### PROJECT PARCEL SITE WINDHAM ASSESSOR'S MAP & LOT NUMBERS

70

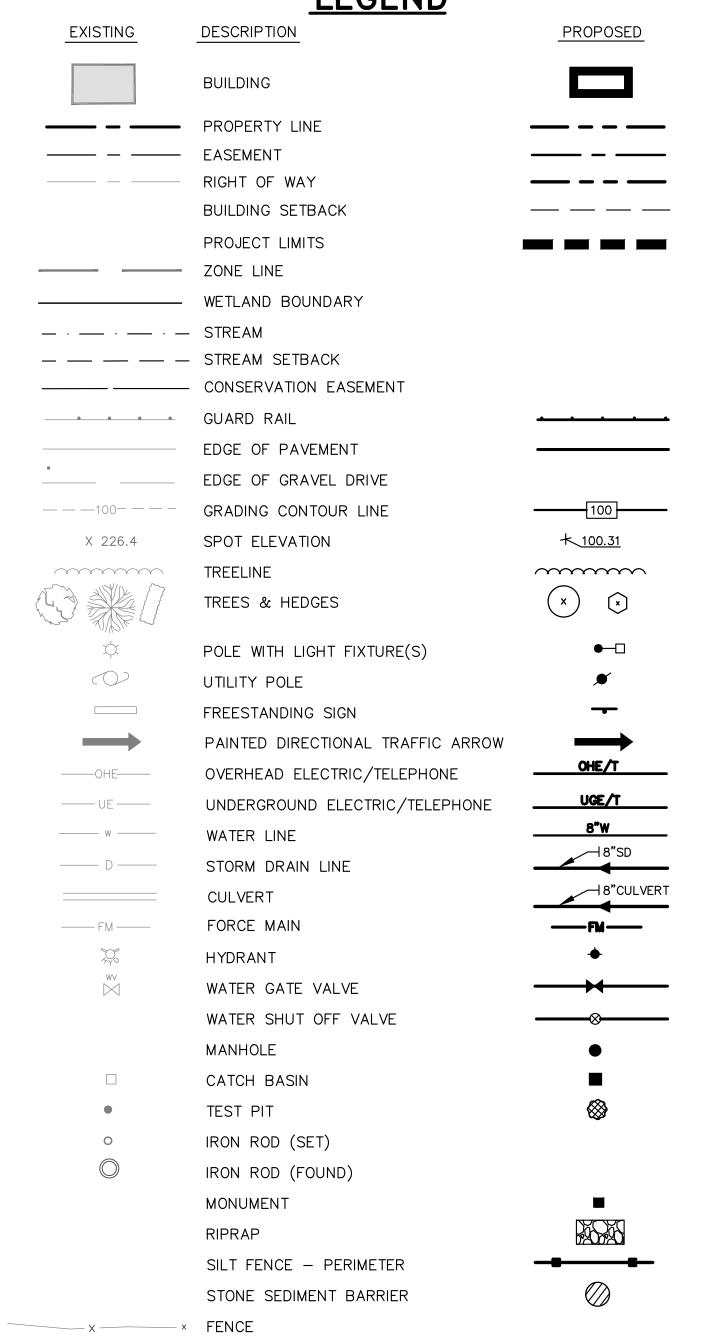
Applicant/Developer:

Windham Village Apartments, LLC

Falmouth, ME 04105

REPRESENTATIVE: LONI GRAIVER LONI@GRAIVERHOMES.COM

### <u>LEGEND</u>



# WINDHAM VILLAGE APARTMENTS MAJOR SITE PLAN REVIEW APPLICATION WINDHAM, MAINE PREPARED BY:



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### **GENERAL NOTES**

### GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS WAS PREPARED BY OWEN HASKELL OF FALMOUTH MAINE ON 02/02/23.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON—SITE INSPECTIONS OF THE OWNER, THE TOWN OF WINDERS OF THE OWNER.

4. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.

5. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND/OR TOWN OF WINDHAM SPECIFICATIONS

### PERMITTING NOTES

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A SITE PLAN & SUBDIVISION APPROVAL FROM THE TOWN OF WINDHAM. THE CONSTRUCTION WILL BE GOVERNED BY THE TOWN OF WINDHAM ZONING ORDINANCE WHICH IS AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE

2. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A SITE LOCATION OF DEVELOPMENT ACT PERMIT FROM MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

3. THE CONTRACTOR SHALL REVIEW THE ABOVE REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

### LAYOUT NOTES

1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF

2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.

