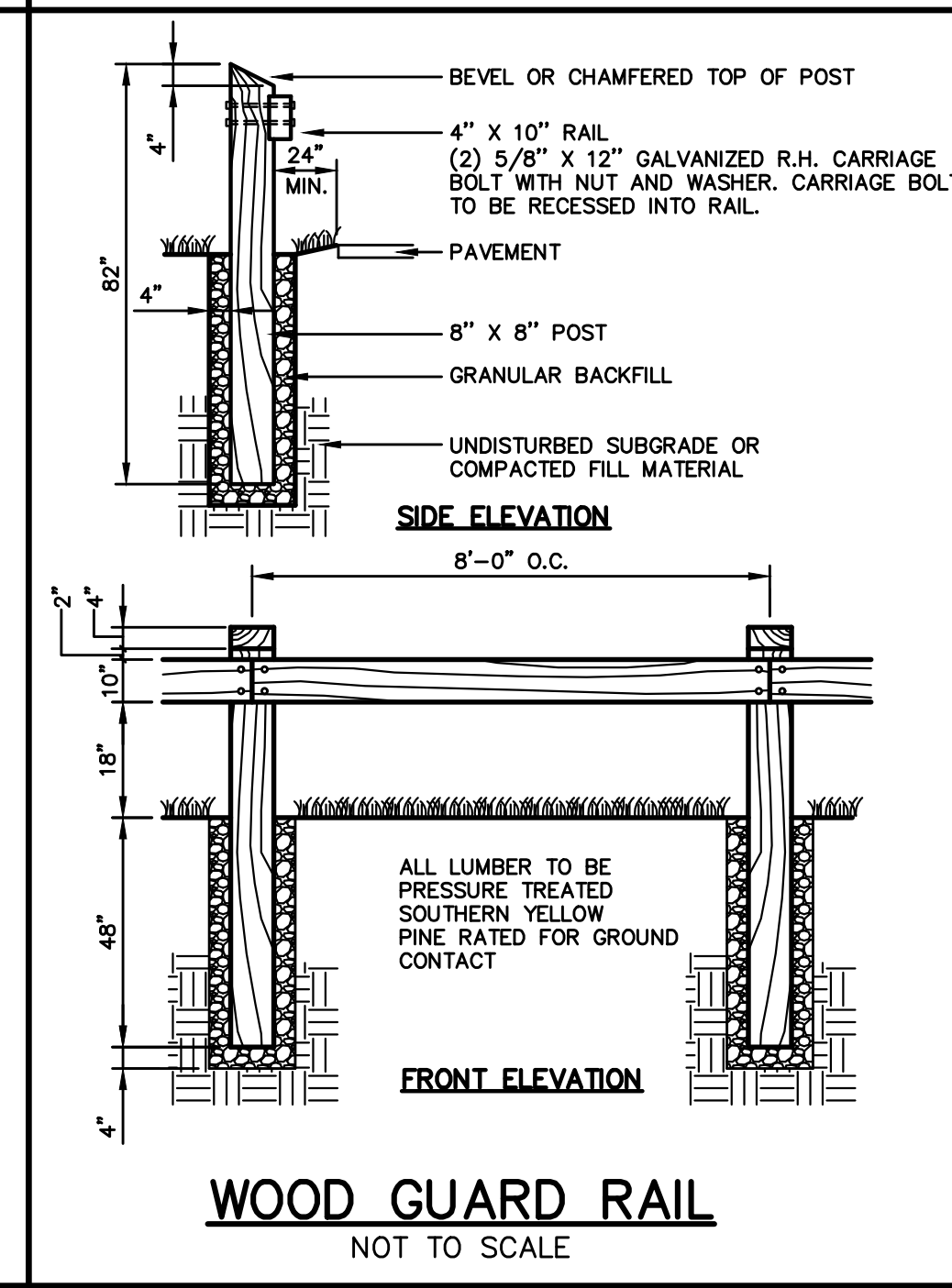
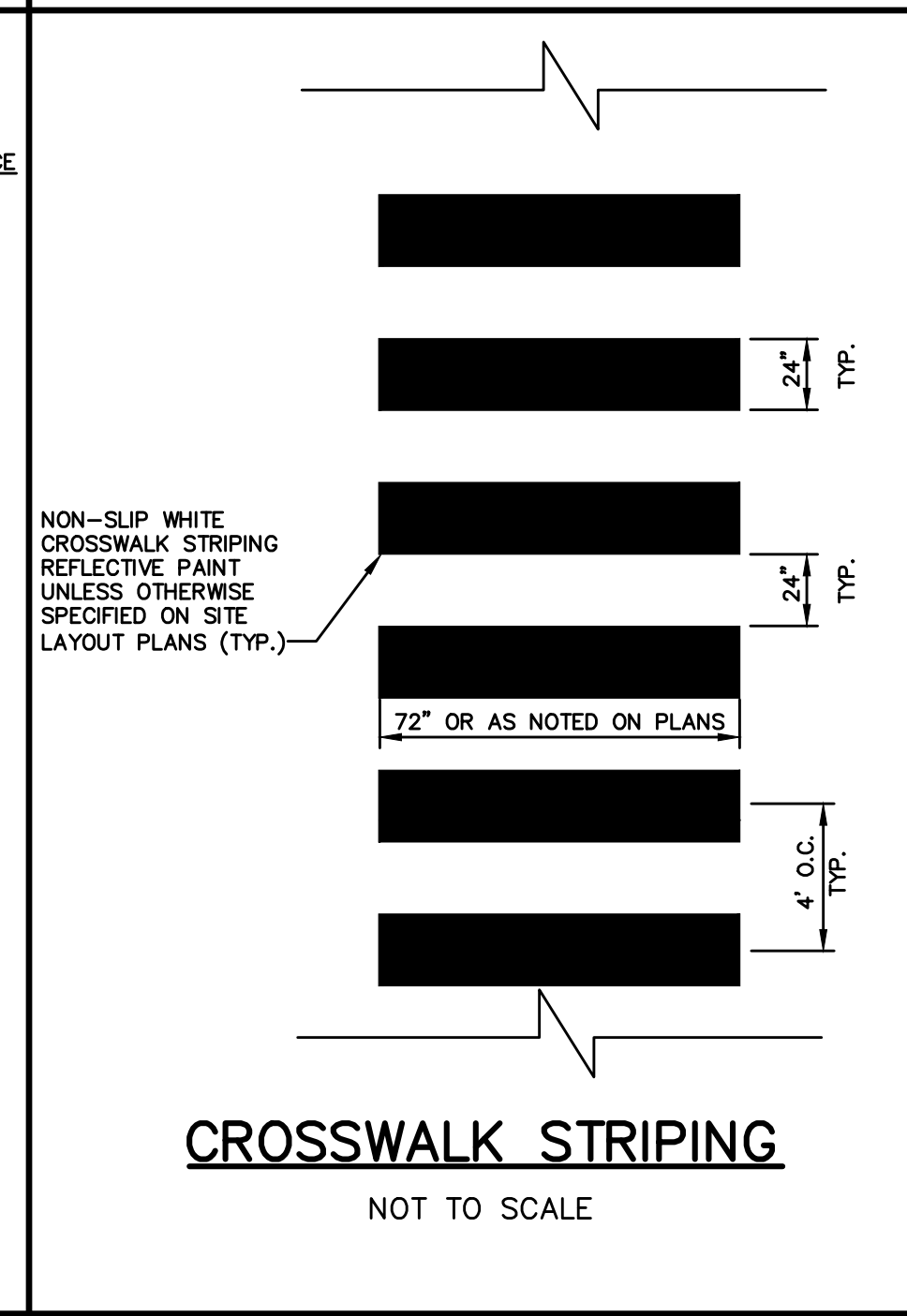
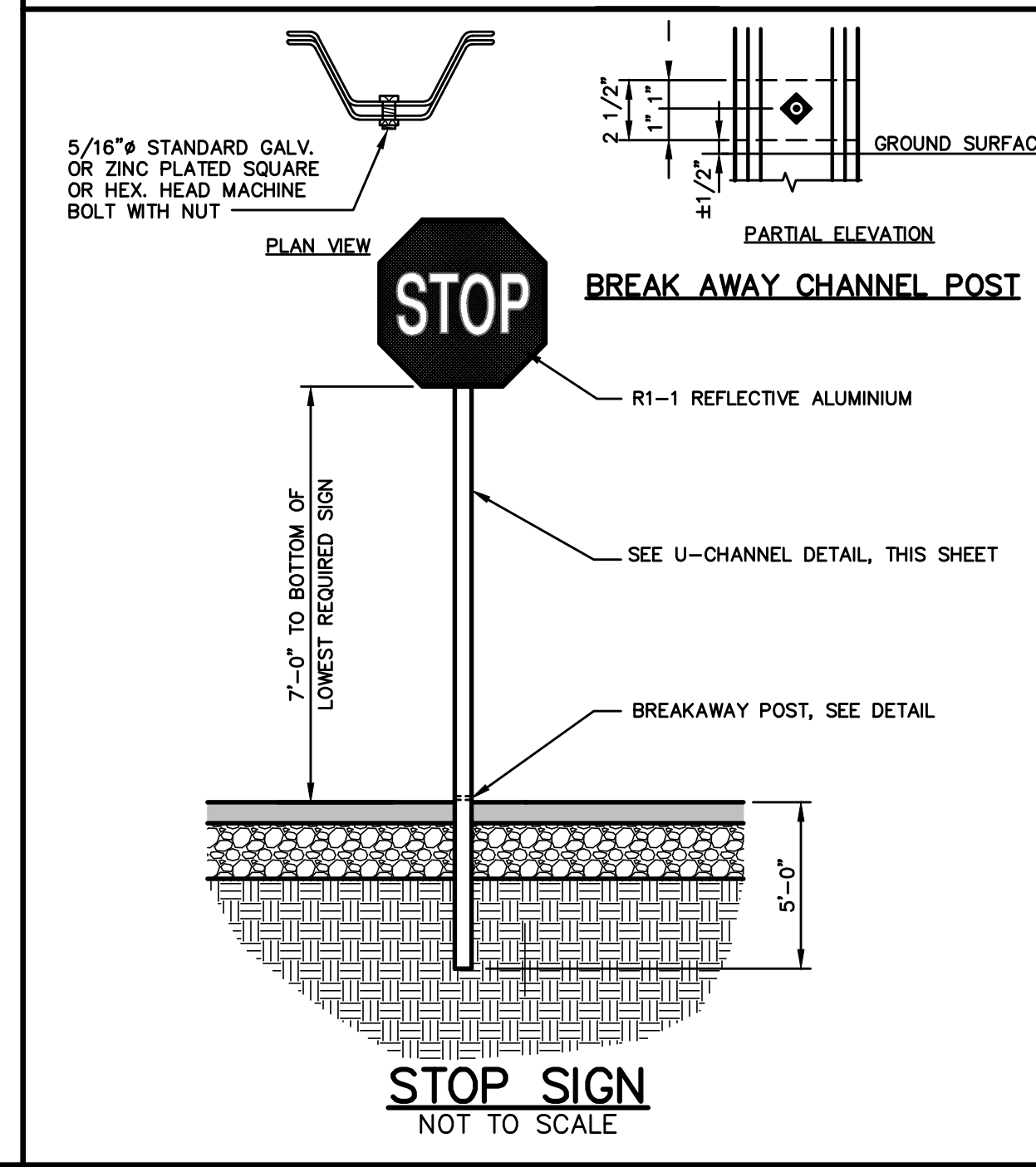
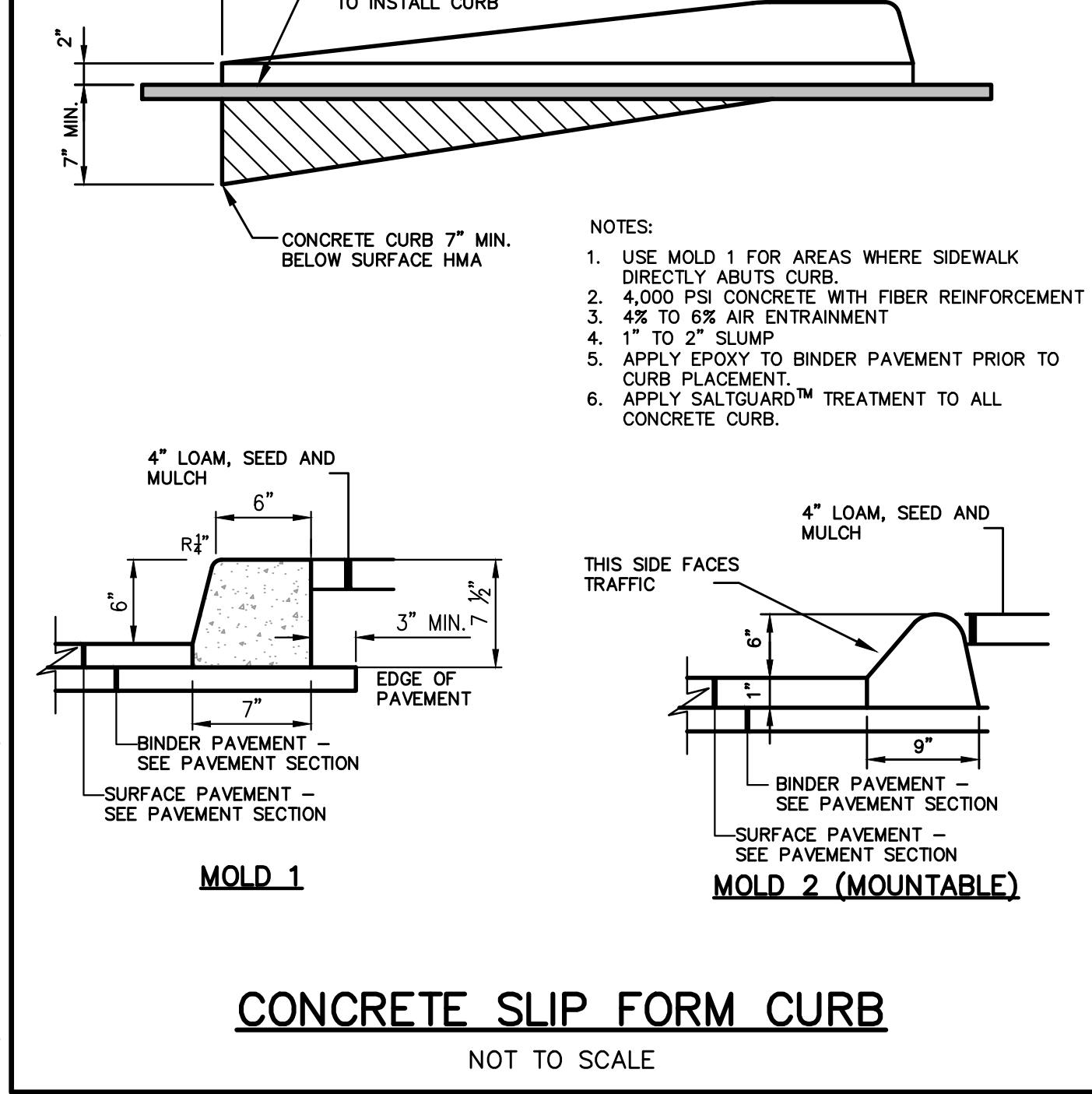
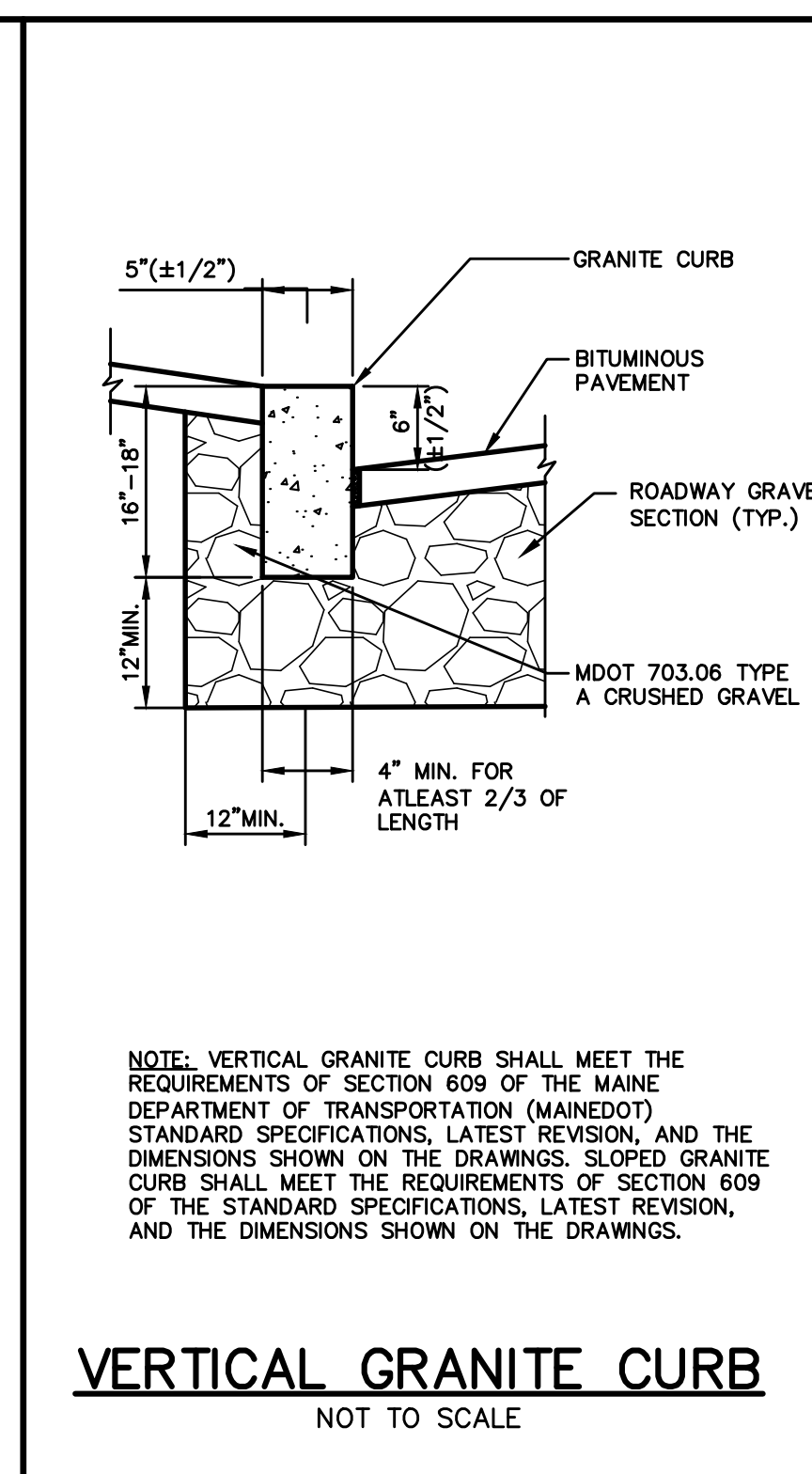
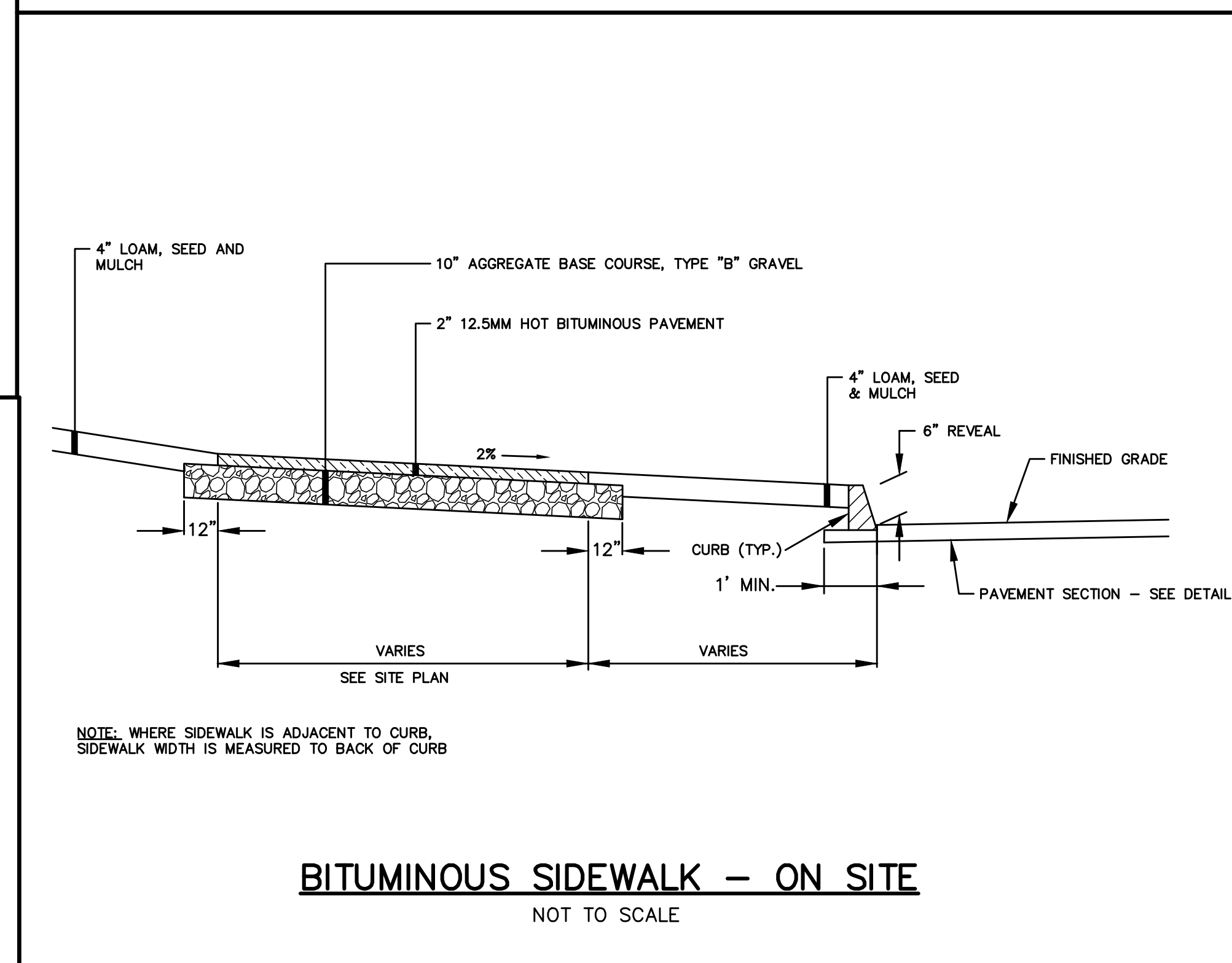
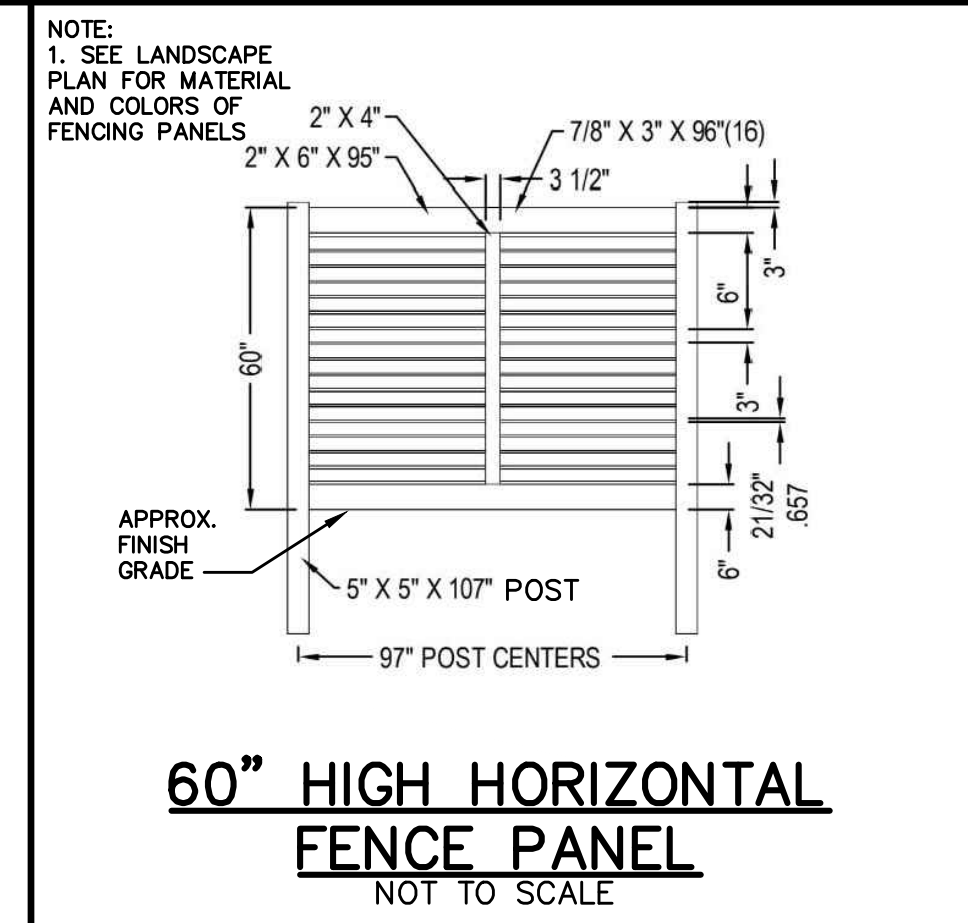
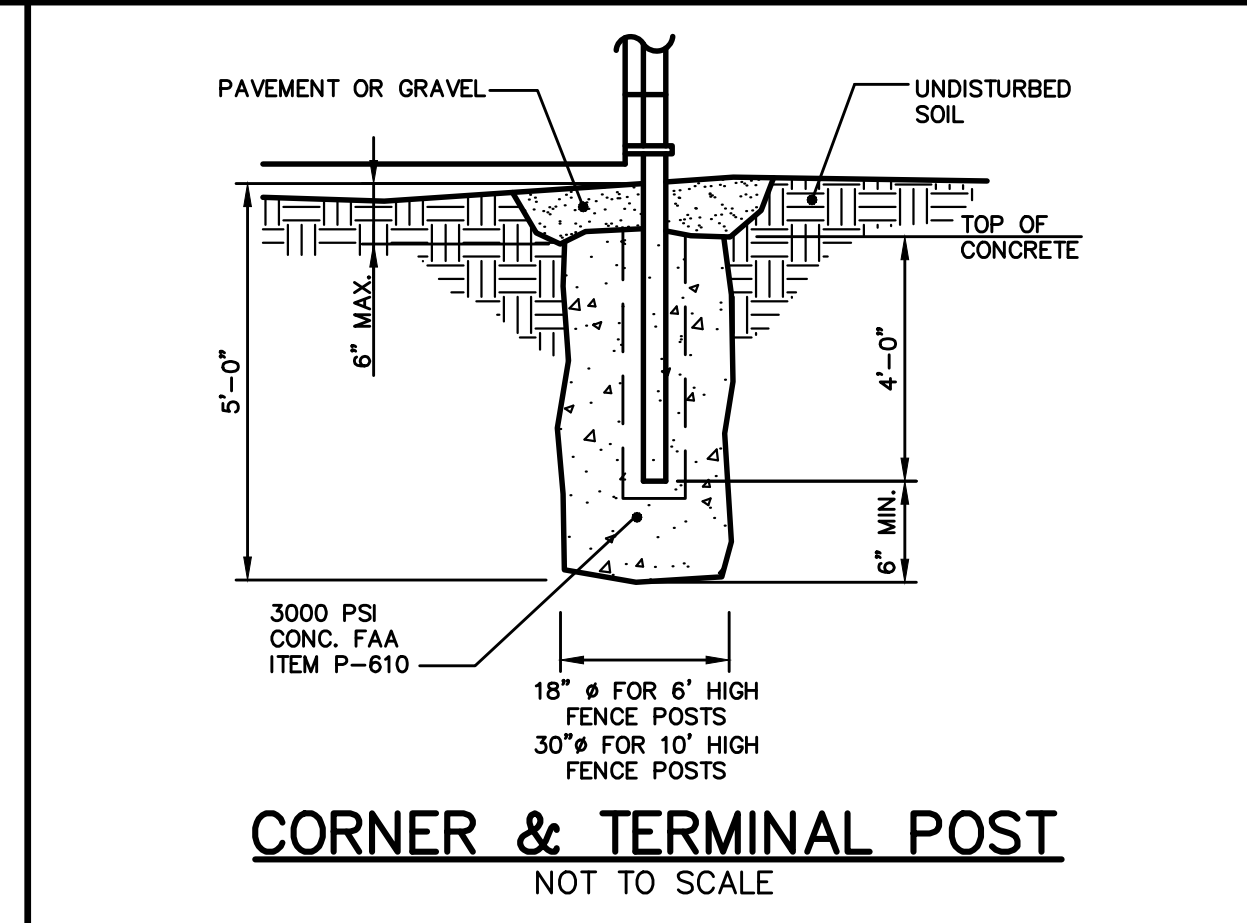
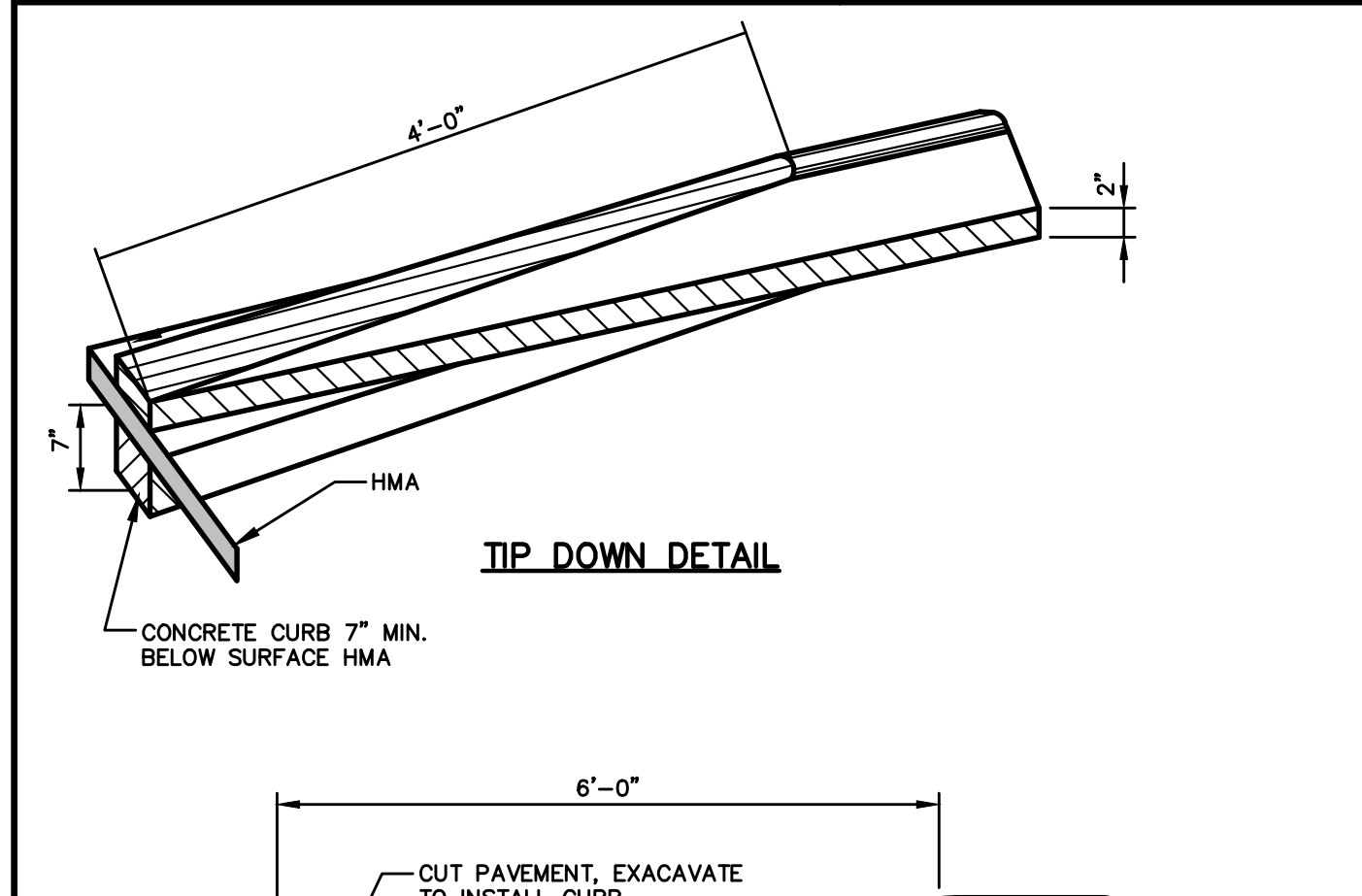
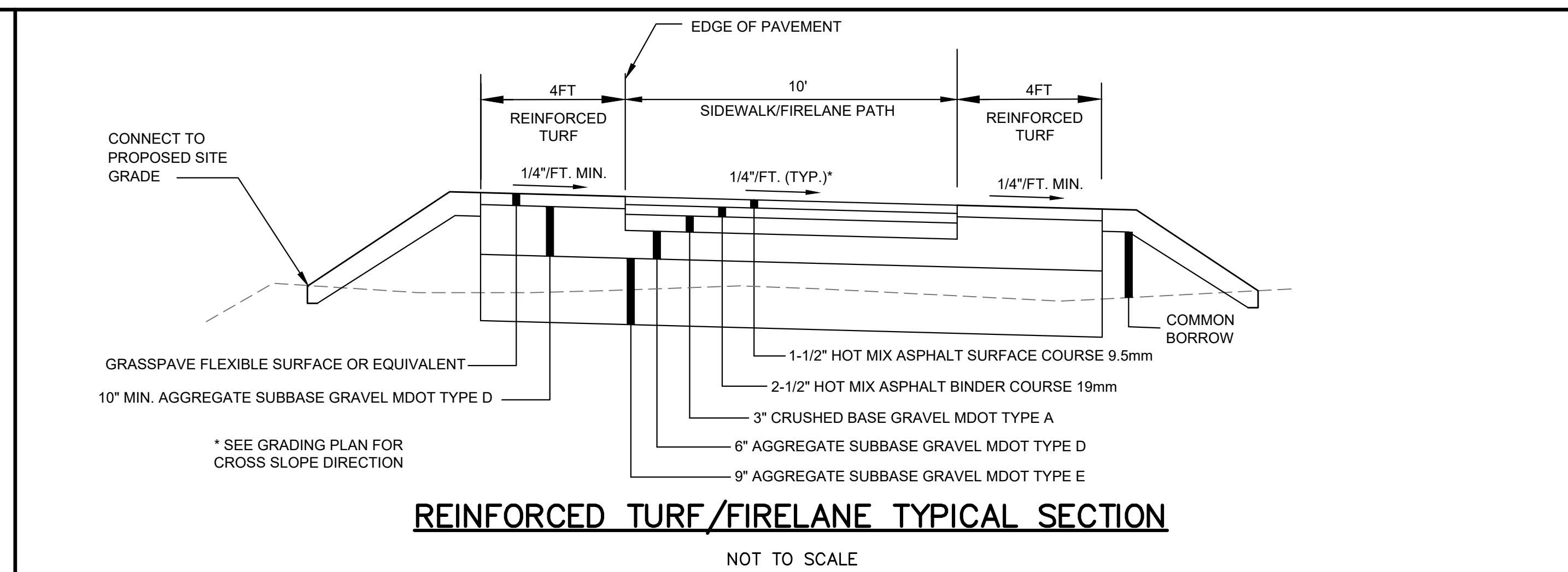
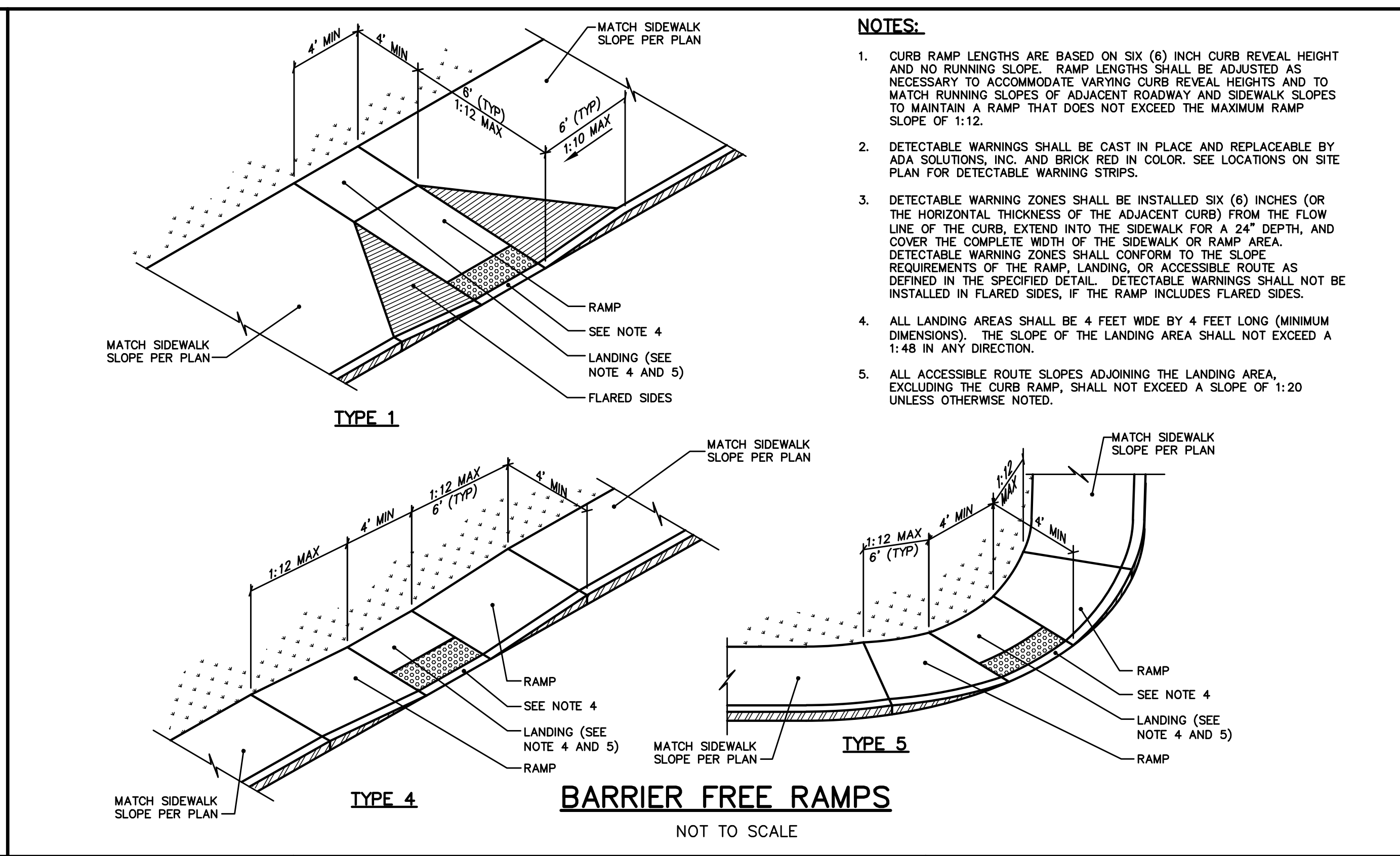
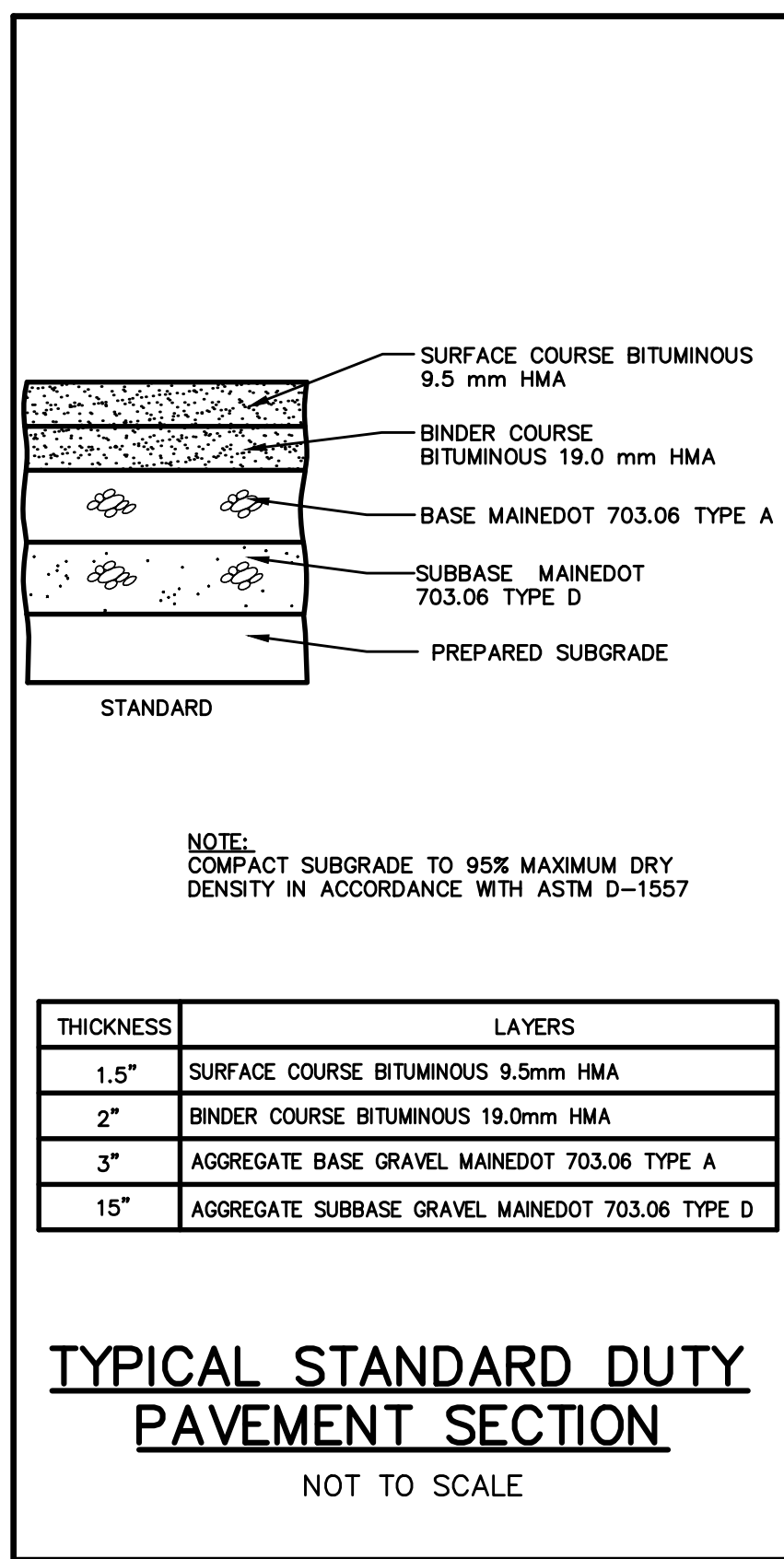
Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: AS NOTED Job No.: 3796
 File Name: 3796-POND DET.dwg
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Drawing Name:	Chamber Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C302



Rev.	Date	Revision

Issued For	Date	By
SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design:	Draft:	Date:
LEL	CEH	DEC 2022
Checked: DJG	Scale: AS NOTED	Job No.: 3796
File Name: 3796-DET.dwg		

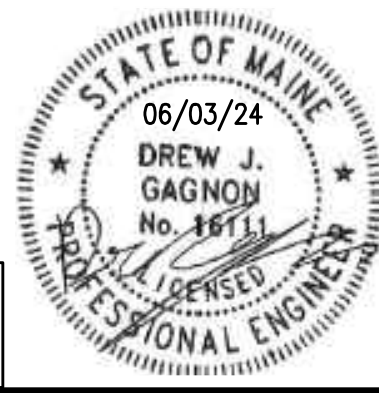
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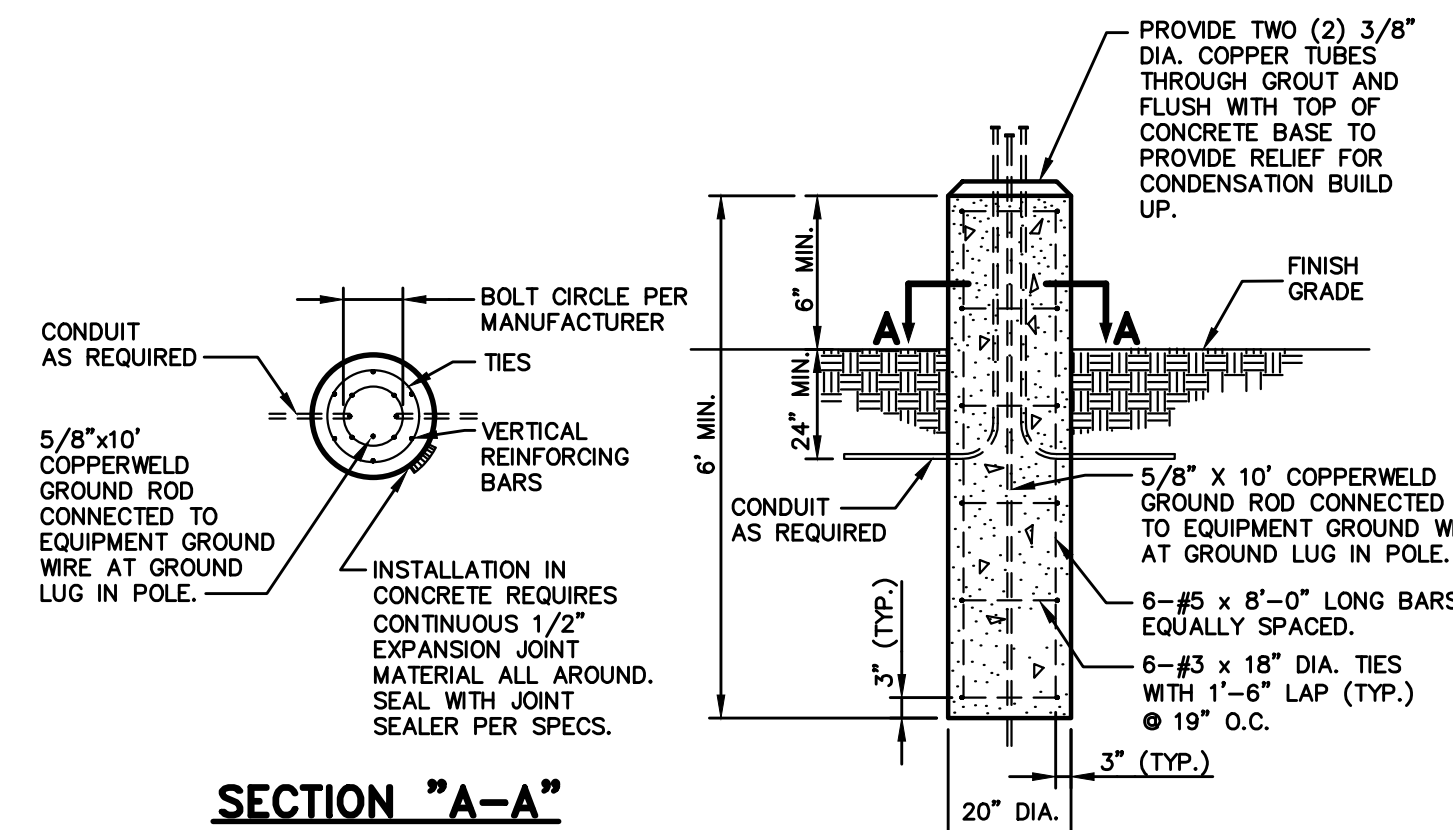
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Drawing Name:	Site Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C401



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SECTION "A-A"

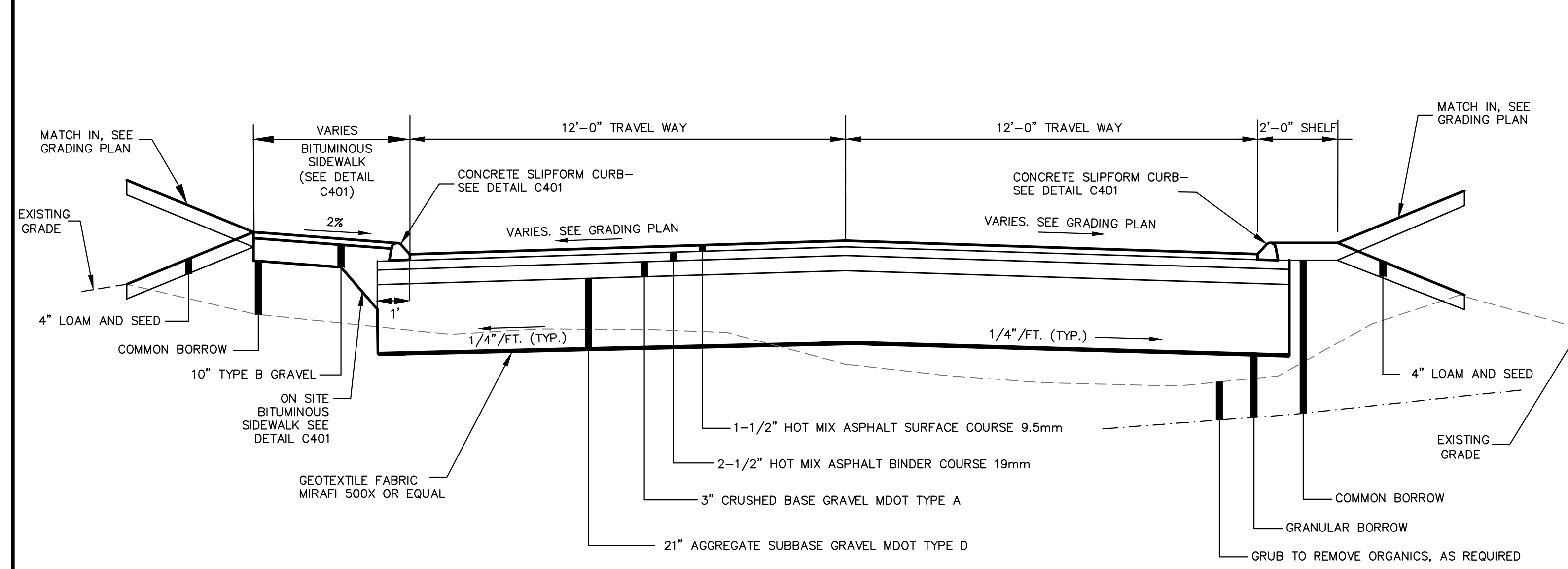
CONTRACTOR TO PROVIDE SHOP DRAWING FOR ENGINEER APPROVAL

VERTICAL AND HORIZONTAL BARS SHALL BE FIELD TIED. WELDING NOT PERMITTED. SUPPORT REINFORCEMENT IN ITS PROPER LOCATION FROM THE FORMWORK DURING CONCRETE OPERATION.

- NOTES:**
- 3500 P.S.I. MIN. 28 DAY COMPRESSIVE STRENGTH CONC. WITH GRADE 60 REINF. STEEL.
 - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING OR PLACING CONCRETE.
 - UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".
 - DETAIL FOR 18" POLE
 - LIGHT POLE CONCRETE BASE SHALL HAVE 6" REVEAL BEHIND A CURB. WHERE NO CURB IS PRESENT AND BASE IS ADJACENT TO PARKING SPACES OR DRIVE AISLE, REVEAL SHALL BE 2 FT.