3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE—HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.

4. PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE, BY A MAINE LICENSED LAND SURVEYOR.

5. PROPOSED RIGHT OF WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE LICENSED LAND SURVEYOR.

6. CURB RADII UNLESS OTHERWISE NOTED ON THE PLAN SHALL BE A MINIMUM OF 3'.

### UTILITY NOTES

1. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. ALL WATER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/ANSI C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.

2. THE LOCATION OF THE PROPOSED UNDERGROUND ELECTRICAL SERVICE IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH CENTRAL MAINE POWER COMPANY.

3. THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, VALVES, CHANGES IN DIRECTION, ETC. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE PORTLAND WATER DISTRICT STANDARDS.

4. TEST PITS AT ALL UTILITY CROSSINGS SHALL BE COMPLETED TWO WEEKS IN ADVANCE OF THE START OF CONSTRUCTION OR ORDERING OF MATERIALS. TEST PIT INFORMATION SHALL BE PROMPTLY PROVIDED TO ENGINEER FOR REVIEW.

5. ALL GAS UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO UNITIL STANDARDS.

### **GRADING AND DRAINAGE NOTES**

**PERMITS** 

TYPE OF PERMIT

MAJOR SUBDIVISION &

SITE LOCATION OF

DEVELOPMENT ACT

B33 WINDHAM II LLC

#L-04332-23-G-T

AMENDMENT

SITE PLAN

1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603—— PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:

REINFORCED CONCRETE PIPE, CLASS III
POLYVINYL-CHLORIDE (PVC) PIPE
SMOOTH BORE POLYETHYLENE - ADS OR HANCOR

2. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.

3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

**GOVERNING BODY** 

TOWN OF WINDHAM

WINDHAM, ME 04062

MAINE DEPARTMENT OF

312 CANCO ROAD

(207) 822-6300 APRIL STEHR

PORTLAND, ME 04103

ENVIRONMENTAL PROTECTION

8 SCHOOL ROAD

(207)894-5960

### EROSION CONTROL NOTES

1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE

2. PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE

3. ALL GROUND AREAS DISTURBED FOR CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE. PERMANENT SEED MIXTURE SHALL CONFORM TO THE SEEDING PLAN CONTAINED IN THE EROSION CONTROL NOTES INCLUDED ON SHEET C406.

4. PRIOR TO PAVING, THE CONTRACTOR SHALL FLUSH SEDIMENT FROM ALL STORM DRAIN LINES, REMOVE ACCUMULATED SEDIMENT FROM SUMPS AND INVERTS AND PROPERLY DISPOSE OF.

ALL CATCH BASINS WITH OUTLET PIPES 18" DIAMETER OR LESS SHALL BE PROVIDED WITH A "SNOUT" SEDIMENTATION HOOD PER DETAIL.
 SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES.

7. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO ENSURE THAT IT WORKS AS PLANNED DURING CONSTRUCTION.

8. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.

9. EROSION CONTROL NOTES ACCOMPANY THIS PLAN SET AND ARE CONTAINED ON DRAWING C406 OF THIS PLAN SET.

10. THE MAINTENANCE SCHEDULE FOR THE CATCH BASIN SEDIMENT SUMPS IS CONTAINED IN THE EROSION CONTROL NOTES INCLUDED ON

11. THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS BASED UPON ANY THIRD PARTY REVIEW (ie MDEP) MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.

12. ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED, UNLESS OTHERWISE DIRECTED BY THE OWNER.
13. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PRIOR TO PERMANENT SEEDING.