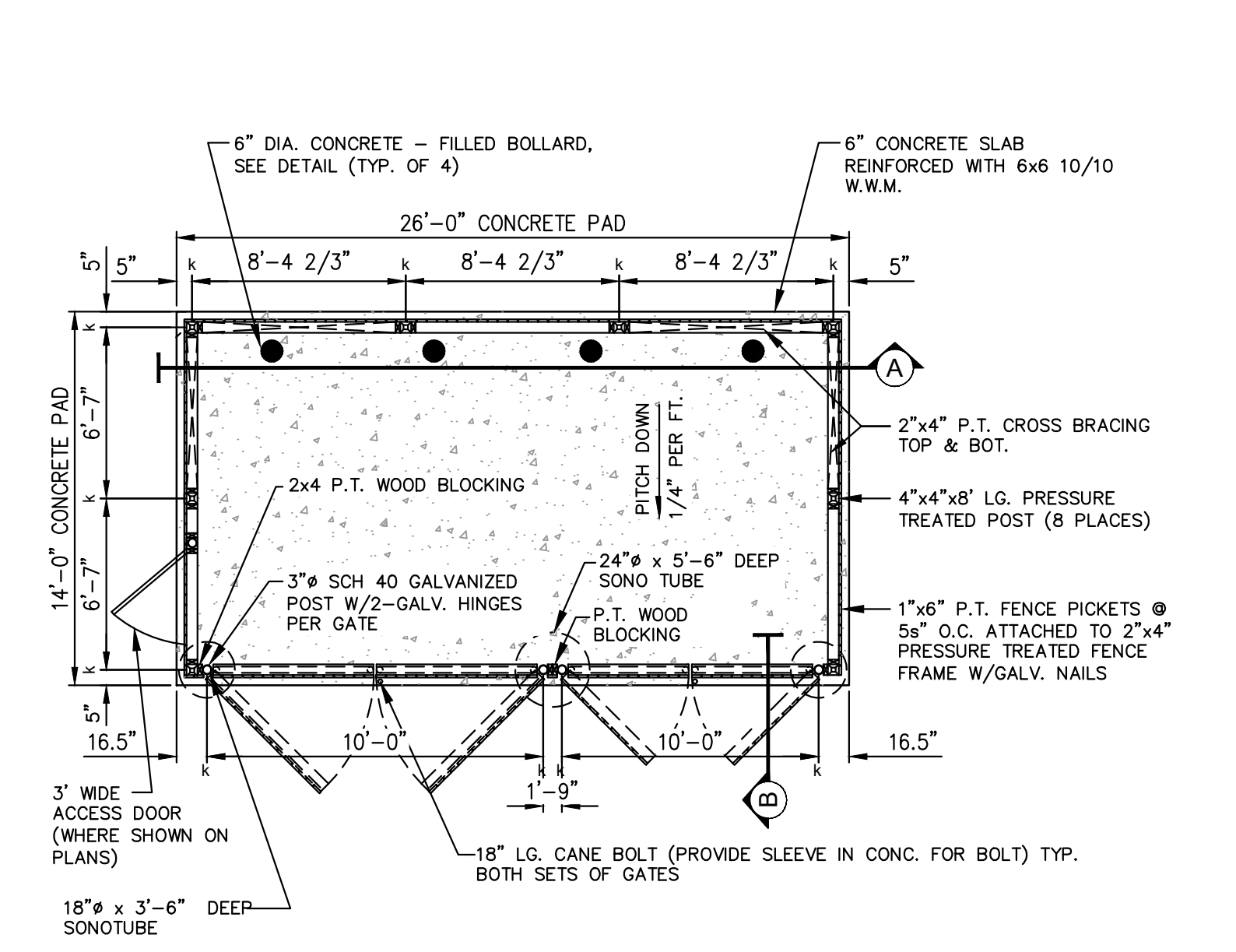
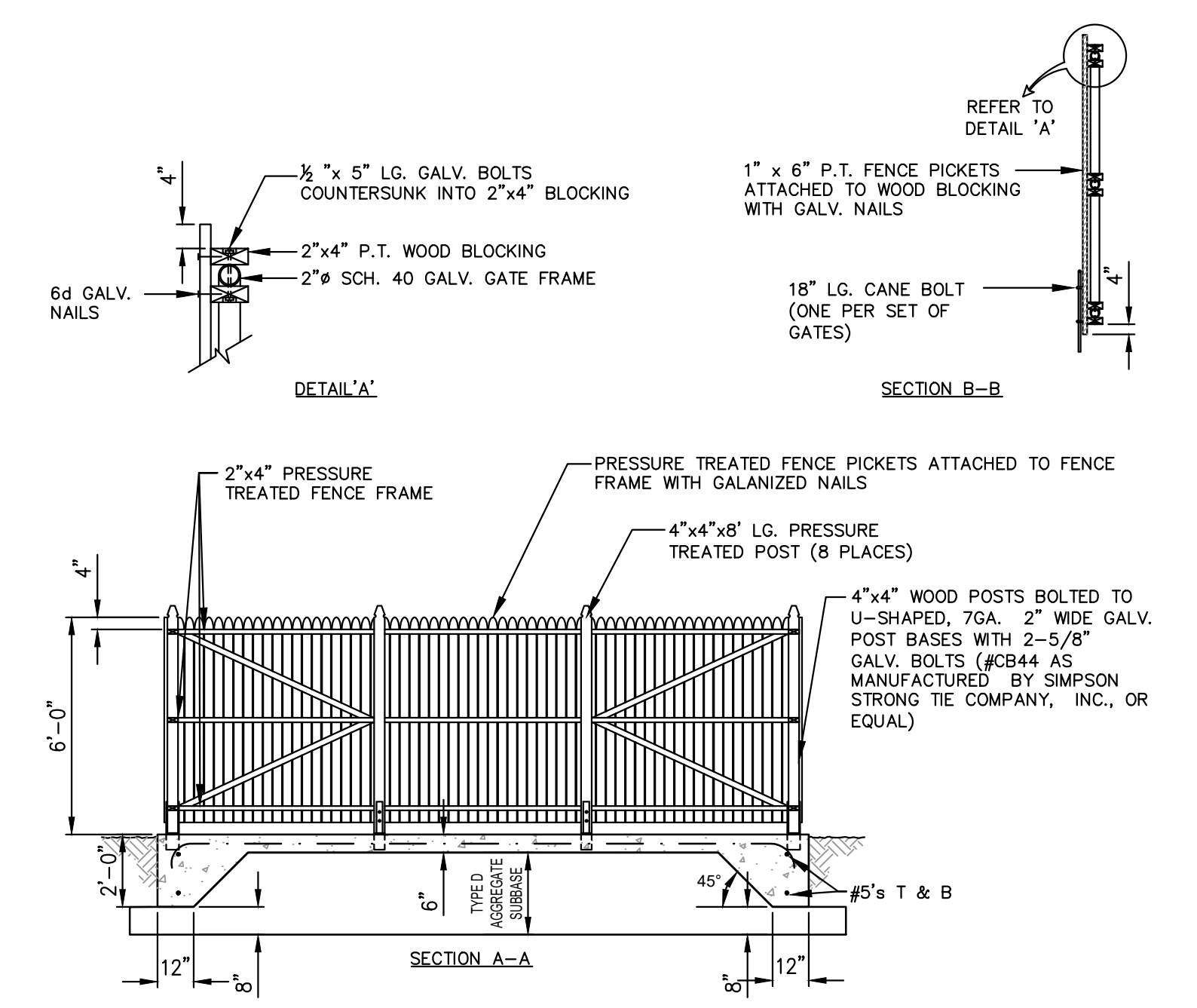
TYPICAL LIGHTING POLE FOUNDATION

NOT TO SCALE

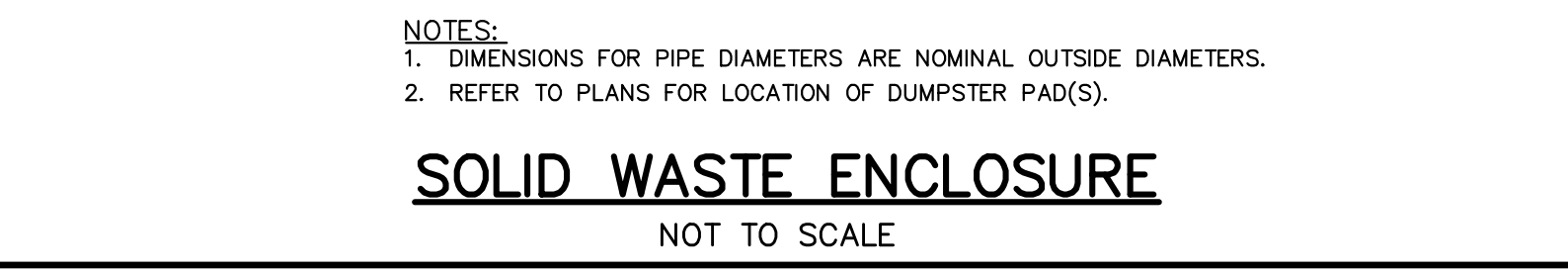


TYPICAL ACCESS DRIVE TYPICAL SECTION

NOT TO SCALE

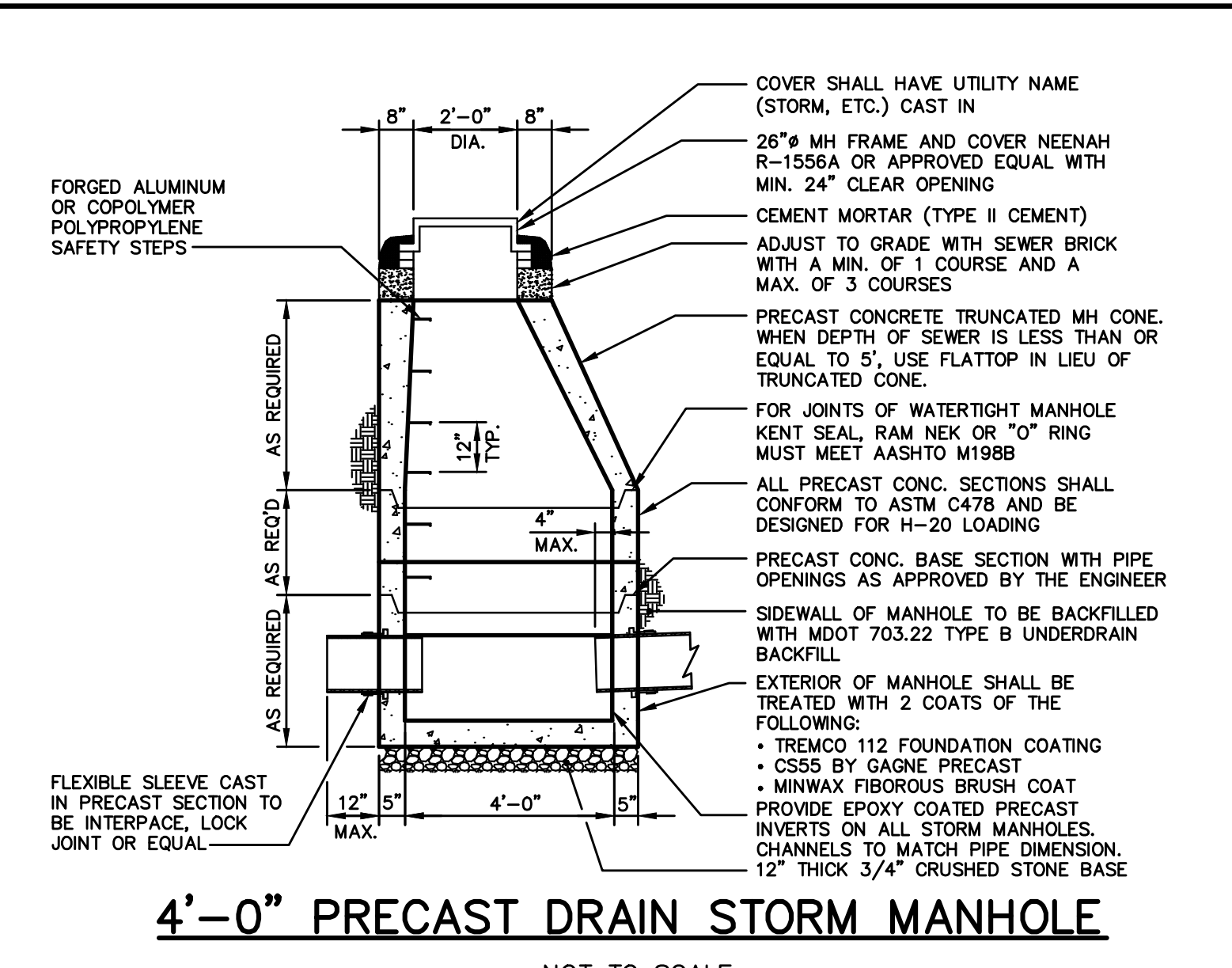


GENERAL NOTES FOR MANHOLES AND CATCH BASINS



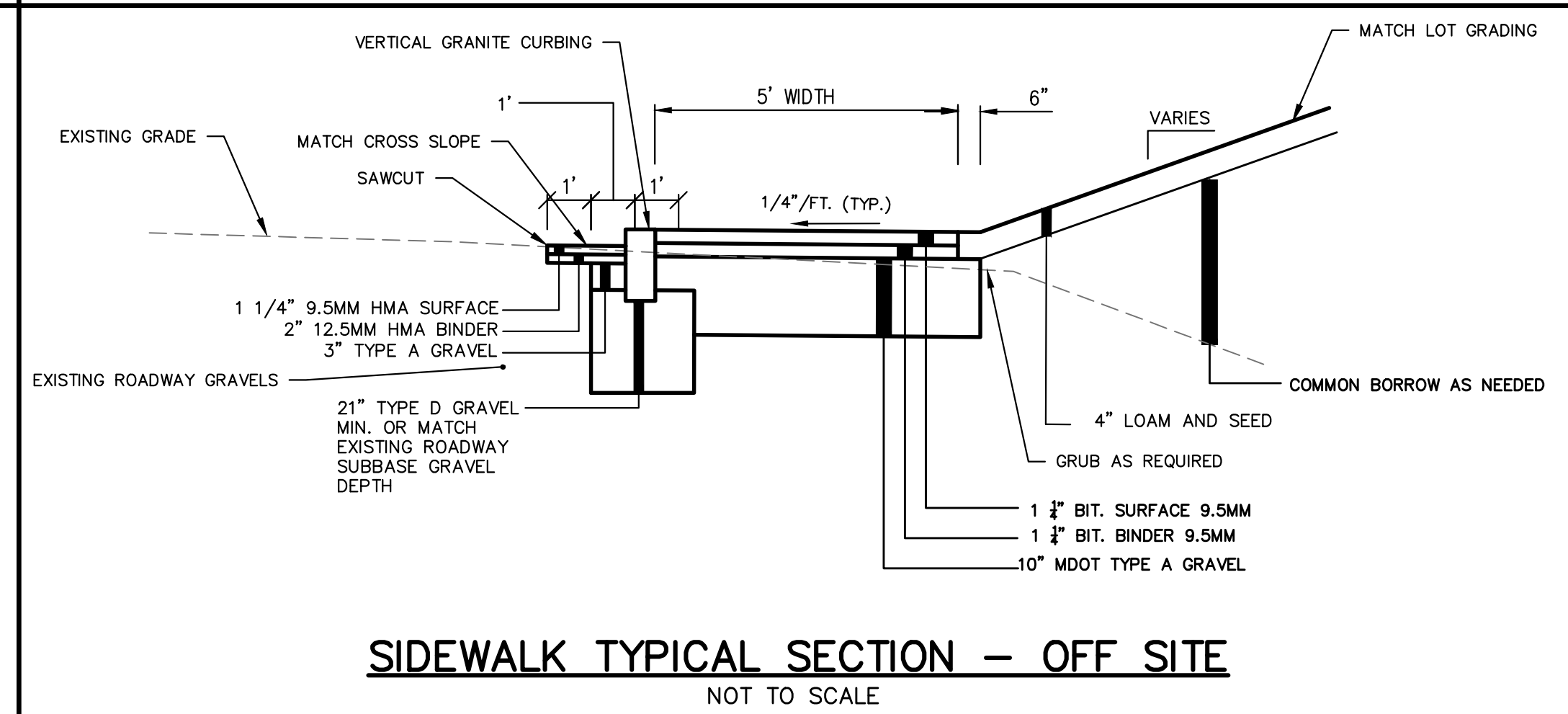
SOLID WASTE ENCLOSURE

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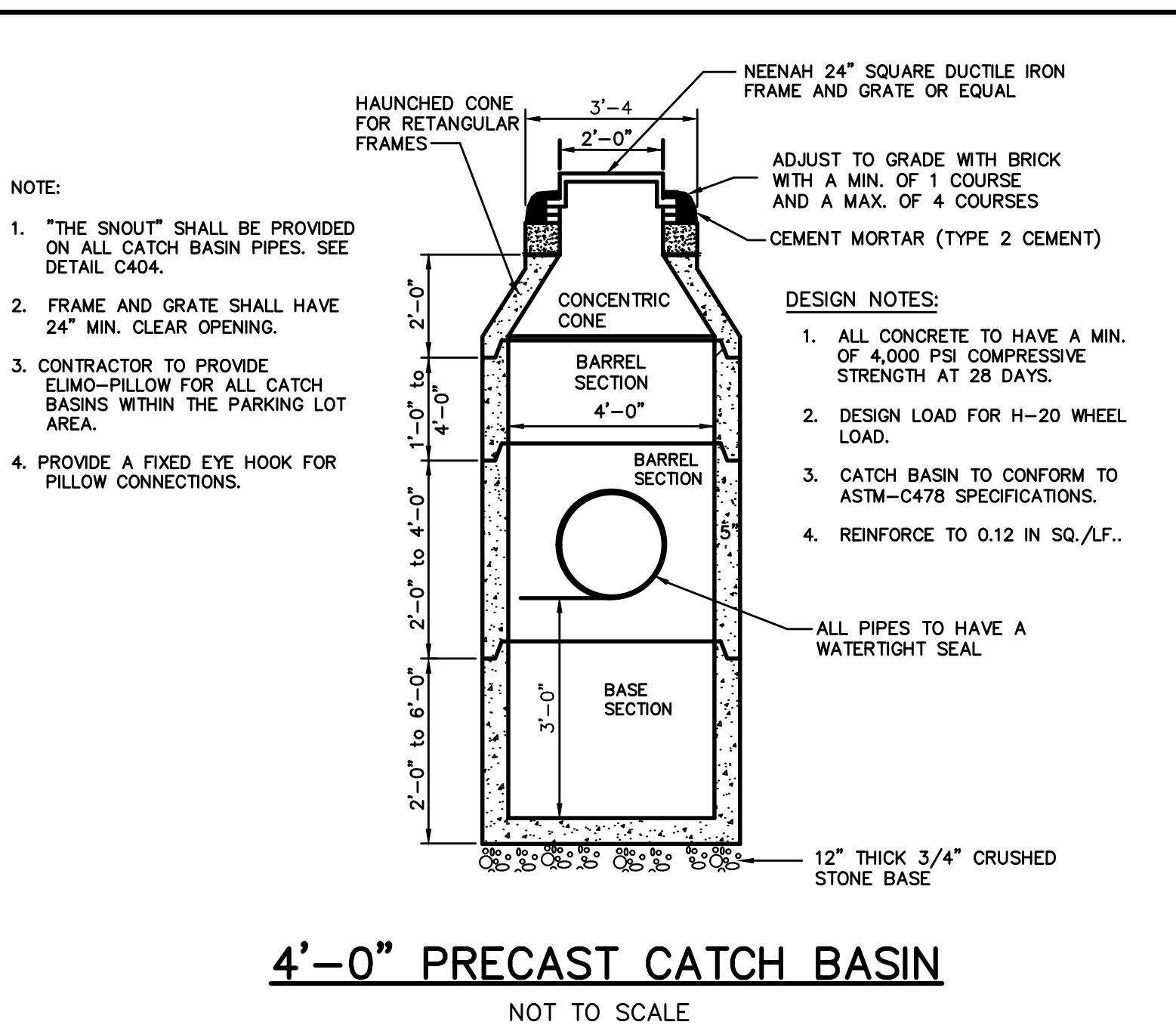
4'-0" PRECAST DRAIN STORM MANHOLE

NOT TO SCALE



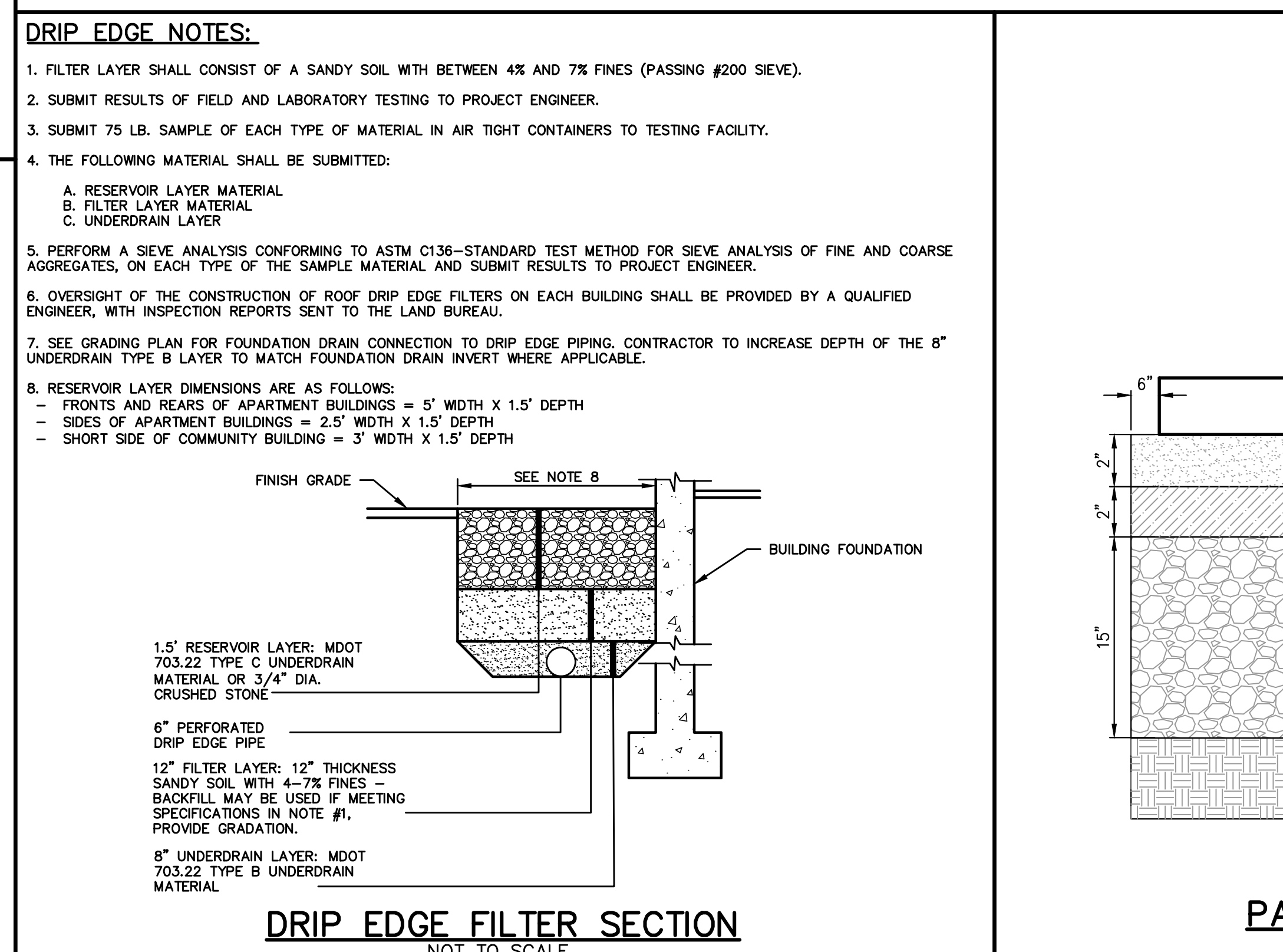
SIDEWALK TYPICAL SECTION - OFF SITE

NOT TO SCALE



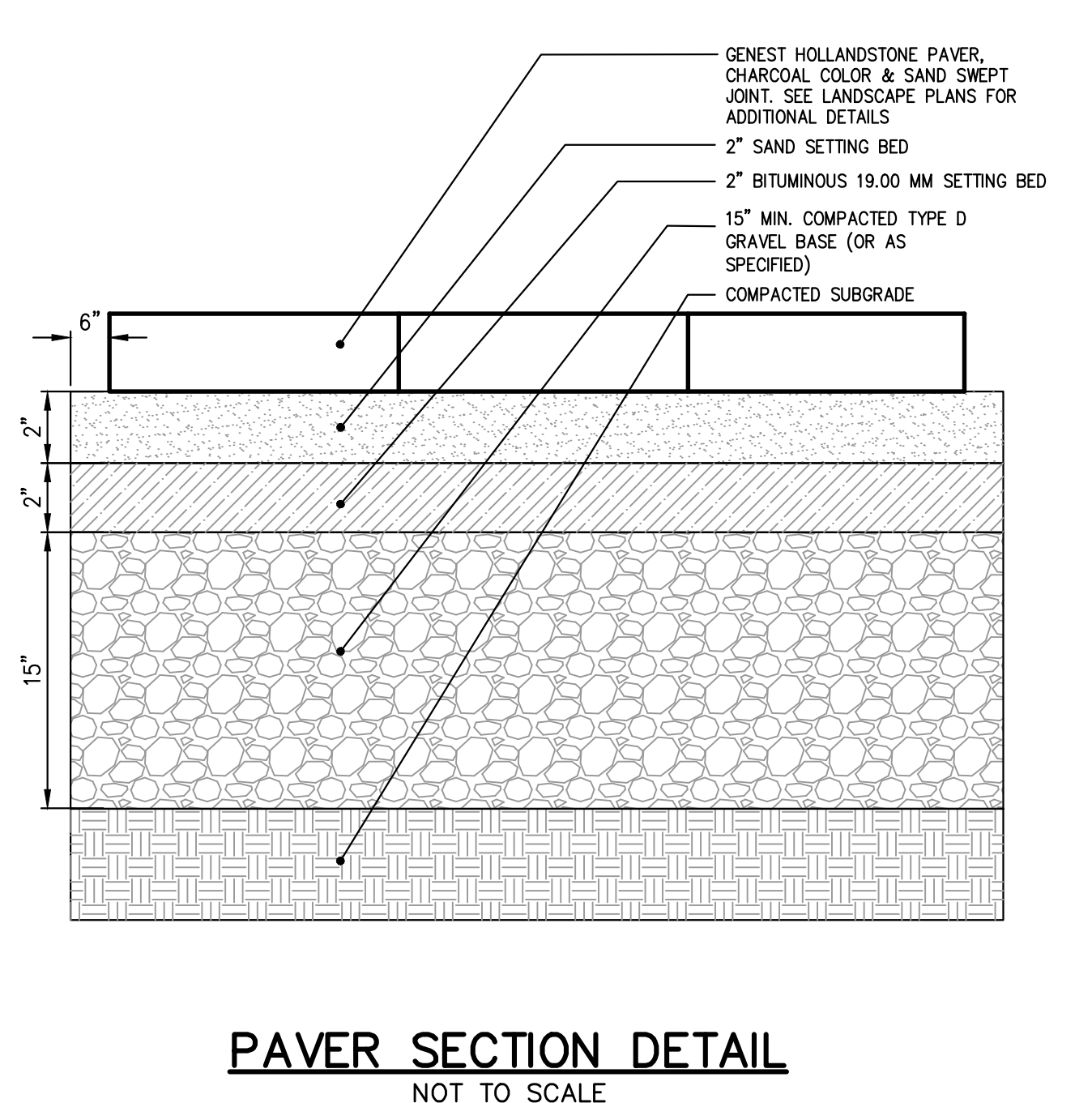
4'-0" PRECAST CATCH BASIN

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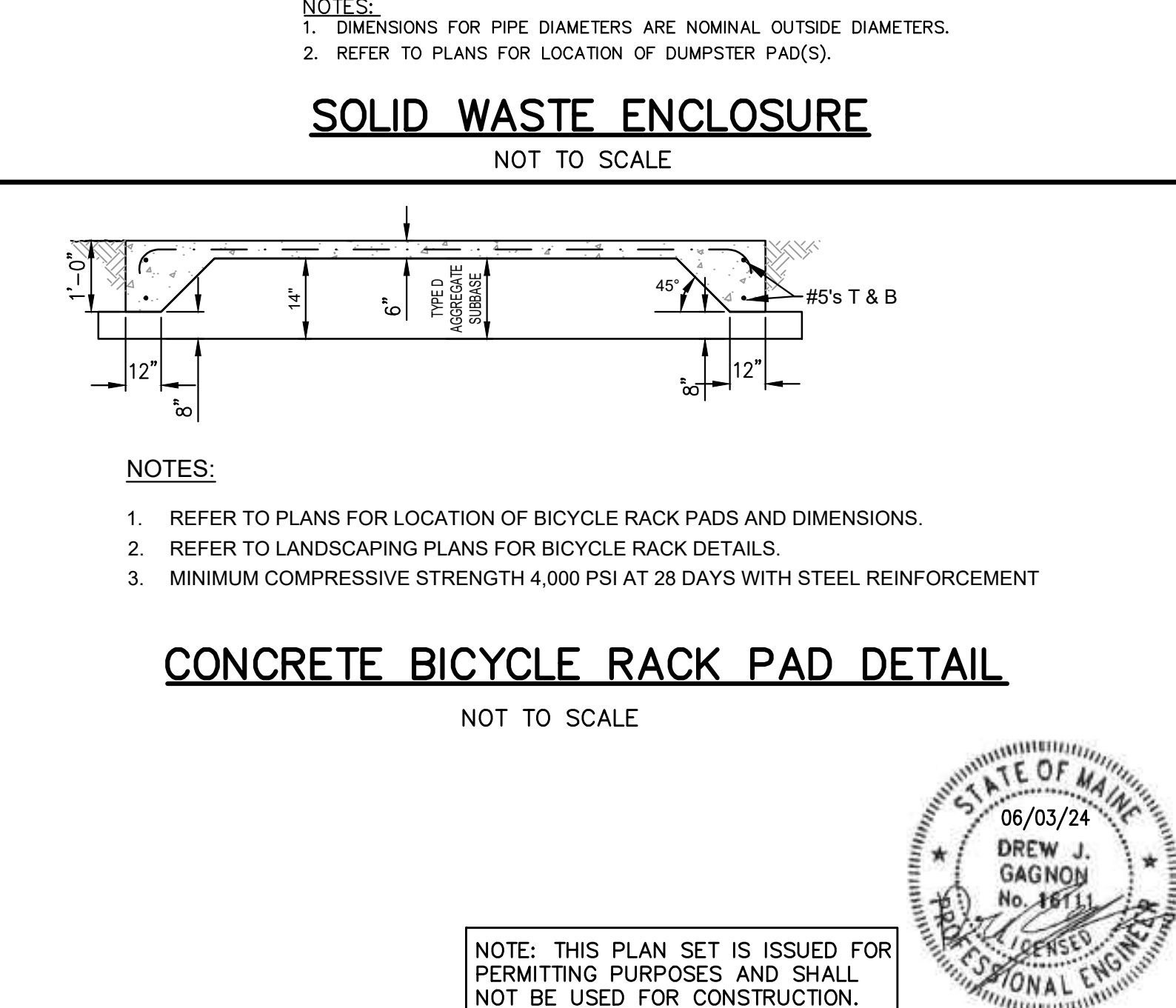
DRIP EDGE FILTER SECTION

NOT TO SCALE



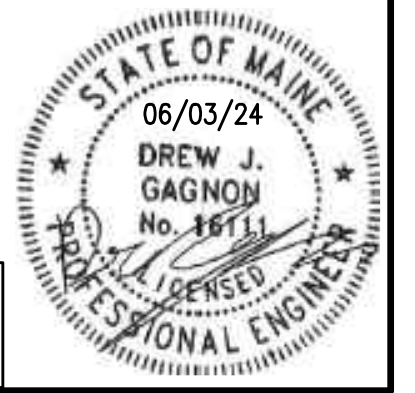
PAVER SECTION DETAIL

NOT TO SCALE



CONCRETE BICYCLE RACK PAD DETAIL

NOT TO SCALE



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Rev.	Date	Revision

Site and Subdivision Application	06/03/24	DJG
Response to MDEP Comments	04/08/24	DJG
Major Subdivision Preliminary Application	04/01/24	DJG
SLDA Response to Comments	01/17/24	DJG
SLDA Submission	10/6/23	DJG
Sketch Plan Submission	4/17/23	DJG
Issued For	Date	By

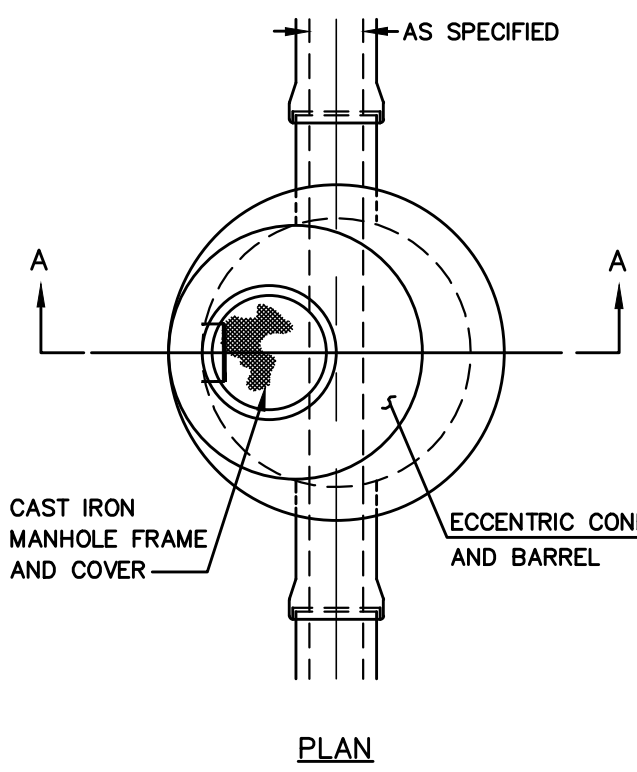
Design: LEL	Draft: CEH	Date: DEC 2022
Checked: DJG	Scale: AS NOTED	Job No.: 3796
File Name: 3796-DET.dwg		
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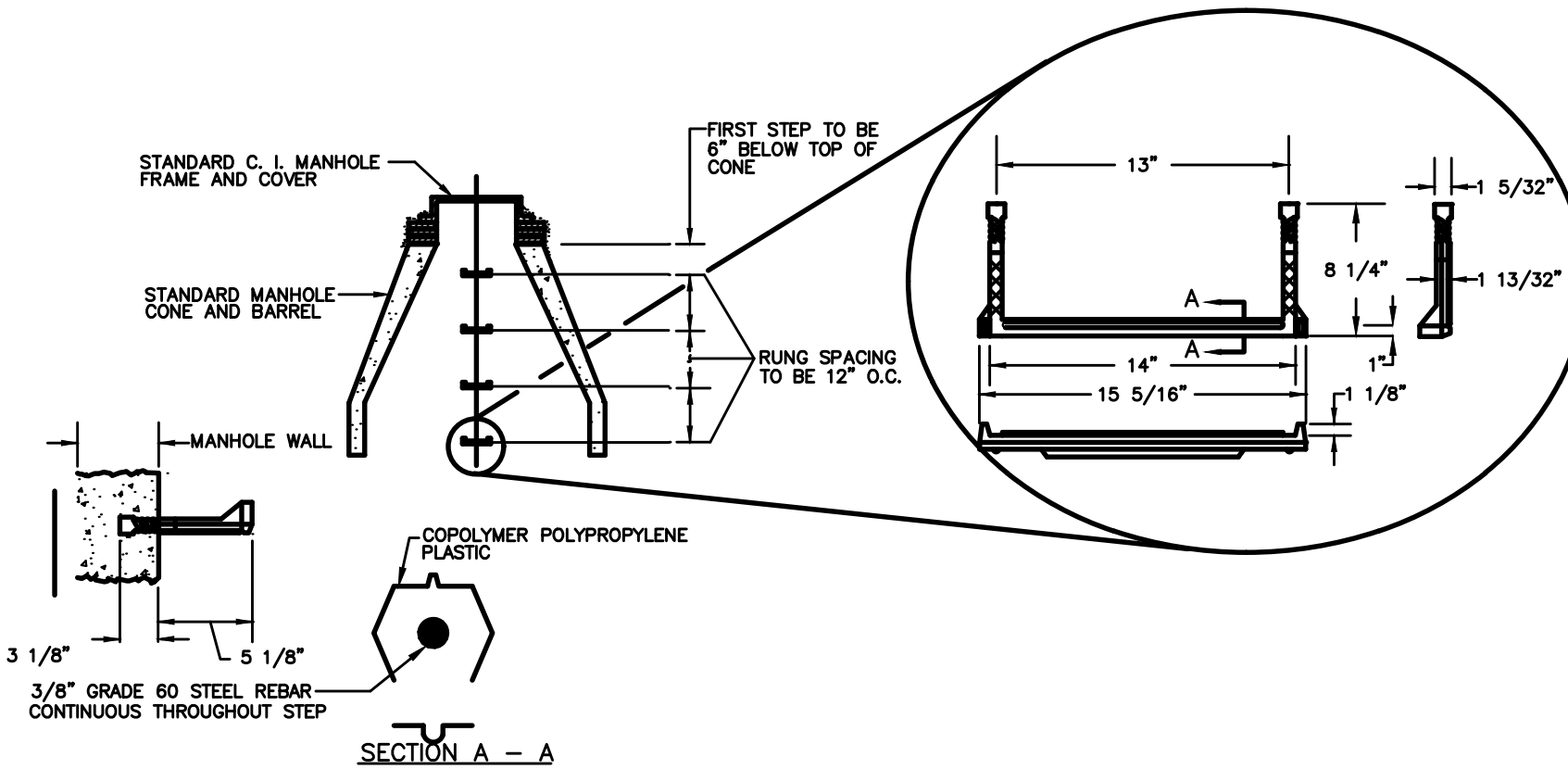
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Drawing Name:	Site & Drainage Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C402



PLAN

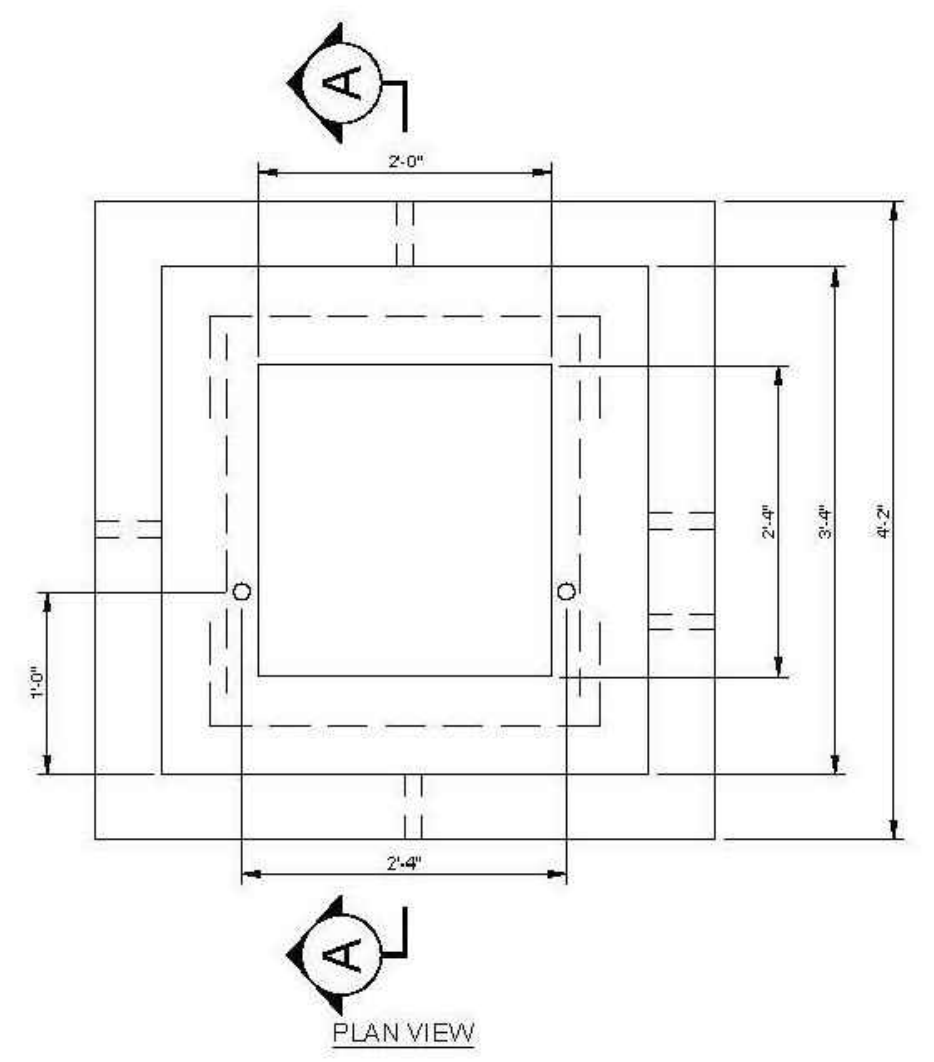


PLASTIC MANHOLE STEPS

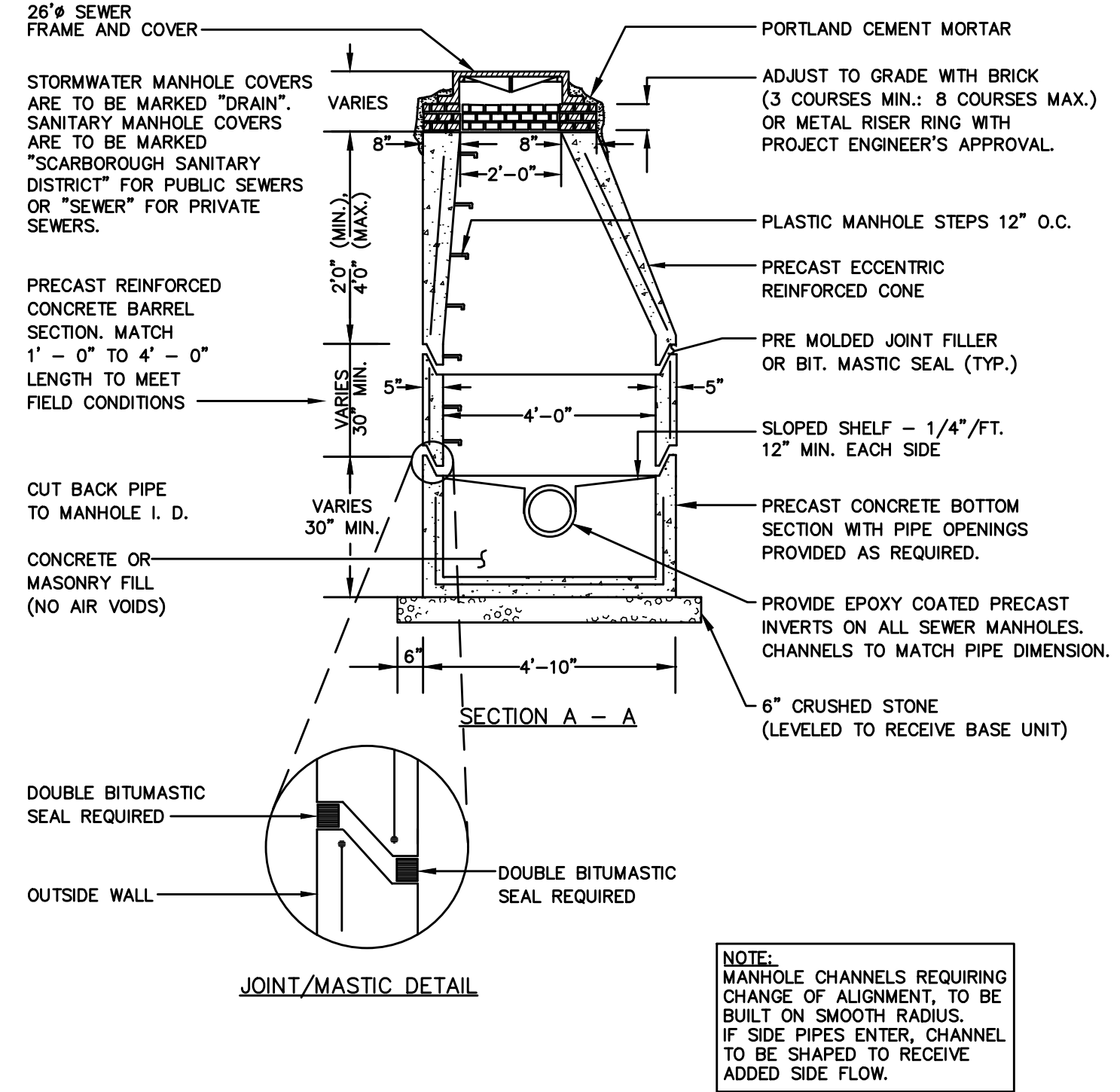
NOT TO SCALE

GENERAL SEWER NOTES:

1. ALL MANHOLES TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE CLASS "AA" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
2. PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-478-87
3. ALL MANHOLES SHALL HAVE TWO COATS OF BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE.
4. MANHOLE LEAKAGE TESTING IS REQUIRED IN ACCORDANCE WITH THE SANITARY DISTRICT REQUIREMENTS.
5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35.
6. NO HOLES ARE ALLOWED ON SEWER MANHOLE COVERS.
7. ALL SEWER PIPES USED SHALL PROVIDE FLEXIBLE JOINT WITHIN FOLLOWING DISTANCE:
 - D.I. PIPE - NONE REQUIRED
 - PVC (ASTM 3034) - UP THROUGH 15" DIAMETER - NONE REQUIRED
 - PVC (ASTM F679) - LARGER THAN 15" DIAMETER - 48" TO 60"
 - RCP PIPE - 48"
 - HDPE - SAME AS PVC
8. MINIMUM OF COVER IS 5 FT, OR 4 FT WITH 2 INCHES OF INSULATION.
9. THE RUBBER BOOT FOR THE SEWER PIPE PENETRATION INTO THE MANHOLE SHALL HAVE AT LEAST 2 STAINLESS STEEL CLAMPS.
10. ALL SEWERS (GRAVITY/FORCE MAIN) SHALL HAVE DETECTABLE UNDERGROUND UTILITY MARKING TAPE AND ALL PUBLIC SEWERS SHALL HAVE TRACER WIRE IN ACCORDANCE WITH DISTRICT STANDARDS.
11. ALL SEWERAGE FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WATER RESOURCE RECOVERY DISTRICT (WRD) SPECIFICATIONS.
12. ALL SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE WRD. PRIOR TO THE SSD ALLOWING CONNECTION TO THE SEWER, THE APPLICANT IS REQUIRED TO SUBMIT AN APPLICATION TO CONNECT TO THE SEWER AND TO PAY ALL FEES FOR THE PROPERTY (LOTS) TO BE SERVED.
13. SEWER INSTALLATION SHALL BE OBSERVED BY THE WRD OR THEIR REPRESENTATIVE.
14. NO FOUNDATION DRAINS, ROOF DRAINS, OR OTHER GROUNDWATER OR STORMWATER DRAINAGE CONNECTIONS SHALL BE MADE TO THE SEWER.
15. GRAVITY SEWER LEAKAGE TESTING IS REQUIRED IN ACCORDANCE WITH THE WRD.
16. SEWER DEFLECTION TESTING IS REQUIRED IN ACCORDANCE WITH THE WRD.
17. PROVIDE MINIMUM 48-HOUR NOTICE TO THE SANITARY DISTRICT PRIOR TO ANY SEWER WORK.
18. A CCTV INSPECTION OF THE INSTALLED SEWER IS REQUIRED AT THE COMPLETION OF THE PROJECT.
19. RECORD DRAWINGS SHALL BE PROVIDED TO THE SANITARY DISTRICT UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WRD STANDARDS.
20. SEWER SERVICE TIE SHEETS SHALL BE PROVIDED FOR EACH SERVICE CONNECTION UPON COMPLETION OF THE CONSTRUCTION.



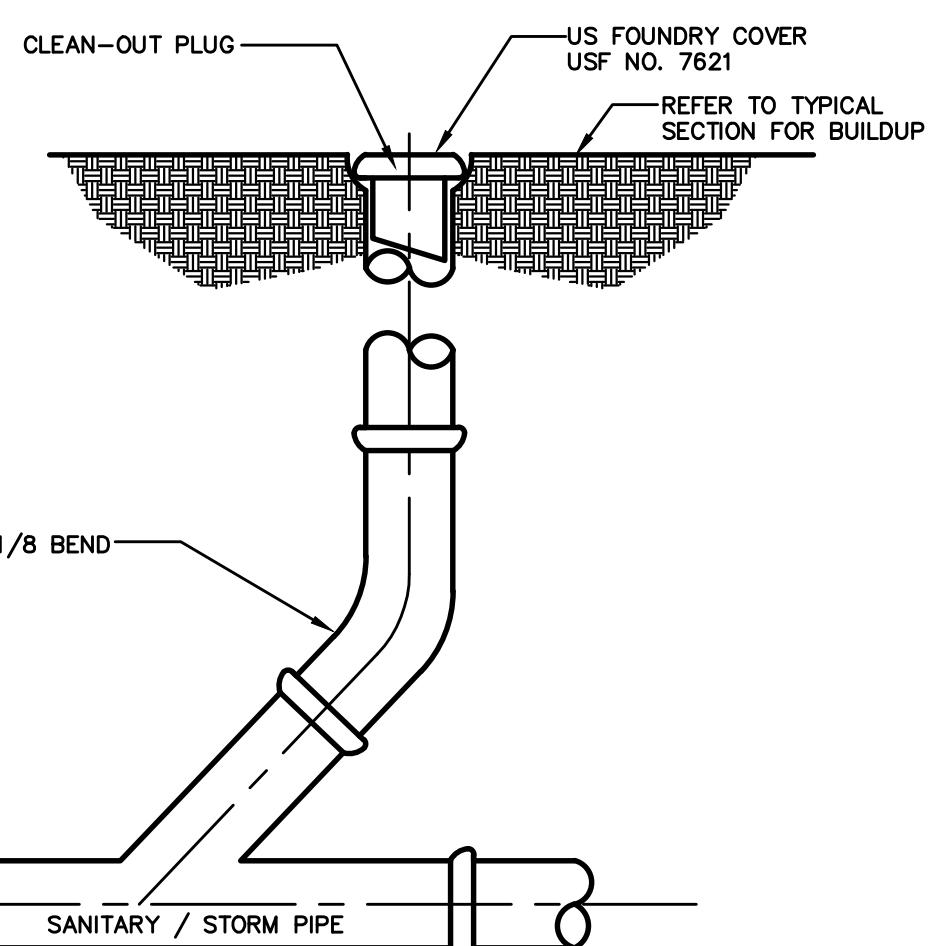
PLAN VIEW



SECTION A - A

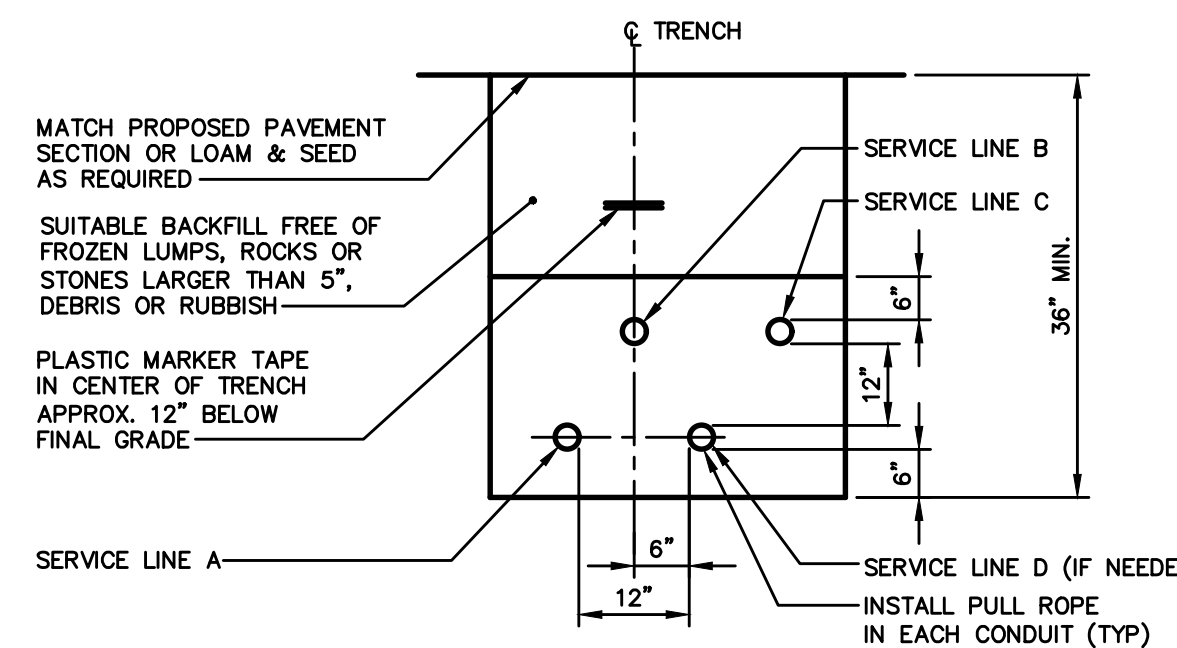
PRECAST CONCRETE SEWER MANHOLE

NOT TO SCALE



CLEANOUT

NOT TO SCALE

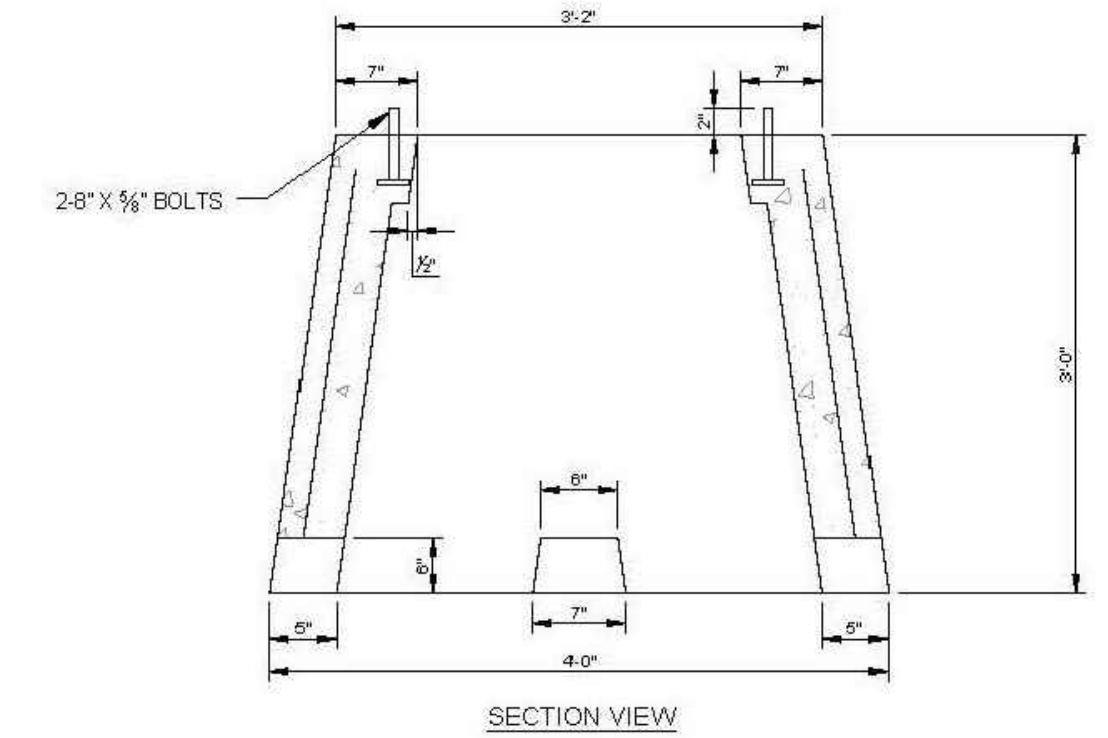


UTILITY TRENCH - PRIMARY AND SECONDARY POWER, TELEPHONE, AND CABLE

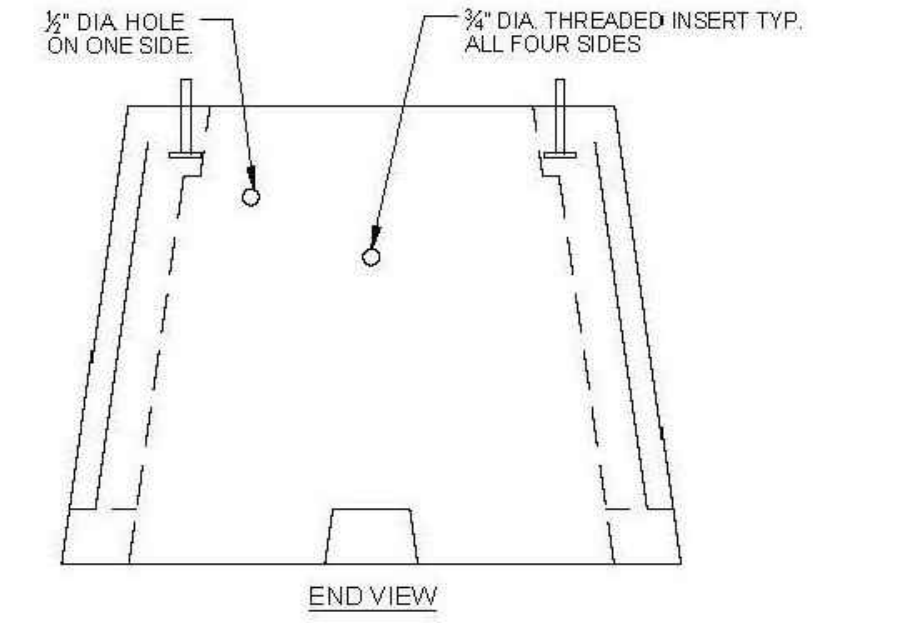
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CONDUIT TYPE SCHEDULE				
SERVICE	CONDUIT SIZE	GRASS & PAVED AREAS	UTILITY	REMARKS
A	2-2.5"	SCHEDULE 40 PVC ELECTRICAL GRADE	PRIMARY POWER	SEE NOTE
B	1"	SCHEDULE 40	TELEPHONE	SEE NOTE
C	1"	SCHEDULE 40	FIBER	SEE NOTE