### <u>UTILITIES</u>

CONTACT:

WATER:
PORTLAND WATER DISTRICT
225 DOUGLASS STREET
PORTLAND, MAINE 04102
(207) 761-8310
CONTACT: ROBERT BARTELS
RBARTELS@PWD.ORG
ANDREW WEAVER
AWEAVER@PWD.ORG

SEWER (FUTURE):
PORTLAND WATER DISTRICT
225 DOUGLASS STREET
PORTLAND, MAINE 04102
(207) 761-8310
CONTACT: ROBERT BARTELS
RBARTELS
RBARTELS
ANDREW WEAVER
AWEAVER
PWD.ORG

ELECTRIC: CENTRAL MAINE POWER 162 CANCO ROAD PORTLAND, MAINE 04103 (207) 828-2882 CONTACT: JAMES COUGH

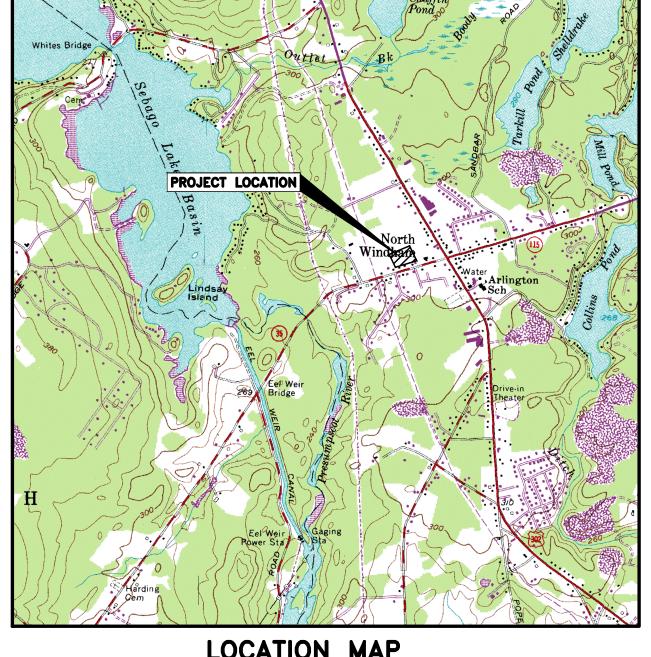
TELEPHONE:
CONSOLIDATED COMMUNICATIONS
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1866
CONTACT: PATRICK MORRISON

CABLE: SPECTRUM 118 JOHNSON ROAD PORTLAND, MAINE 04102 (207) 253–2324

CONTACT: MARK PELLETIER

GAS:
MAINE NATURAL GAS
MAILING ADDRESS: P.O. BOX 99
BRUNSWICK, ME 04011
BUSINESS OFFICE: 9 INDUSTRIAL PARKWAY
BRUNSWICK, ME 04011
(207)729-0420

FIBER OPTIC
GWI
8 POMERLEAU STREET
BIDDEFORD, MAINE 04005
(207)-602-1115
CONTACT: CHRIS WHELAN



LOCATION MAP

### **INDEX**

COO1 COVER SHEET, GENERAL NOTES, & LEGEND

BOUNDARY & TOPOGRAPHY SURVEY (BY OWEN HASKELL)

- FIRST AMENDED SHAW'S COMMERCIAL SUBDIVISION PLAN (BY OWEN HASKELL)

C002 EXISTING CONDITIONS PLAN

C003 EROSION AND TREE CLEARING PLAN

C004 SITE & SUBDIVISION PLAN

C100 OVERALL PROXIMITY PLAN

C101 SITE PLAN

C102 UTILITY PLAN

C103 DRAINAGE PLAN

C104 OFFSITE DRAINAGE IMPROVEMENTS

C105 GRADING PLAN

C106 GRADING INSETS

C201 ANNA WAY UTILITY PLAN & PROFILE

C202 OFFSITE WATERMAIN PLAN & PROFILE

C203 MANCHESTER DRIVE SIDEWALK PLAN & PROFILE

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C301 CHAMBER PLAN AND DETAILS

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C401 SITE DETAILS

C402 SITE & DRAINAGE DETAILS

C403 UTILITY DETAILS

C404 UTILITY DETAILS

C405 UTILITY, EROSION & SEDIMENTATION CONTROL DETAILS

C406 EROSION & SEDIMENTATION CONTROL NOTES

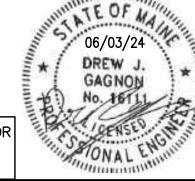
L1 LANDSCAPE PLAN (BY LONGMEADOW LANDSCAPE ARCHITECTS)

L2 LANDSCAPE DETAILS (BY LONGMEADOW LANDSCAPE ARCHITECTS)

PHOTOMETRIC PLAN (BY SWANEY LIGHTING ASSOCIATES)