- NOTES:
- 1) ONE CONDUIT CAPPED FOR SPARE, PROVIDE GALVANIZED STEEL LONG SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10" ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS.
 - 2) REFER TO UTILITY PLAN AND ELECTRICAL PLANS (PREPARED BY ALLIED ENGINEERING) FOR ADDITIONAL CONDUIT SCHEDULE INFORMATION



SECTION VIEW



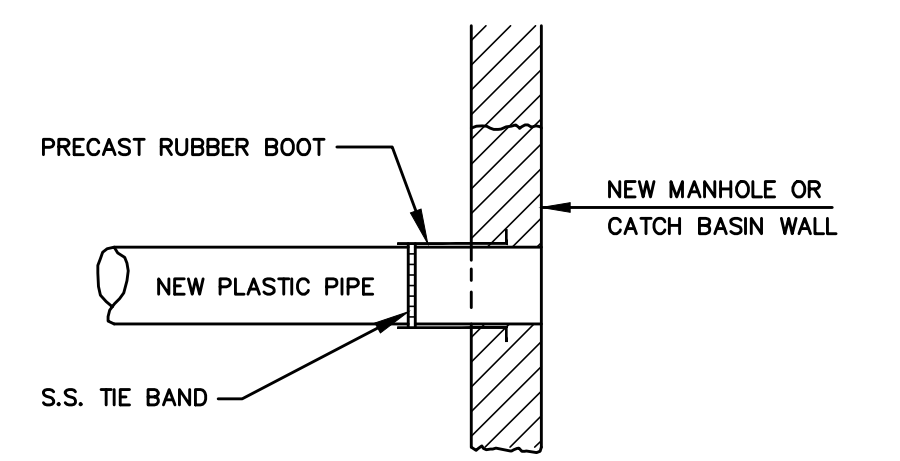
END VIEW

OPTIONAL COVER TO USE AS PULLBOX

- NOTES:
1. CONCRETE MINIMUM COMPRESSIVE STRENGTH 5,000 PSI @ 28 DAYS WITH STEEL REINFORCEMENT
 2. AS PER CENTRAL MAINE POWER COMPANY REQUIREMENTS.
 3. MANUFACTURED BY: SUPERIOR CONCRETE AUBURN, ME 207-784-9144 OR EQUAL

SINGLE PHASE TRANSFORMER PAD

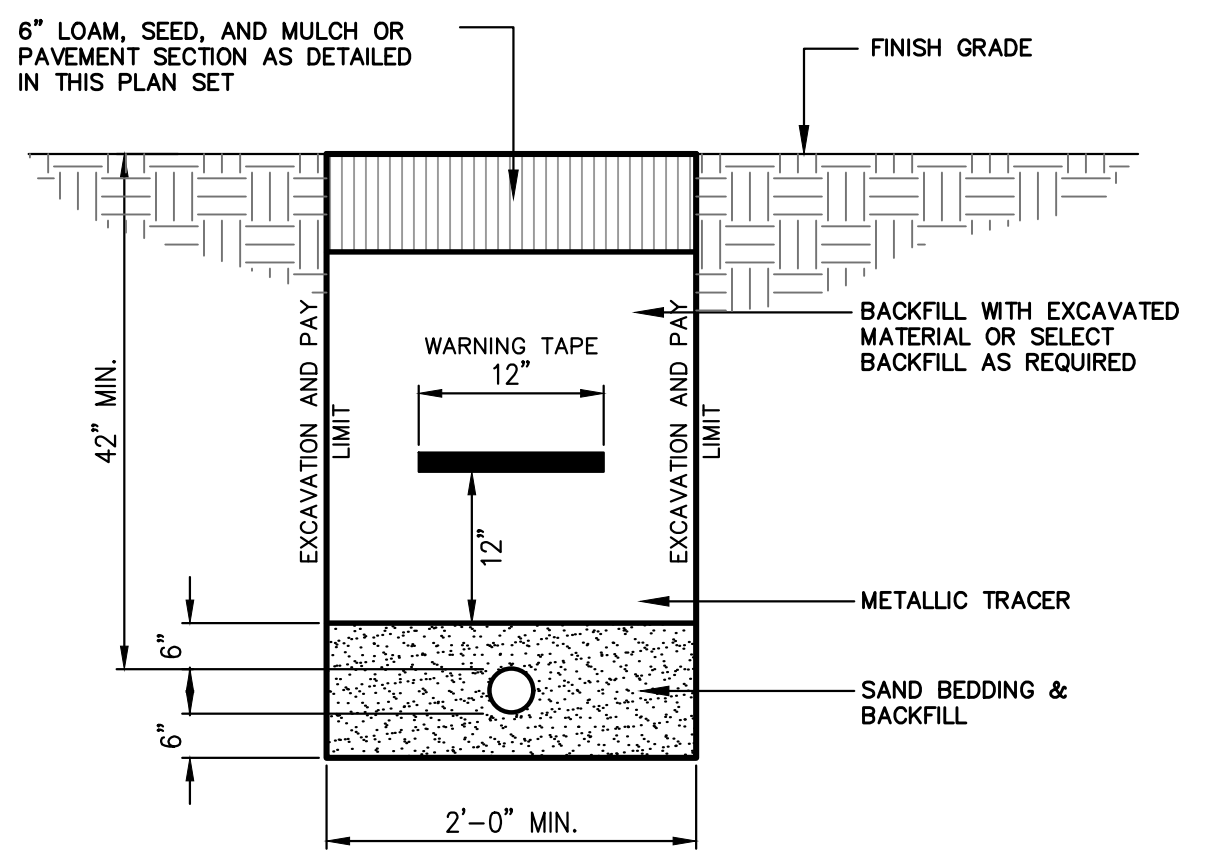
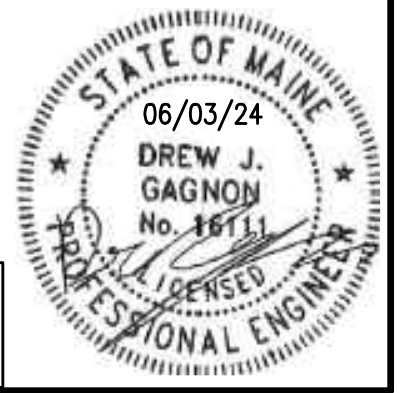
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PLASTIC PIPE CONNECTIONS

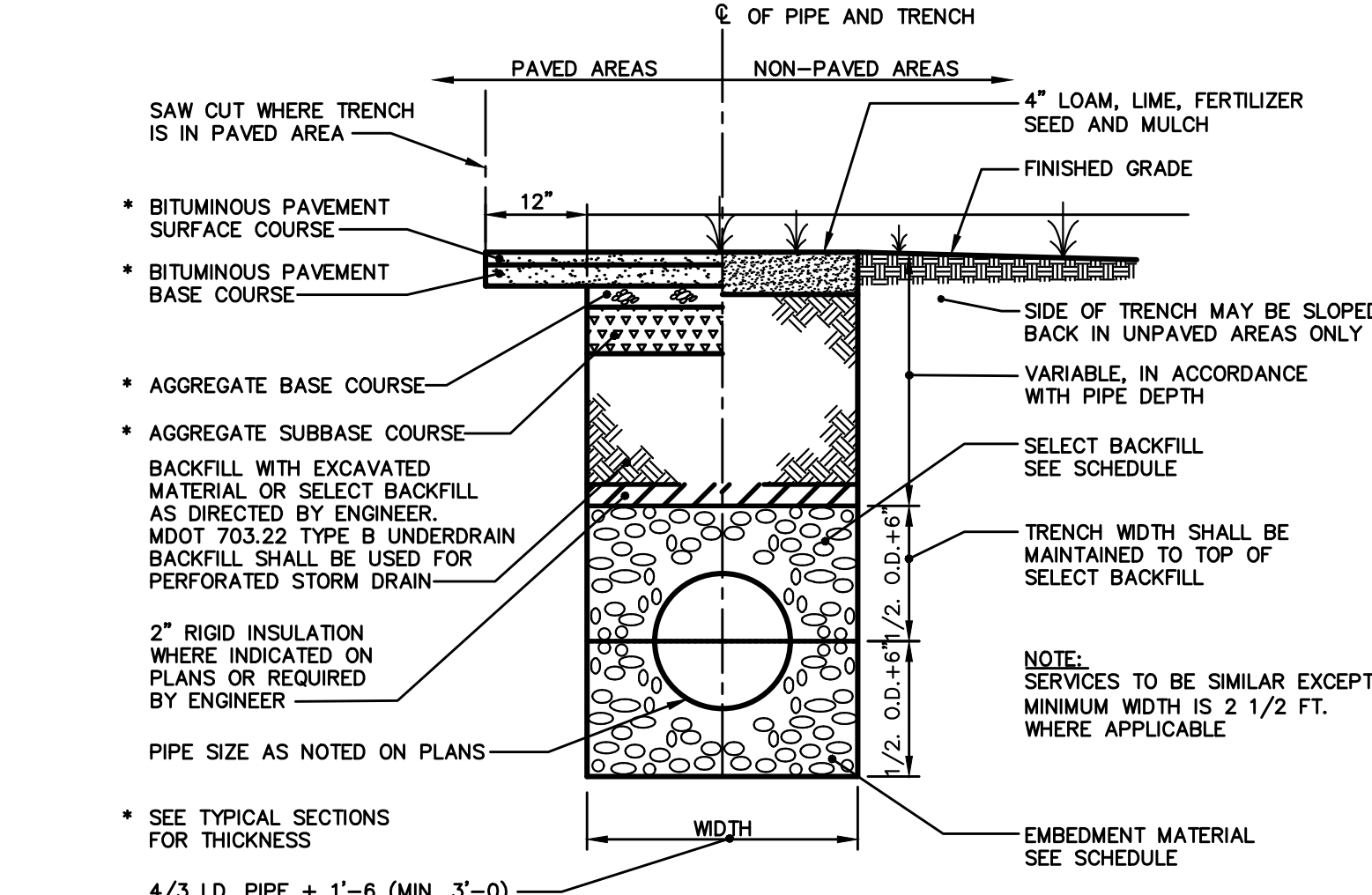
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GAS SERVICE TRENCH SECTION

NOT TO SCALE



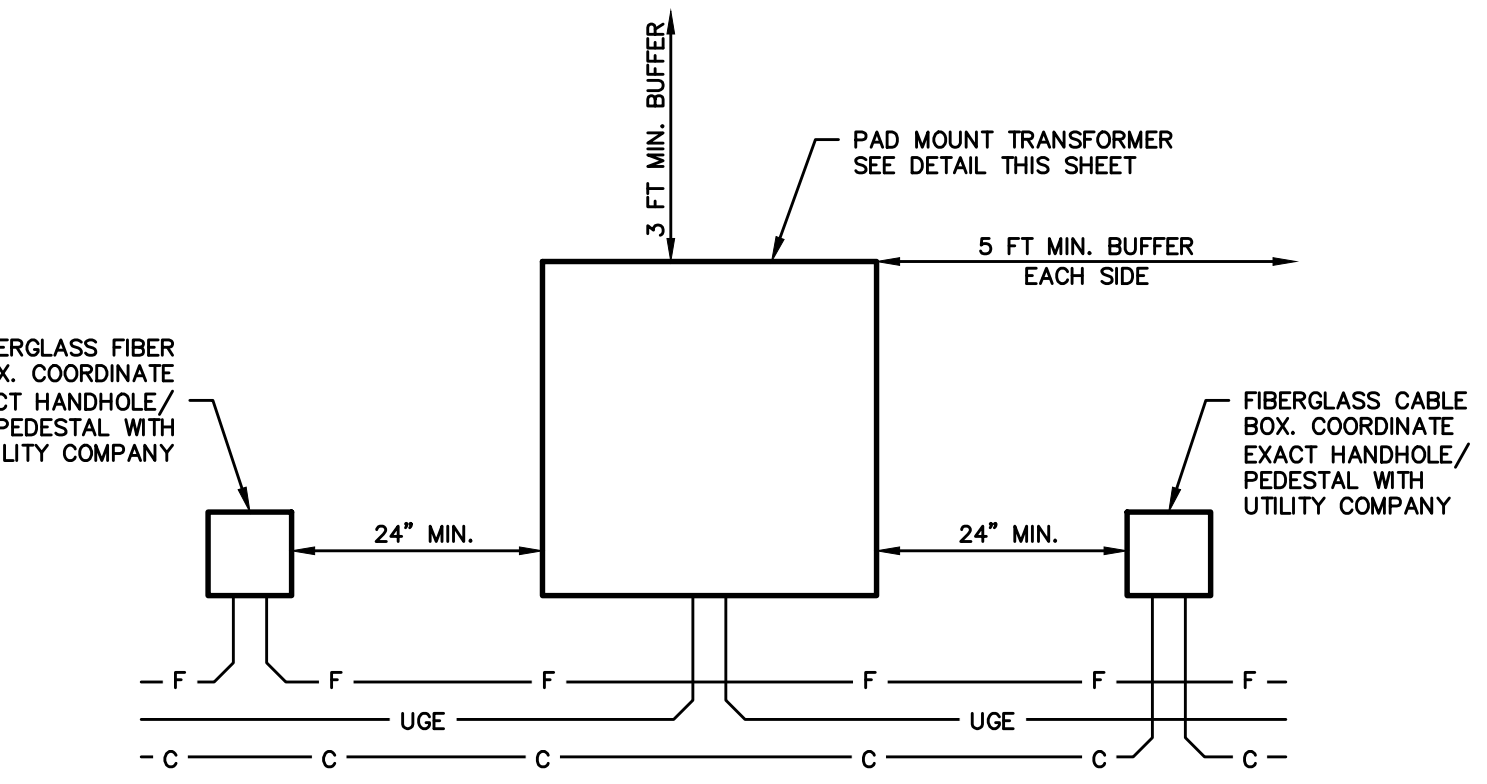
TRENCH SECTION

NOT TO SCALE

SCHEDULE OF TRENCH BACKFILL		
TYPE OF PIPE	EMBEDMENT MATERIAL	SELECT BACKFILL
CMP DUCTILE IRON RCP	MDOT 703.22 TYPE B UD BACKFILL	MDOT 703.22 TYPE B UD BACKFILL
PVC-SDR 35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C UD BACKFILL
PERFORATED PVC-SDR35 HDPE	MDOT 703.22 TYPE C 3/4" CRUSHED STONE	MDOT 703.22 TYPE C UD BACKFILL

MINIMUM COVER	PIPE
2'-0"	DRAIN (1)
5'-5"	WATER
5'-0"	SEWER

- (1) COVER BETWEEN 2' AND 3' SHALL INCLUDE 4" RIGID INSULATION. COVER BETWEEN 3' AND 4' SHALL INCLUDE 2" RIGID INSULATION.
- (2) SEWER PIPE SHALL HAVE DETECTABLE UNDERGROUND UTILITY MARKING TAPE AND TRACER WIRE IN ACCORDANCE WITH SCARBOROUGH SANITARY DISTRICT STANDARDS.



TYPICAL TRANSFORMER PAD LAYOUT DETAIL

NOT TO SCALE

- NOTES:
1. SEE CABLE AND FIBER STANDARDS FOR PEDESTAL SIZING REQUIREMENTS.
 2. DETAIL SHOWN FOR TRANSFORMER AND PEDESTAL BOX LAYOUT PURPOSES. SEE UTILITY TRENCH DETAIL FOR CONDUIT LAYOUT, SCHEDULE AND SIZING.
 3. BONDING AND GROUNDING WIRES NOT SHOWN FOR CLARITY. REFER TO CMP HANDBOOK FOR ELECTRICAL DETAILS.

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Rev.	Date	Revision

Site and Subdivision Application	06/03/24	DJG
Response to MDEP Comments	04/08/24	DJG
Major Subdivision Preliminary Application	04/01/24	DJG
SLDA Response to Comments	01/17/24	DJG
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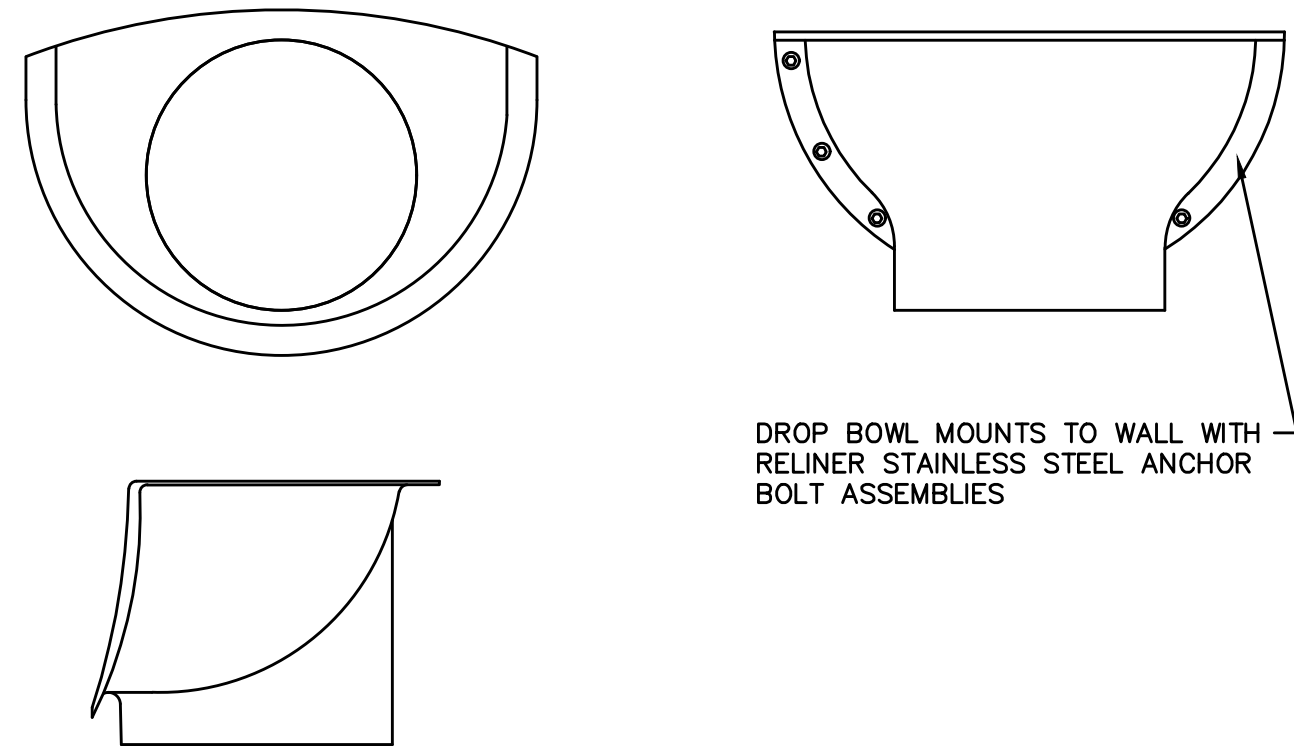
Design: LEL Draft: CEH Date: DEC 2022
 Checked: DJG Scale: AS NOTED Job No.: 3796
 File Name: 3796-DET.dwg
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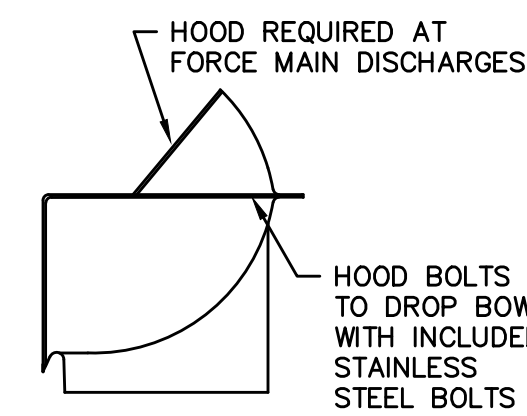
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Drawing Name:	Utility Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

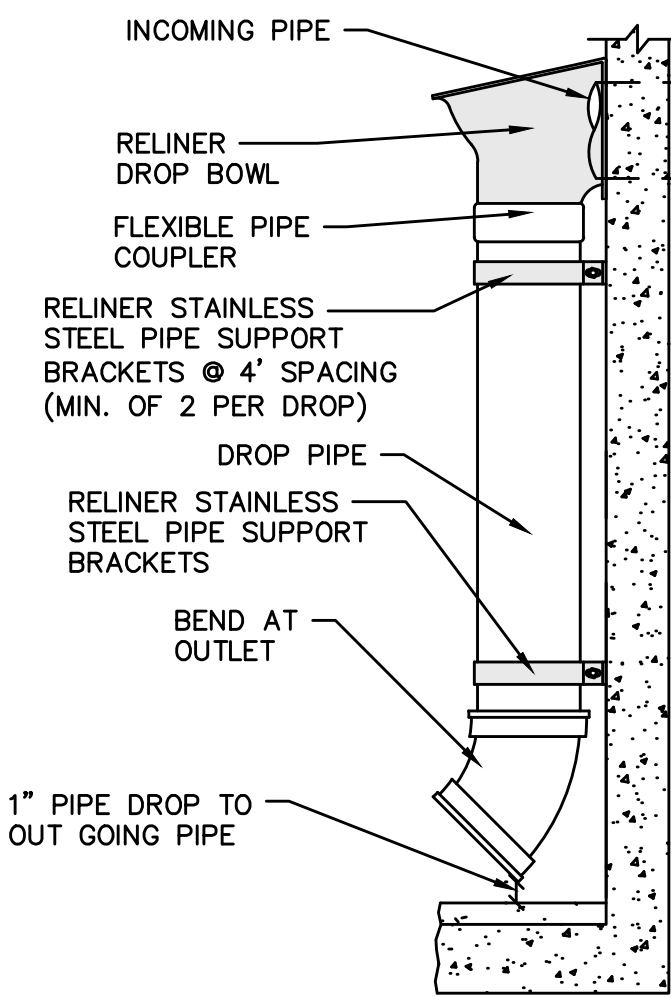
Drawing No.
C403



DROP BOWL MOUNTS TO WALL WITH RELINER STAINLESS STEEL ANCHOR BOLT ASSEMBLIES



HOOD REQUIRED AT FORCE MAIN DISCHARGES
HOOD BOLTS TO DROP BOWL WITH INCLUDED STAINLESS STEEL BOLTS



1" PIPE DROP TO OUT GOING PIPE

DROP MANHOLE
NOT TO SCALE

No. OF DROPS	PIPE DIA.	REQUIRED MANHOLE
1	≤10"	MIN. 5'-0" DIAMETER (COORDINATE WITH SSD FOR MORE THAN 1 DROP)

DROP BOWL DIMENSIONS

SERIES	DROP PIPE DIAMETER			ANCHOR BOLT QUANTITY & TYPE
	WIDTH "A"	DEPTH "B"	HEIGHT "C"	
A4	4"	12"	9.5"	4 - 1" TAMP-IN
A6	6"	12"	11.1"	4 - 1" TAMP-IN
B8	8"	18"	13.0"	4 - 1" TAMP-IN
B10	10"	18"	13.5"	4 - 1" TAMP-IN

NOTES:

- INSIDE DROP BOWL SHALL BE A RELINER DROP BOWL AS MANUFACTURED BY DURAN, INC.
- RELINER INSIDE DROP BOWLS ARE FABRICATED IN MARINE GRADE FIBERGLASS AND FINISHED IN BRIGHT WHITE GEL COAT.
- USE RELINER STAINLESS STEEL PIPE BRACKETS TO SUPPORT DROP PIPE. EXTERNAL PIPE COUPLER REQUIRED. PROVIDE SWEEP AT DROP PIPE OUTLET.

THRUST BLOCK SCHEDULE
MINIMUM BEARING AREA
(SQUARE FEET)

Nominal Dia. (in.)	PIPE SIZE							
	4	6	8	10	12	16	20	24
Tees, Caps, Plugs, & Tapping Sleeves	1.05	2.32	4.15	6.37	9.15	16.23	25.44	36.58
90 Degree Bends	1.48	3.29	5.86	9.01	12.93	22.96	35.97	51.73
45 Degree Bends	0.80	1.78	3.17	4.88	7.00	12.42	19.47	28.00
22½ Degree Bends	0.41	0.91	1.62	2.49	3.57	6.33	9.92	14.27
11¼ Degree Bends	0.21	0.46	0.81	1.25	1.79	3.18	4.99	7.17

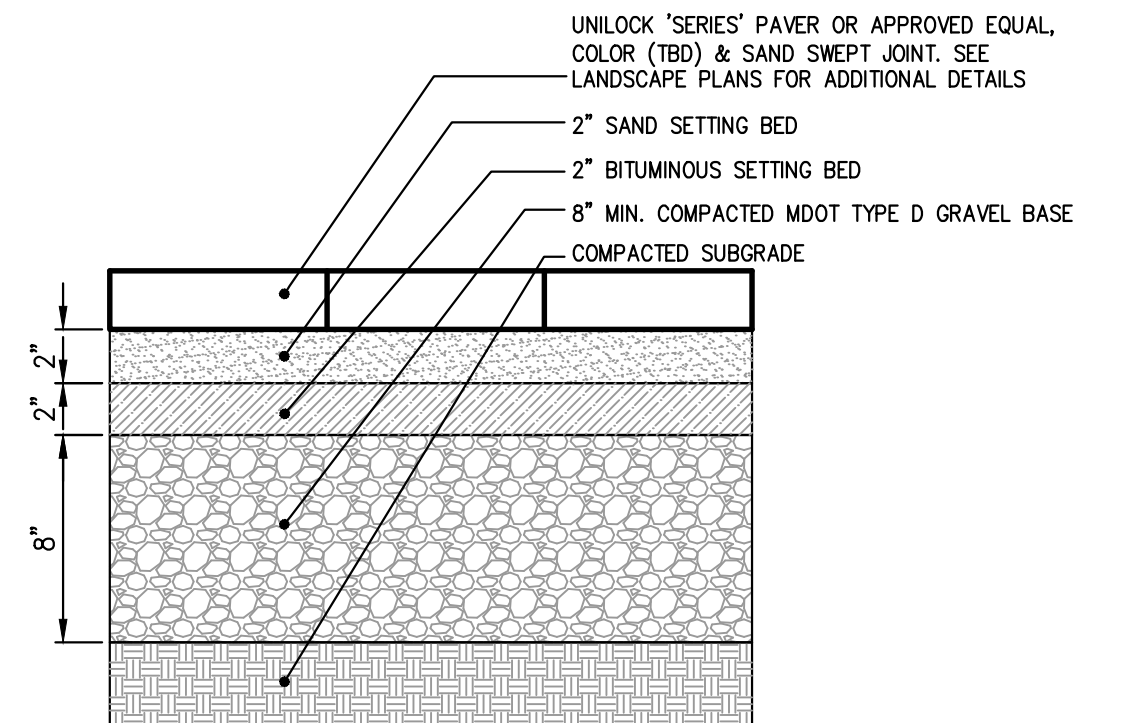
System Pressure: 100 psi
Safety Factor: 1.5
Soil Bearing Capacity: 2,000 psf

THRUST BLOCK NOTES:

- THE MINIMUM BEARING AREAS SHOWN ABOVE ARE BASED ON A SYSTEM PRESSURE OF 100 PSI. IF THE SYSTEM PRESSURE IS ABOVE 100 PSI, INCREASE THE NOTED AREAS PROPORTIONAL TO THE ACTUAL SYSTEM PRESSURE. FOR EXAMPLE, IF THE ACTUAL SYSTEM PRESSURE IS 160 PSI, MULTIPLY THE ABOVE VALUES BY 160%.
- PLACE THRUST BLOCKS SUCH THAT THE LENGTH (L) OF THE BLOCK IS APPROXIMATELY TWICE AS LONG AS THE DEPTH (D).
- PLACE THRUST BLOCKS AGAINST UNDISTURBED SOIL.
- PLACE THRUST BLOCKS ALONG THE FULL LENGTH OF THE FITTING TO MAXIMIZE BEARING AREA.
- PLACE 2 LAYERS OF POLYETHYLENE OR ROOFING PAPER AROUND FITTINGS PRIOR TO PLACEMENT OF THE CONCRETE TO CREATE A BOND BREAK & PROTECT THE BOLTS.
- PLACE A SOLID CONCRETE BLOCK BETWEEN CAP/PLUGS AND THRUST BLOCKS.
- PLACE A 12" LONG STEEL HORSESHOE-SHAPED PICKUP HOOK IN ALL PLUG AND CAP THRUST BLOCKS. DIAMETER OF HOOK SHALL BE A MINIMUM OF 5/8".
- USE OF THRUST BLOCKS DOES NOT ELIMINATE THE REQUIREMENT OF RETAINER GLANDS.
- THRUST BLOCKS ARE REQUIRED ON ALL FITTINGS.
- COAT ALL THREADED RODS, NUTS, AND BOLTS WITH BITUMINOUS PAINT.
- ALL THRUST BLOCKS SHALL BE CAST-IN-PLACE CONCRETE UNLESS NOTED OTHERWISE.

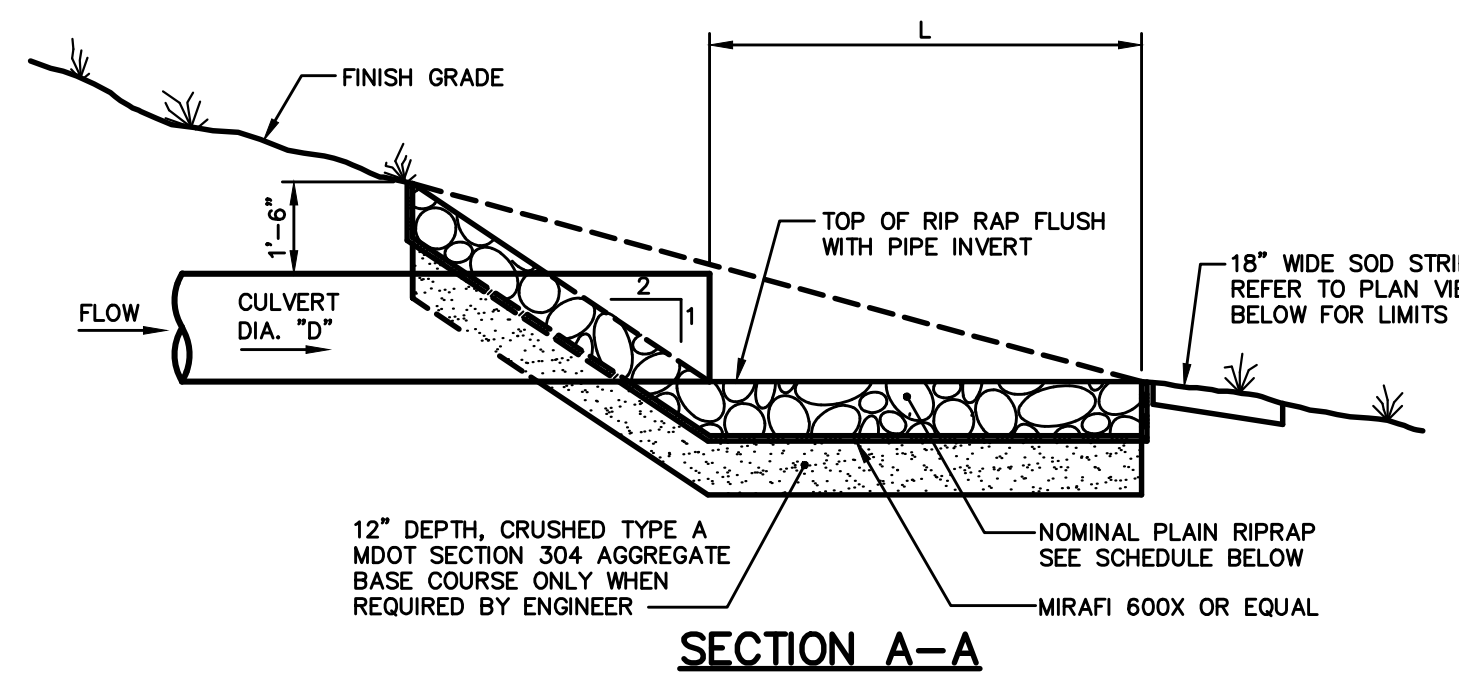
TYPICAL THRUST BLOCK DETAILS

NOT TO SCALE



PEDESTRIAN RATED PAVER
SECTION DETAIL

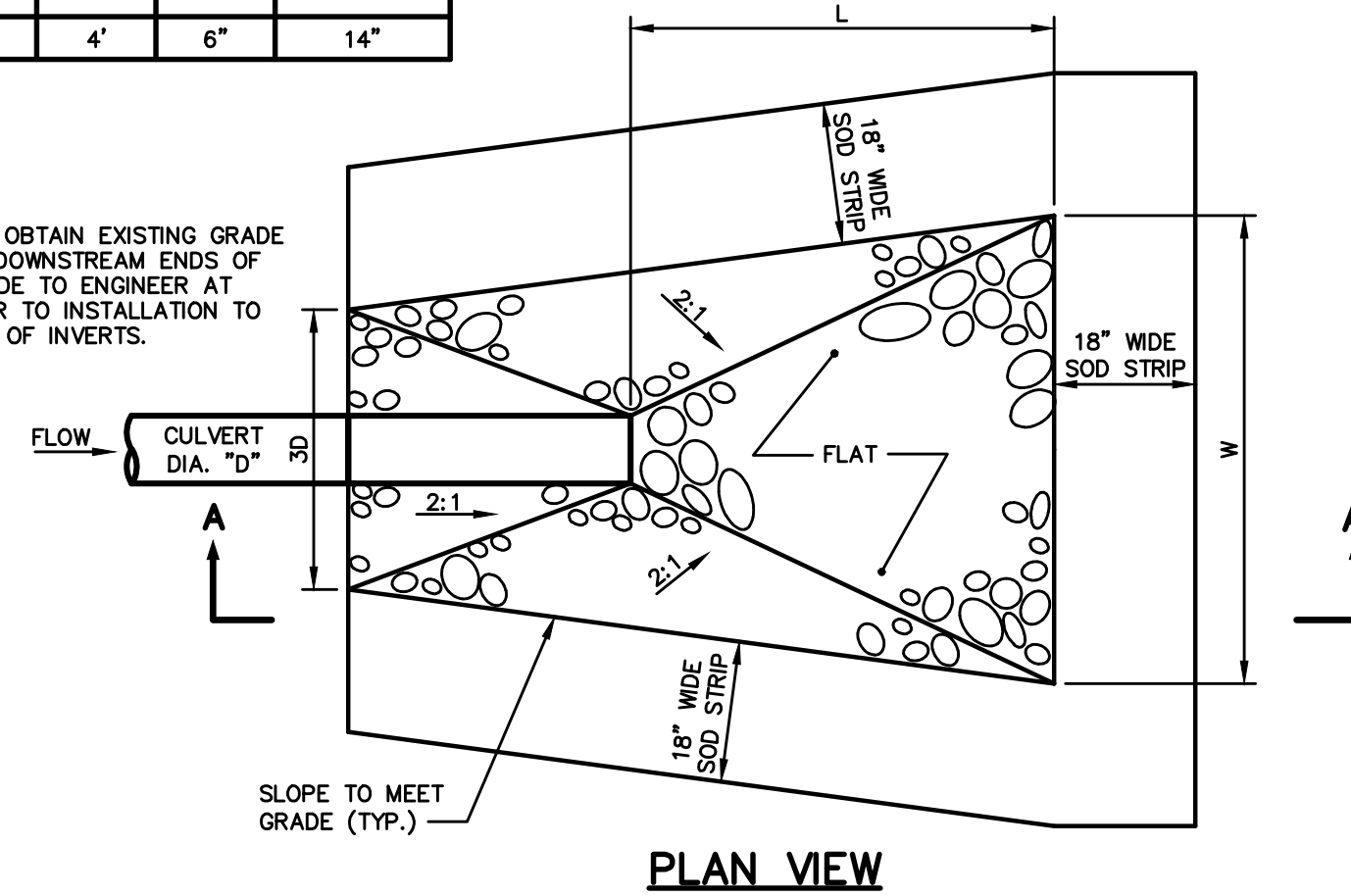
NOT TO SCALE



SECTION A-A

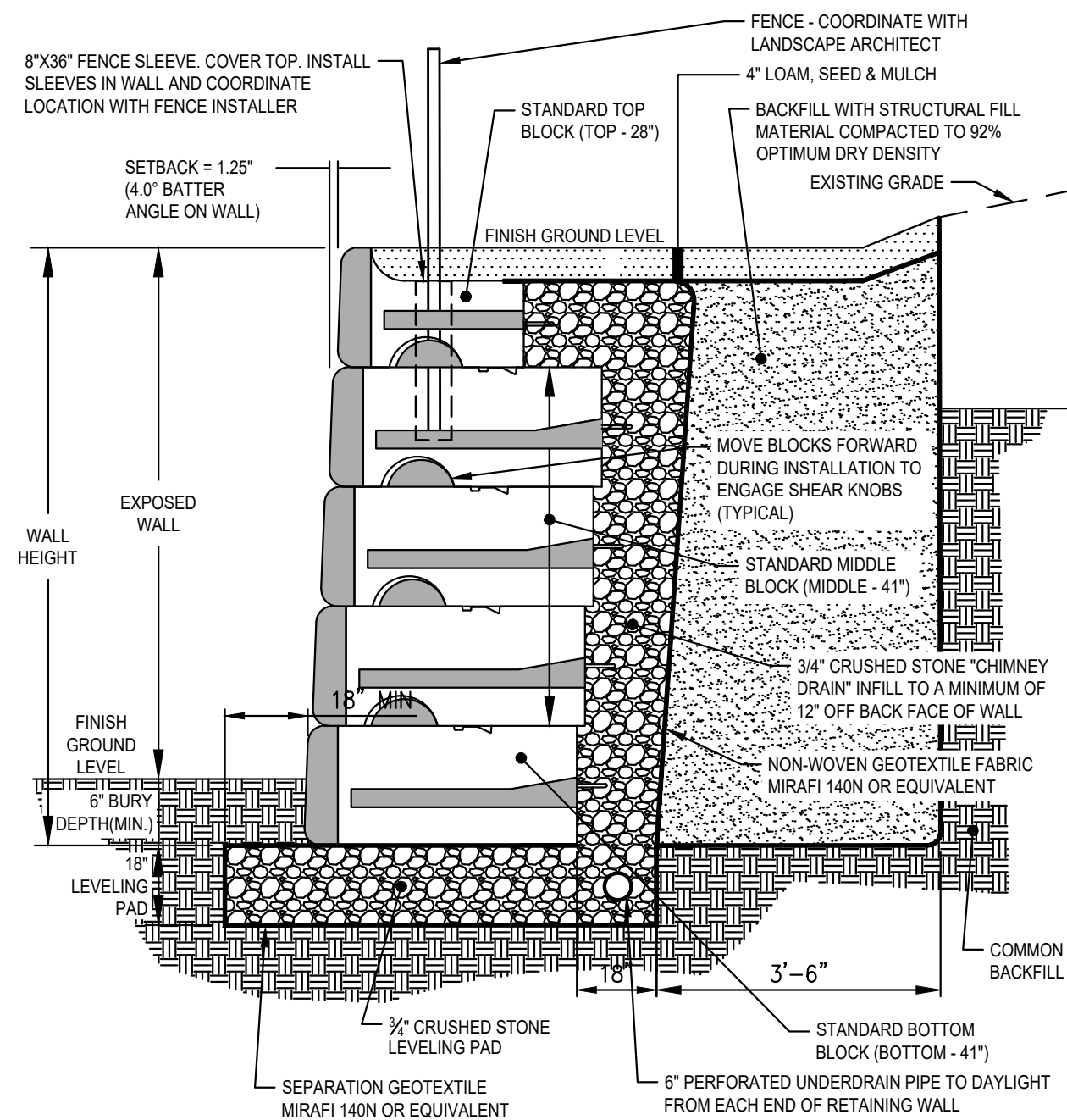
SCHEDULE				
CULVERT DIAMETER (D)	LENGTH (L)	WIDTH (W)	STONE #50	RIPRAP THICKNESS
6"	4"	4'	6"	14"

NOTE: CONTRACTOR SHALL OBTAIN EXISTING GRADE AT UPSTREAM AND DOWNSTREAM ENDS OF CULVERT AND PROVIDE TO ENGINEER AT LEAST 7 DAYS PRIOR TO INSTALLATION TO ALLOW VERIFICATION OF INVERTS.



PLAN VIEW

CULVERT OUTLET APRON
NOT TO SCALE



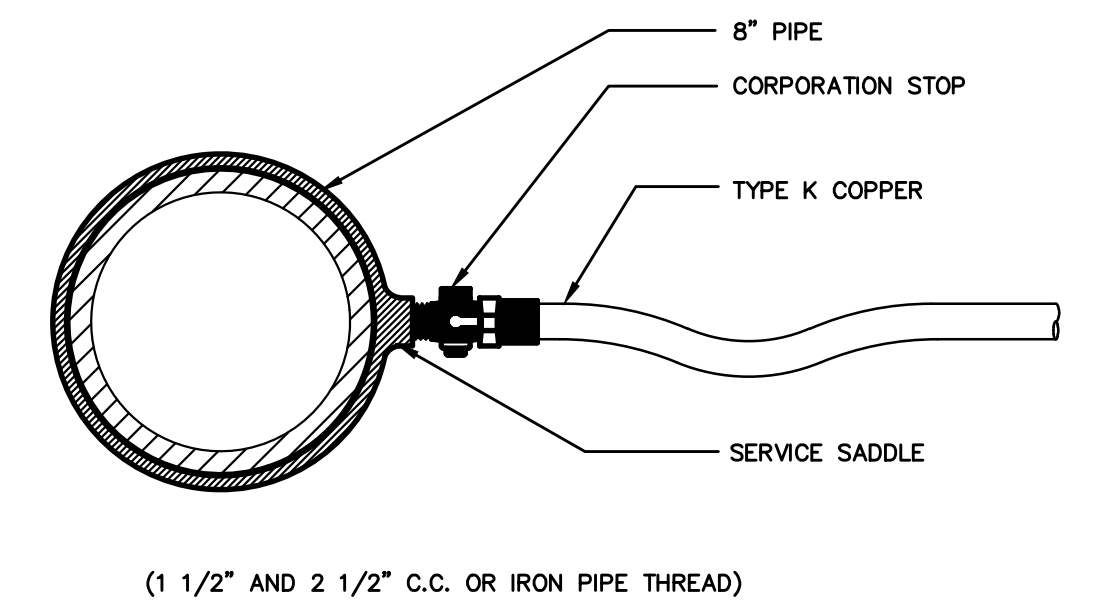
LARGE BLOCK RETAINING WALL TYPICAL SECTION & NOTES
NOT TO SCALE

NOTES:

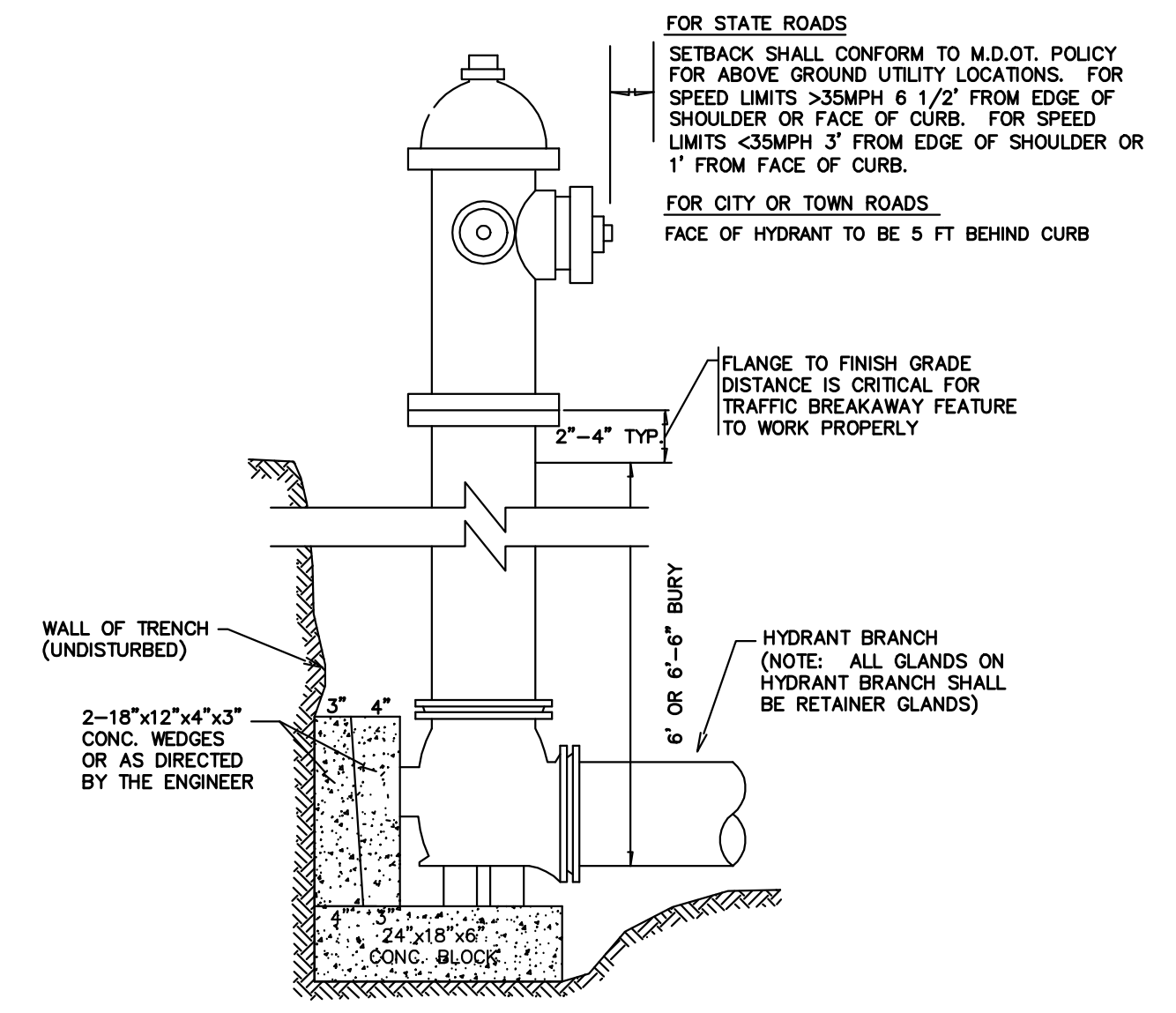
- RETAINING WALL MATERIAL SHALL BE REDI-ROCK (OR APPROVED EQUAL) LARGE BLOCK SEGMENTAL CONCRETE UNIT MASONRY RETAINING WALL SYSTEM WITH LEDGESTONE TEXTURED FINISH.
- LARGE BLOCK SEGMENTAL CONCRETE UNIT MASONRY RETAINING WALLS REQUIRE UNDERDRAIN, CRUSHED STONE INFILL AND GRANULAR BORROW BACKFILL.
- THE APPLIED FACTORED BEARING PRESSURE FOR PRECAST CONCRETE BLOCK GRAVITY WALL SHALL NOT EXCEED 3.0 KSF FOR UNREINFORCED WALL.
- ALL BLOCKS AT THE ENDS OF THE WALL(S) MUST BE FINISHED ON THREE SIDES: THE FRONT, THE TOP AND THE EXPOSED END. BLOCKS WITH EXPOSED SURFACES AT THE ENDS AND TOP OF THE WALL MUST BE MANUFACTURED FOR THIS PURPOSE AND MUST BE FINISHED TO MATCH THE FACE OF THE WALLS.
- PIPED DRAINAGE SHALL BE INCLUDED IN THE DESIGN OF THE WALLS.
- A MINIMUM EMBEDMENT DEPTH OF 6" IS REQUIRED IN THE DESIGN AND CONSTRUCTION OF THE PRECAST CONCRETE BLOCK GRAVITY WALL.
- THE FACE QUALITY OF PRECAST CONCRETE BLOCK WALL WILL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF RETAINING WALL DESIGN INCLUDING GLOBAL STABILITY STAMPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MAINE, FOR ALL RETAINING WALLS.

NOTES:

- SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR 'GOOSENECK' IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND 'GIVE' TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION.
- CONFORM TO MATERIALS AND REQUIREMENTS SPECIFIED BY PORTLAND WATER DISTRICT.

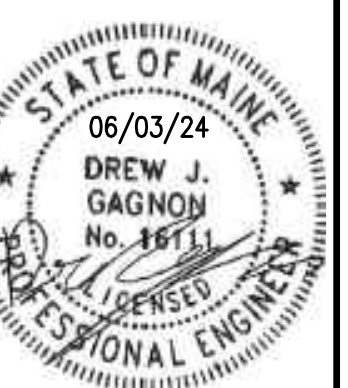


WATER SERVICE
NOT TO SCALE



HYDRANT INSTALLATION DETAIL
NOT TO SCALE

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Rev.	Date	Revision

Site and Subdivision Application	06/03/24	DJG
Response to MDEP Comments	04/08/24	DJG
Major Subdivision Preliminary Application	04/01/24	DJG
SLDA Response to Comments	01/17/24	DJG
SLDA Submission	10/6/23	DJG
Sketch Plan Submission	4/17/23	DJG
Issued For	Date	By

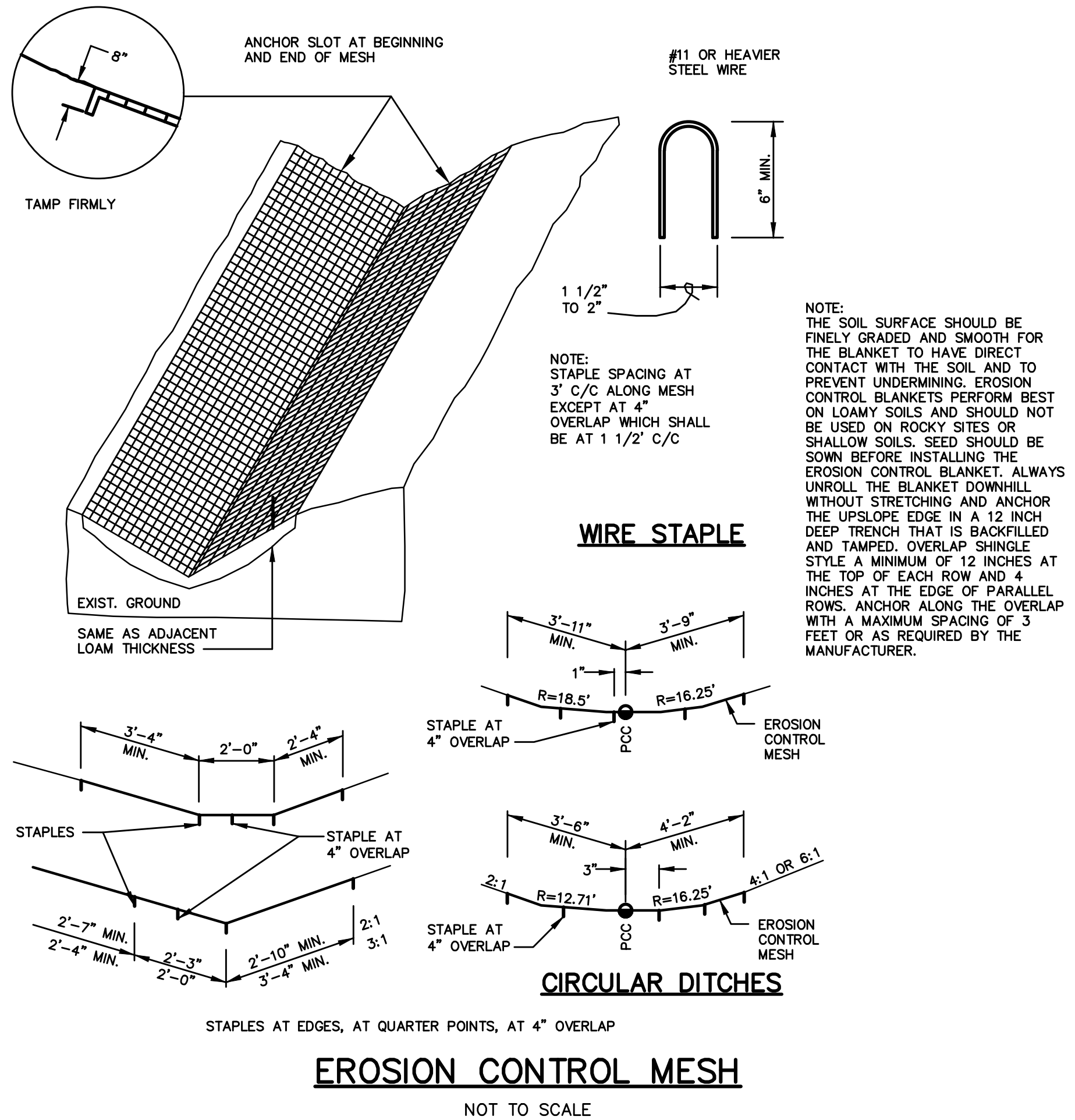
Design: LEL	Draft: CEH	Date: DEC 2022
Checked: DJG	Scale: AS NOTED	Job No.: 3796
File Name: 3796-DET.dwg		
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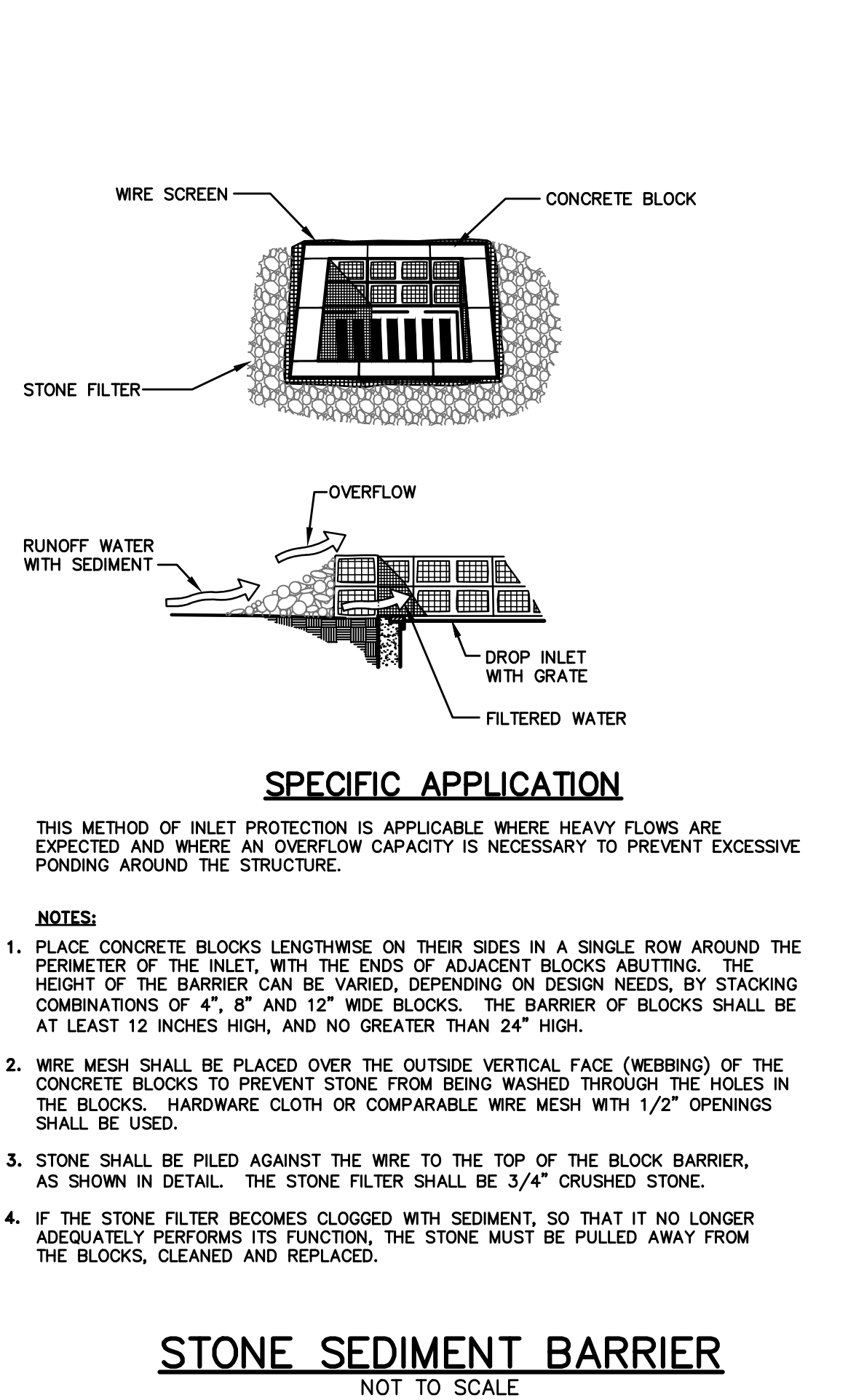
Drawing Name:	Utility Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C404



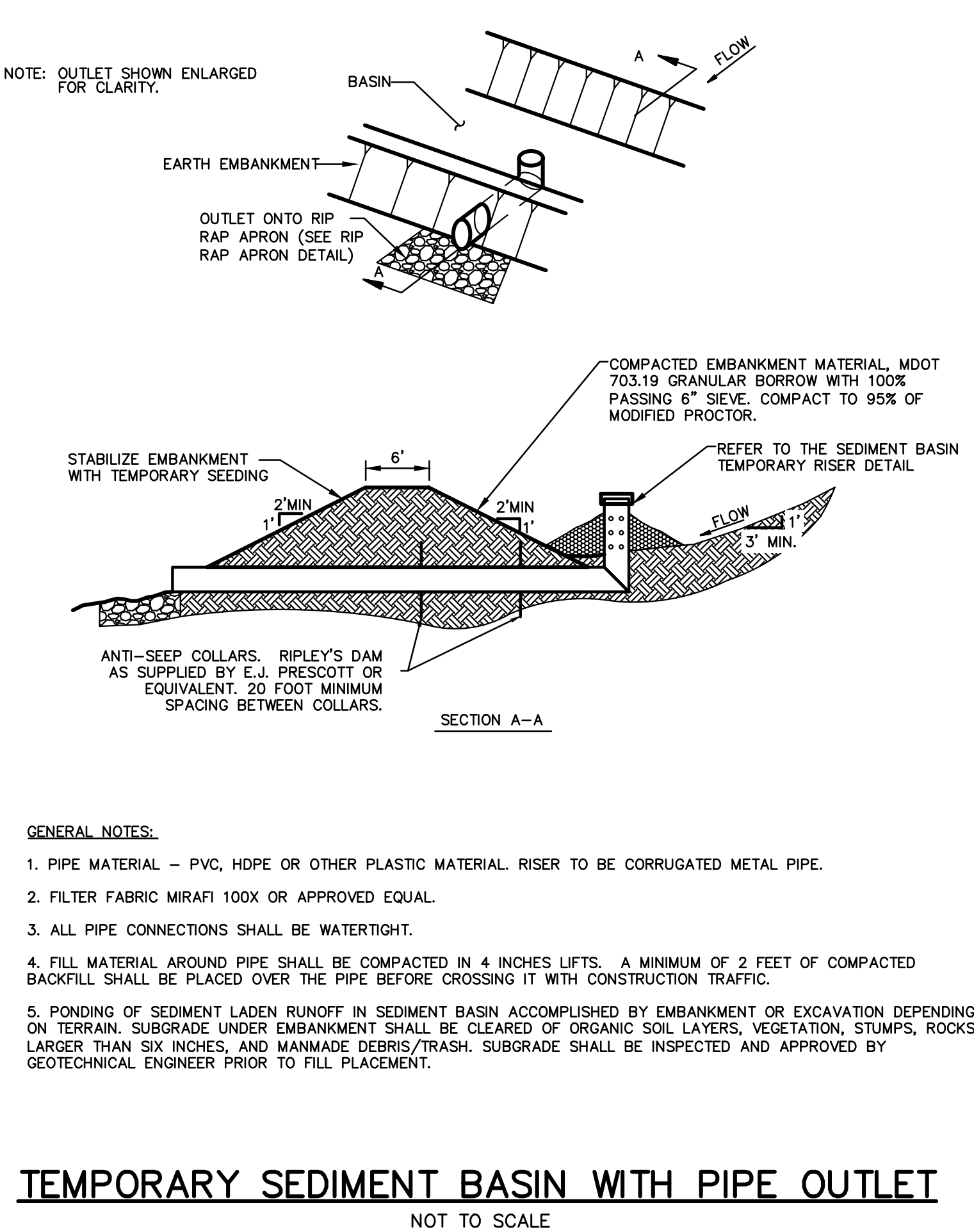
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NOT TO SCALE



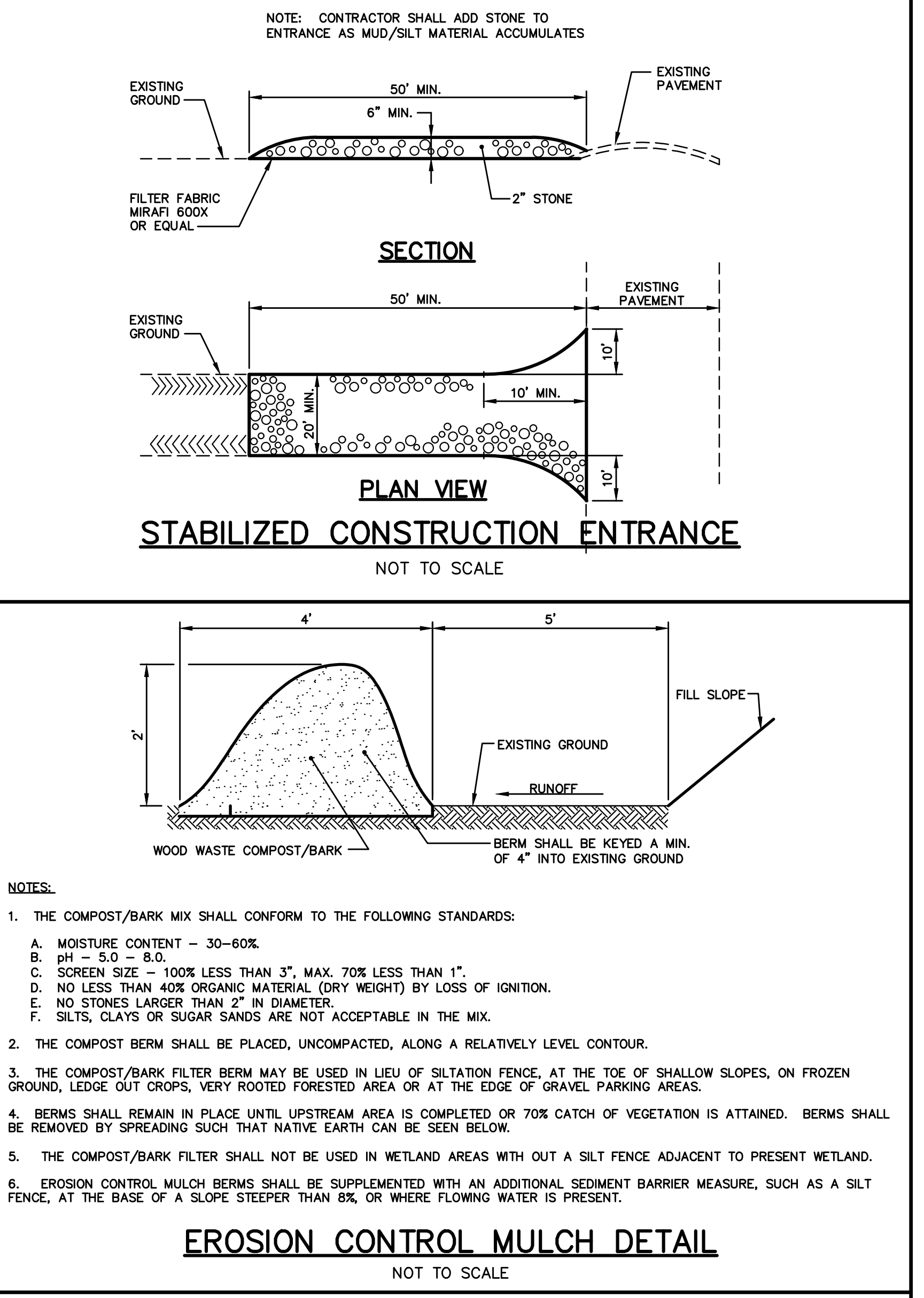
STONE SEDIMENT BARRIER

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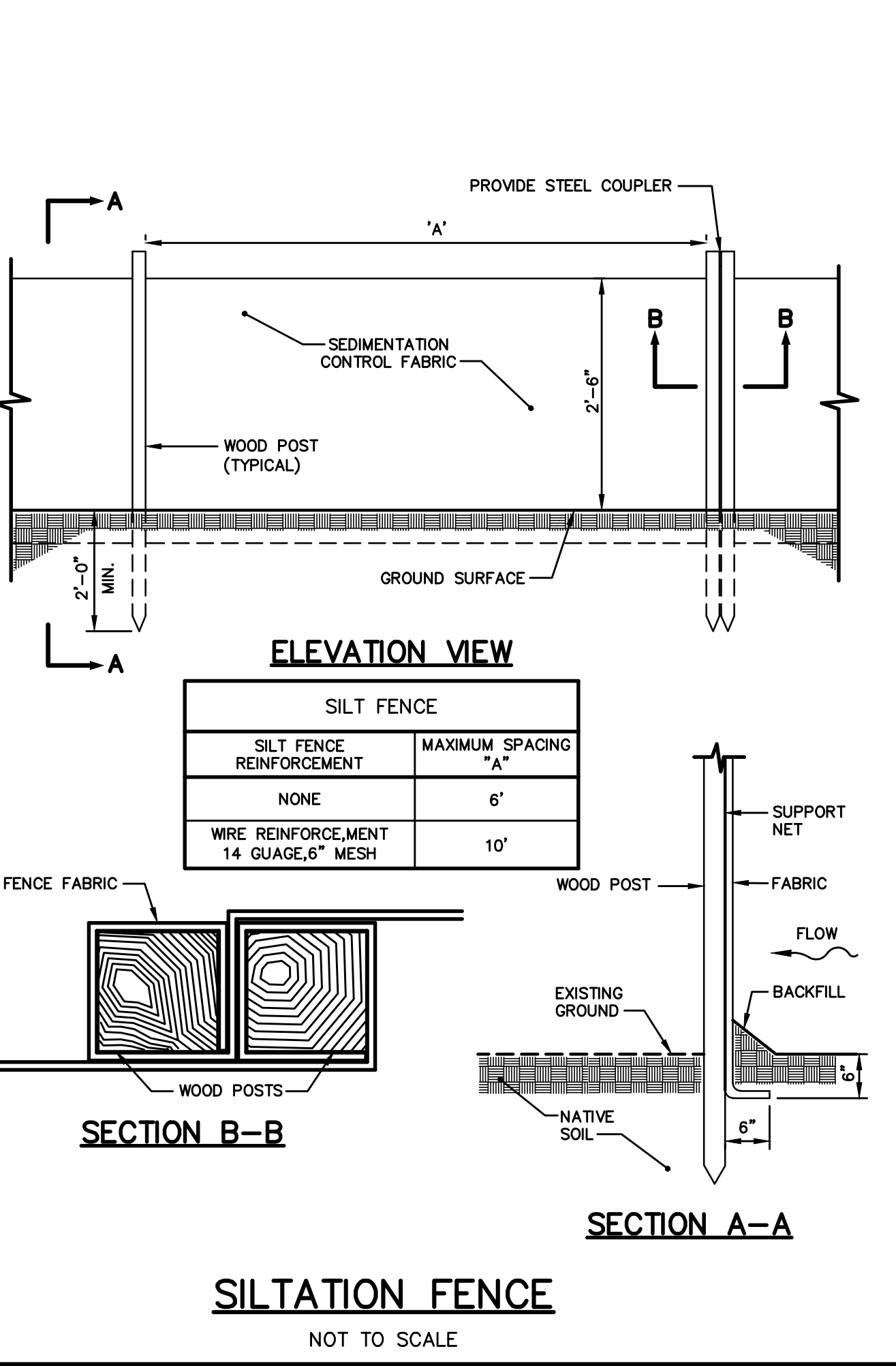
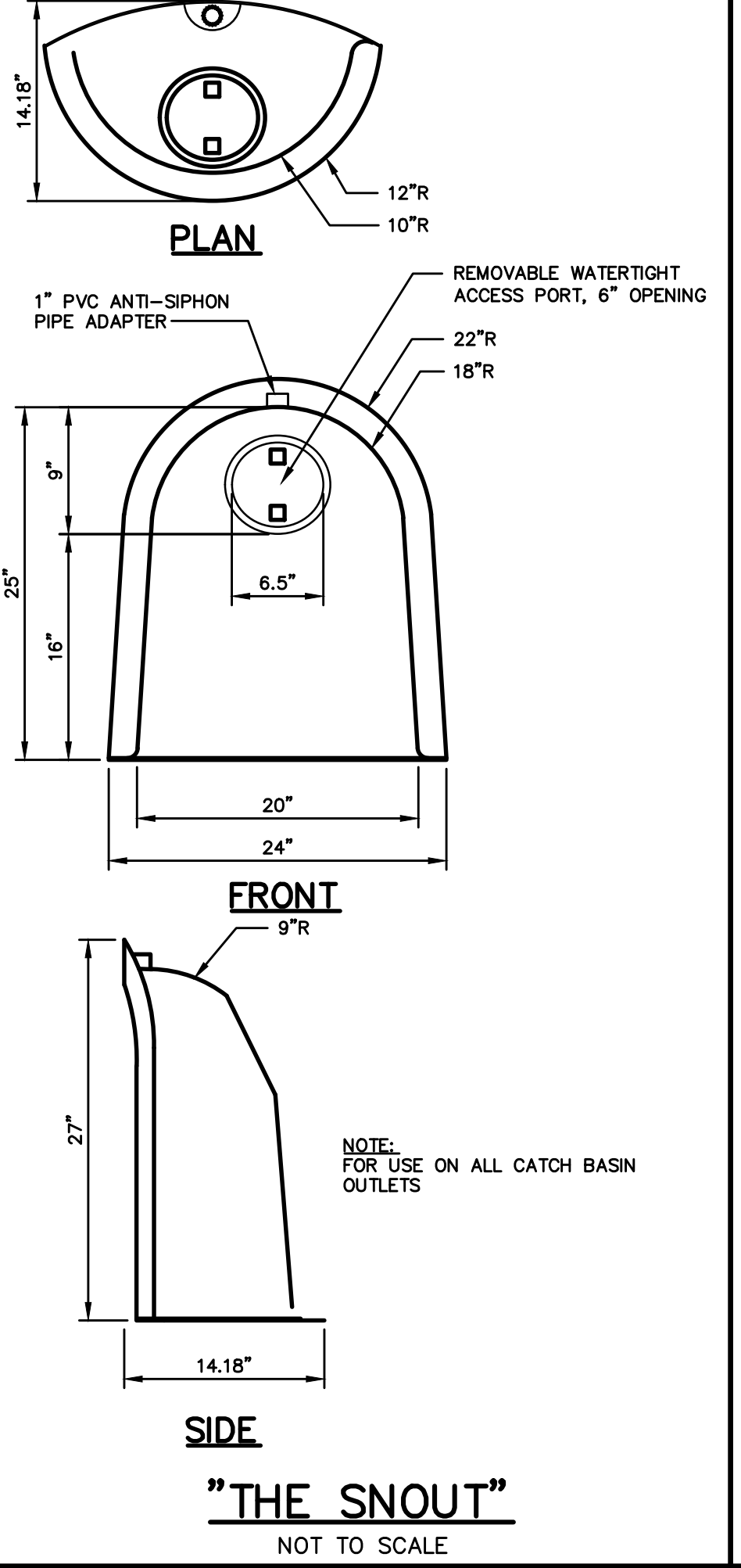
TEMPORARY SEDIMENT BASIN WITH PIPE OUTLET

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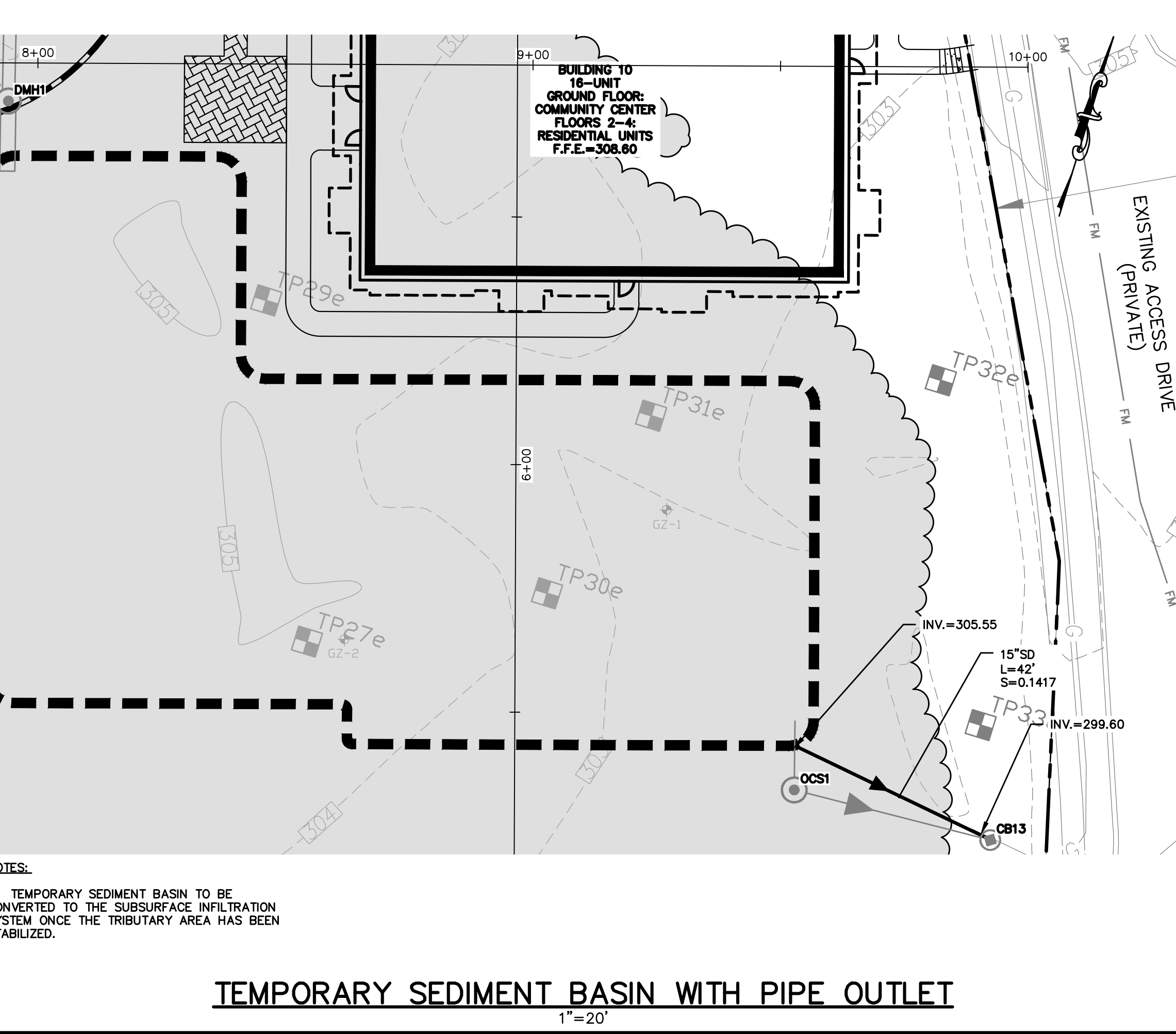
EROSION CONTROL MULCH DETAIL

NOT TO SCALE



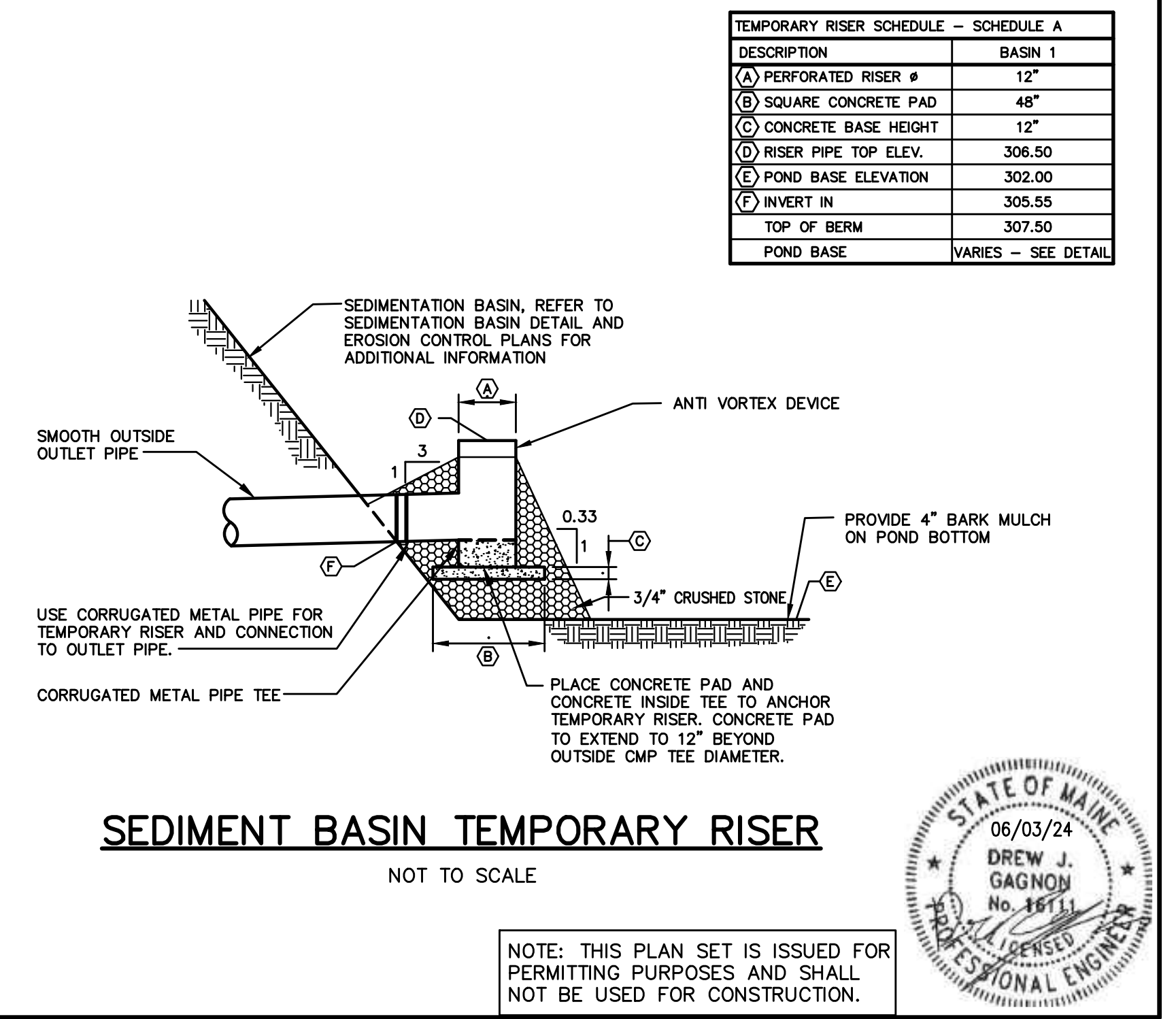
SILTATION FENCE

NOT TO SCALE



TEMPORARY SEDIMENT BASIN WITH PIPE OUTLET

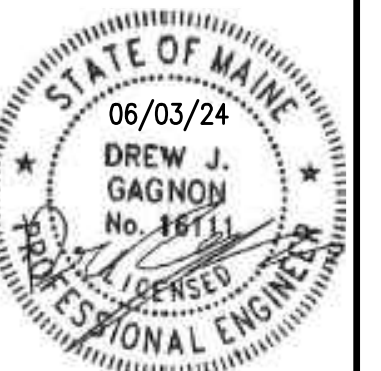
1"=20'



SEDIMENT BASIN TEMPORARY RISER

NOT TO SCALE

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Rev.	Date	Revision

Site and Subdivision Application	06/03/24	DJG
Response to MDEP Comments	04/08/24	DJG
Major Subdivision Preliminary Application	04/01/24	DJG
SLDA Response to Comments	01/17/24	DJG
SLDA Submission	10/6/23	DJG
Sketch Plan Submission	4/17/23	DJG
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Design: LEL	Draft: CEH	Date: DEC 2022
Checked: DJG	Scale: AS NOTED	Job No.: 3796
File Name: 3796-DET.dwg		
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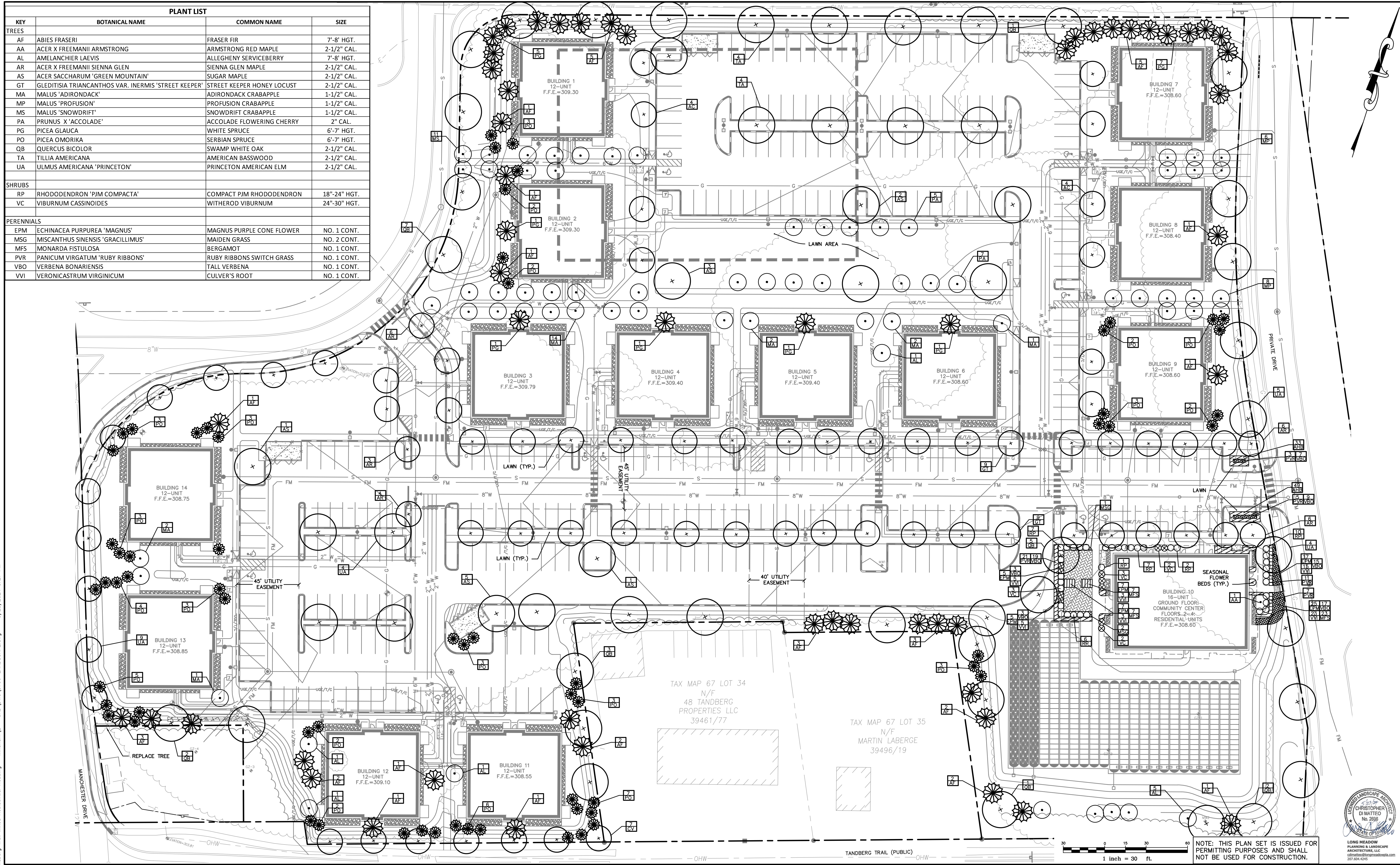


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Drawing Name:	Utility, Erosion & Sedimentation Control Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
C405

PLANT LIST			
KEY	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
AF	ABIES FRASERI	FRASER FIR	7'-8" HGT.
AA	ACER X FREEMANII ARMSTRONG	ARMSTRONG RED MAPLE	2-1/2" CAL.
AL	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	7'-8" HGT.
AR	ACER X FREEMANII SIENNA GLEN	SIENNA GLEN MAPLE	2-1/2" CAL.
AS	ACER SACCHARUM 'GREEN MOUNTAIN'	SUGAR MAPLE	2-1/2" CAL.
GT	GLEDTISIA TRIANCANTHOS VAR. INERMIS 'STREET KEEPER'	STREET KEEPER HONEY LOCUST	2-1/2" CAL.
MA	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	1-1/2" CAL.
MP	MALUS 'PROFUSION'	PROFUSION CRABAPPLE	1-1/2" CAL.
MS	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	1-1/2" CAL.
PA	PRUNUS X 'ACCOLADE'	ACCOLADE FLOWERING CHERRY	2" CAL.
PG	PICEA GLAUCA	WHITE SPRUCE	6'-7" HGT.
PO	PICEA OMORIKA	SERBIAN SPRUCE	6'-7" HGT.
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2-1/2" CAL.
TA	TILLIA AMERICANA	AMERICAN BASSWOOD	2-1/2" CAL.
UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2-1/2" CAL.
SHRUBS			
RP	RHODODENDRON 'PJM COMPACTA'	COMPACT PJM RHODODENDRON	18"-24" HGT.
VC	VIBURNUM CASSINOIDES	WITHEROD VIBURNUM	24"-30" HGT.
PERENNIALS			
EPM	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONE FLOWER	NO. 1 CONT.
MSG	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	NO. 2 CONT.
MFS	MONARDA FISTULOSA	BERGAMOT	NO. 1 CONT.
PVR	PANICUM VIRGATUM 'RUBY RIBBONS'	RUBY RIBBONS SWITCH GRASS	NO. 1 CONT.
VBO	VERBENA BONARIENSIS	TALL VERBENA	NO. 1 CONT.
VVI	VERONICASTRUM VIRGINICUM	CULVER'S ROOT	NO. 1 CONT.



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Rev.	Date	Revision

Issued For	Date	By
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design: LEL Draft: CEH Date: DEC 2022
Checked: DJG Scale: 1"=30' Job No.: 3796
File Name: 3796-LANDSCAPE.dwg
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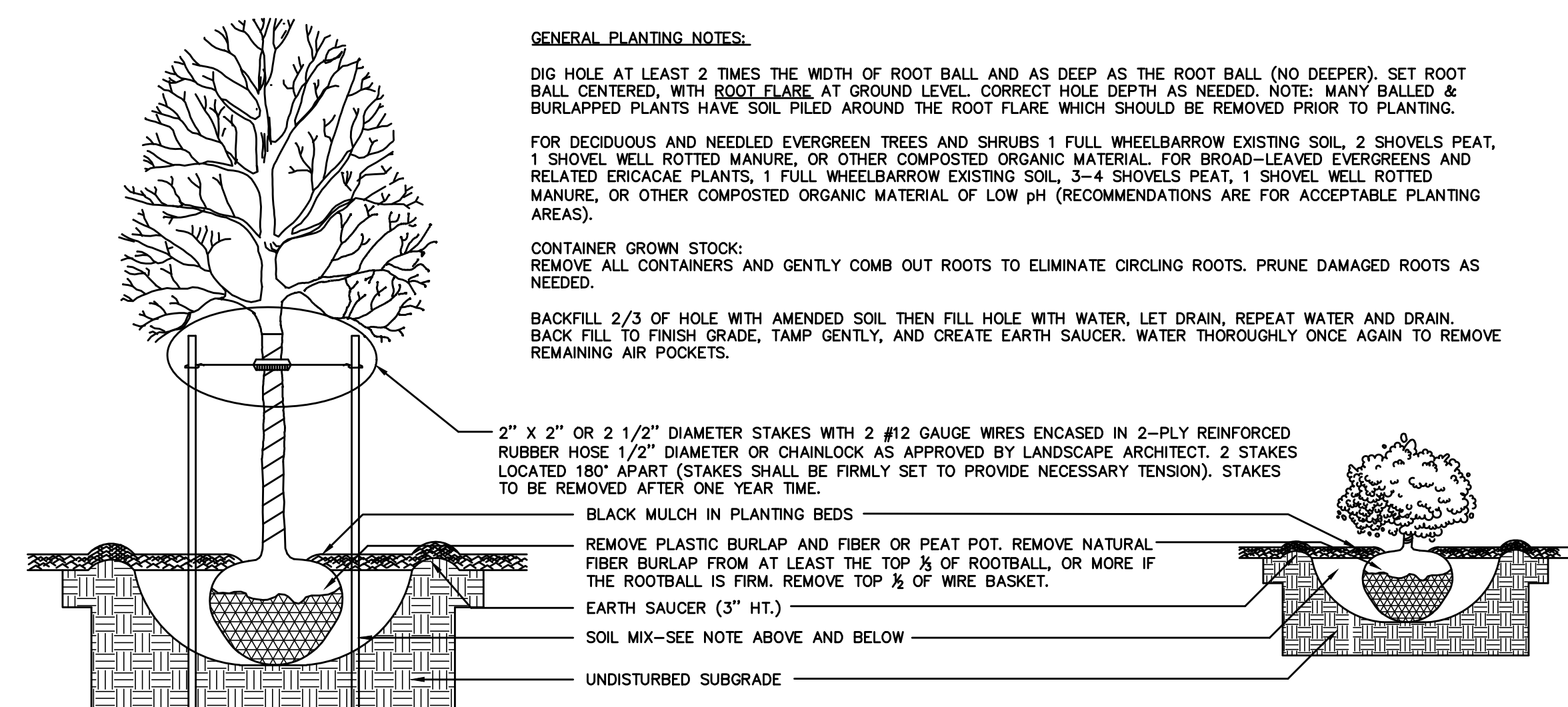
Drawing Name:	Landscape Plan
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No. **L1**



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

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GENERAL PLANTING NOTES:

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH ROOT FLARE AT GROUND LEVEL. CORRECT HOLE DEPTH AS NEEDED. NOTE: MANY BALLED & BURLAPPED PLANTS HAVE SOIL PILED AROUND THE ROOT FLARE WHICH SHOULD BE REMOVED PRIOR TO PLANTING.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACEAE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE ALL CONTAINERS AND GENTLY COMB OUT ROOTS TO ELIMINATE CIRCLING ROOTS. PRUNE DAMAGED ROOTS AS NEEDED.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OR 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION). STAKES TO BE REMOVED AFTER ONE YEAR TIME.

BLACK MULCH IN PLANTING BEDS

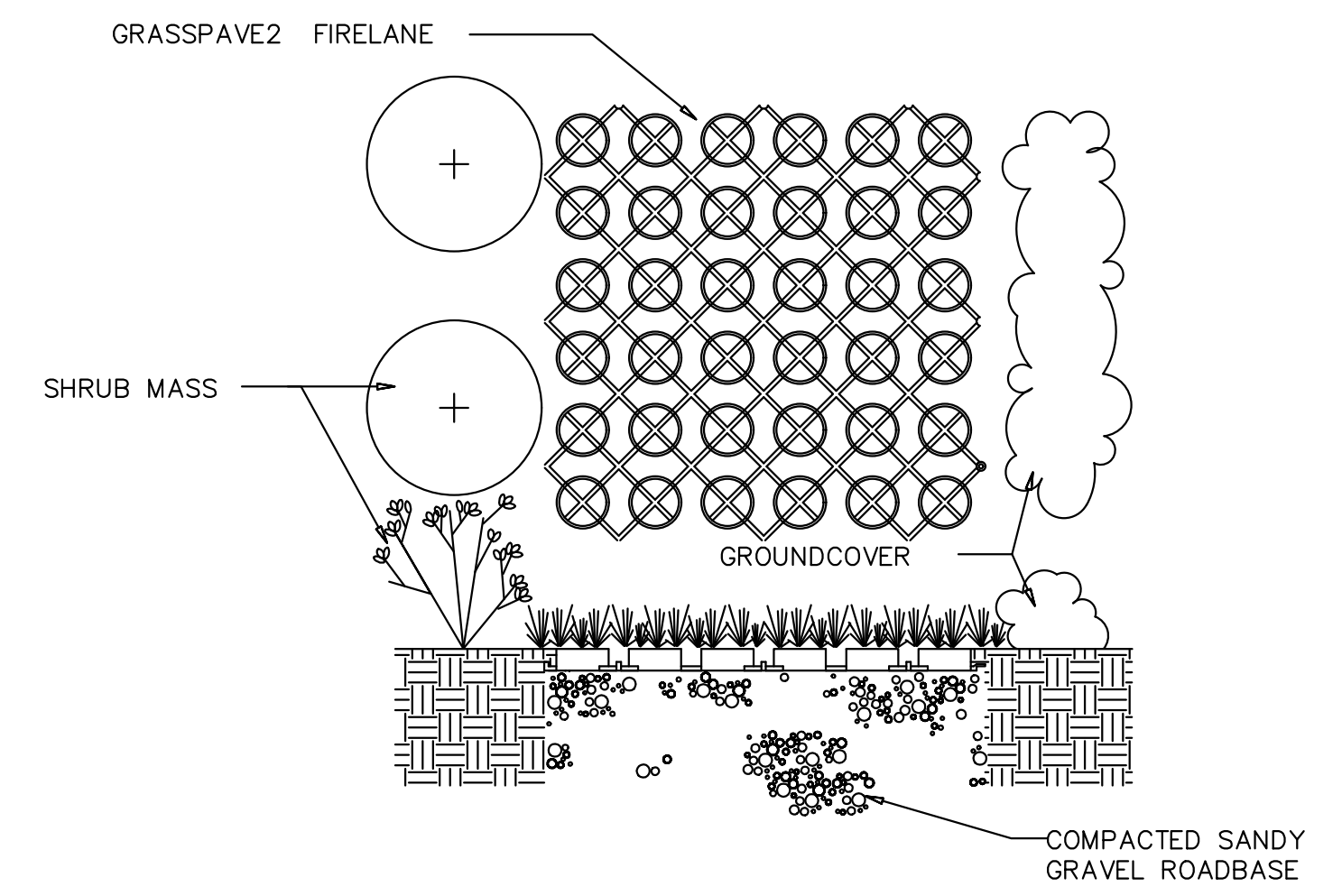
REMOVE PLASTIC BURLAP AND FIBER OR PEAT POT. REMOVE NATURAL FIBER BURLAP FROM AT LEAST THE TOP 1/2 OF ROOTBALL, OR MORE IF THE ROOTBALL IS FIRM. REMOVE TOP 1/2 OF WIRE BASKET.

EARTH SAUCER (3" HT.)

SOIL MIX-SEE NOTE ABOVE AND BELOW

UNDISTURBED SUBGRADE

TREE AND SHRUB PLANTING DETAIL
NOT TO SCALE



GRASSPAVE2 FIRELANE DETAIL
NOT TO SCALE

GENERAL NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, PLANT QUANTITIES, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 18 INCHES OF LOAM IN ALL PLANTING BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL LAWN AND SEED MIX AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF THE LATEST PUBLICATION OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE INSPECTION OF PLANT MATERIAL AND LOCATIONS WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL PLANT MATERIAL SHALL BE ON-SITE AND PLACED BEFORE INSPECTION CAN BE COMPLETED. A MINIMUM OF 48 HOUR NOTIFICATION SHALL BE REQUIRED.
- MAINTENANCE REQUIREMENTS: PRUNE DEAD OR DAMAGED BRANCHES, MAINTAIN GUY POSTS AND WATER AS REQUIRED UNTIL PROJECT COMPLETION AND ACCEPTANCE BY OWNER.
- WATERING: ALL PLANTINGS SHALL BE THOROUGHLY WATERED UPON INSTALLATION, AND THEN WEEKLY WHENEVER ANY DRY SPELLS OCCUR, UNTIL ACCEPTANCE BY OWNER.
- LANDSCAPE CONTRACTOR OR PLANT SUPPLIER SHALL GUARANTEE PLANTS AND PROVIDE REPLACEMENTS FOR TWO YEARS FROM INSTALLATION.
- CONTRACTOR SHALL PLACE 4" SHREDDED DARK BARK MULCH TO PLANTING BEDS AND TREE PITS.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



LONG MEADOW
PLANNING & LANDSCAPE
ARCHITECTURE, LLC
christopher@longmeadowllc.com
207.604.4245

Rev.	Date	Revision

Issued For	Date	By
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG

Design: LEL	Draft: CEH	Date: DEC 2022
Checked: DJG	Scale: 1"=30'	Job No.: 3796
File Name: 3796-LANDSCAPE.dwg		
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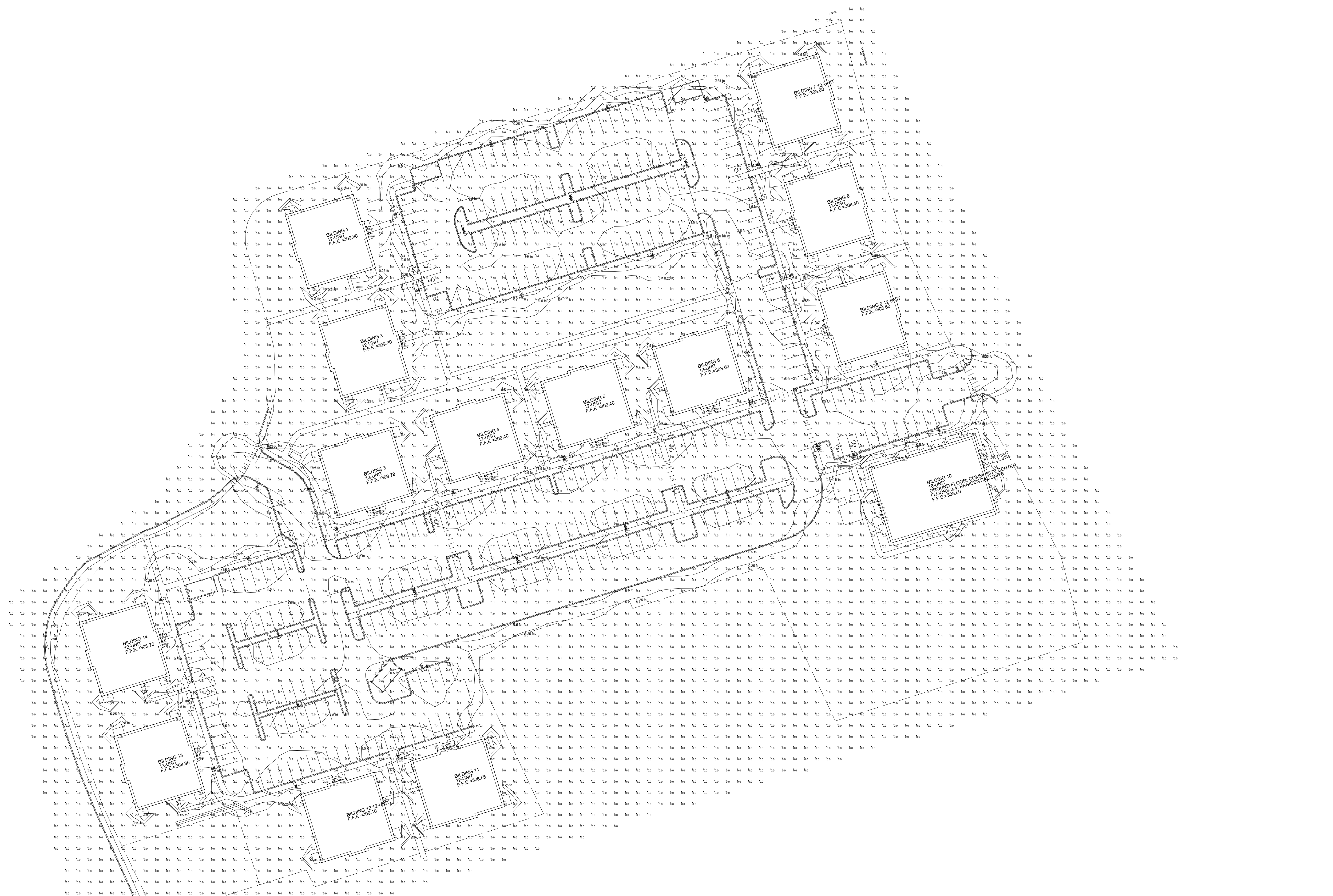
Drawing Name:	Landscape Details
Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.
L2

Luminaire Schedule (note fixture catalogue numbers are not complete)						
Type	Qty	Lum. Lumens	LLF	Lum. Watts	Description	Mounting Height
2SA	8	8085	0.900	83.6	TWIN AT 180 - VP-ST-1-36L-85-3K7-4W	18
SA	1	8085	0.900	83.6	VP-ST-1-36L-85-3K7-4W	18
SB	6	6771	0.900	56.8	VP-ST-1-36L-55-3K7-3	14, 18
SC	17	5732	0.900	55	VP-ST-1-36L-55-3K7-3-BC	14
SD	5	5354	0.900	55	VP-ST-1-36L-55-3K7-4W-BC	14
SE	2	6177	0.900	55	VP-ST-1-36L-55-3K7-4F-BC	14, 18
SF	1	5354	0.900	55	TWIN AT 90 - VP-ST-1-36L-55-3K7-4W-BC	14
W1	34	402	0.900	7.9	P5676-2030K9	6.75
W2	70	905	0.900	12.276	P563000-020-30K	6.75, 8
W3	26	782	0.900	11.5	P810027-028-30	9.5

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
large parking	1.38	4.6	0.3	4.60	15.33
SITE	0.71	8.4	0.0	N.A.	N.A.
north parking	1.77	5.2	0.7	2.53	7.43

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - 2) CALCULATIONS MAY OR MAY NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
 - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
 - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
 - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
 - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 - 7) DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



PLAN VIEW

GENERATED FOR: **CORRILL PALMER**

SCALE: NOT TO SCALE

Page 1 of 1

DATE: 5/30/2024

GENERATED BY: SWANEY LIGHTING, SCARBOROUGH, ME - 207-883-7100 - swaneylighting.com

TITLE: **WINDHAM VILLAGE APARTMENTS
WINDHAM, ME
SITE LIGHTING LAYOUT**

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