CALL BEFORE YOU DIG DIAL 811 (AT LEAST 72 HOURS IN ADVANCED)

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



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	MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJ
	SLDA RESPONSE TO COMMENTS	01/17/24	DJ(
	SLDA SUBMISSION	10/6/23	DJ(
	SKETCH PLAN SUBMISSION	4/17/23	DJ
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**STATUS** 

SUBMITTED:

APPROVED:

#L-04332-87-I-A

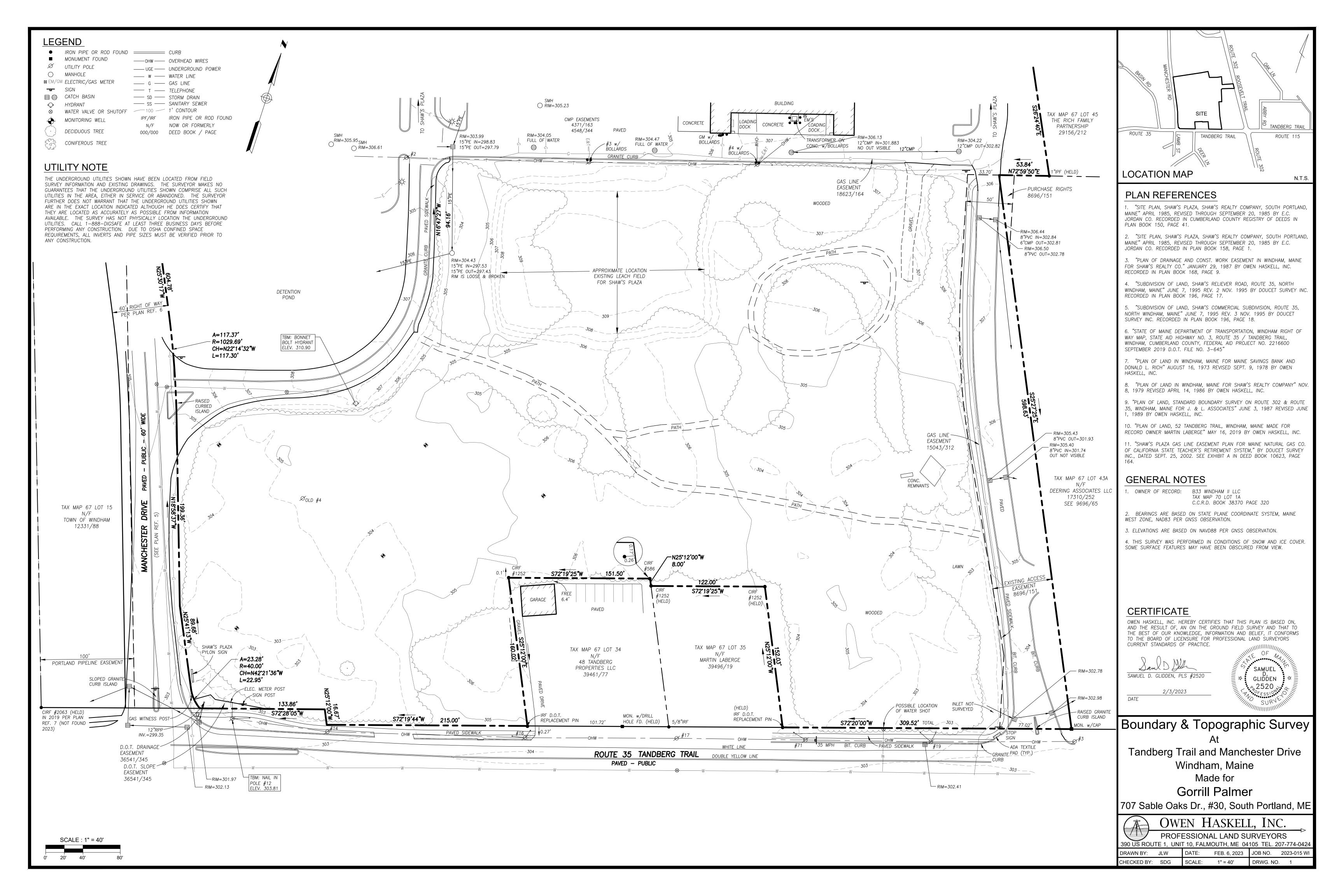
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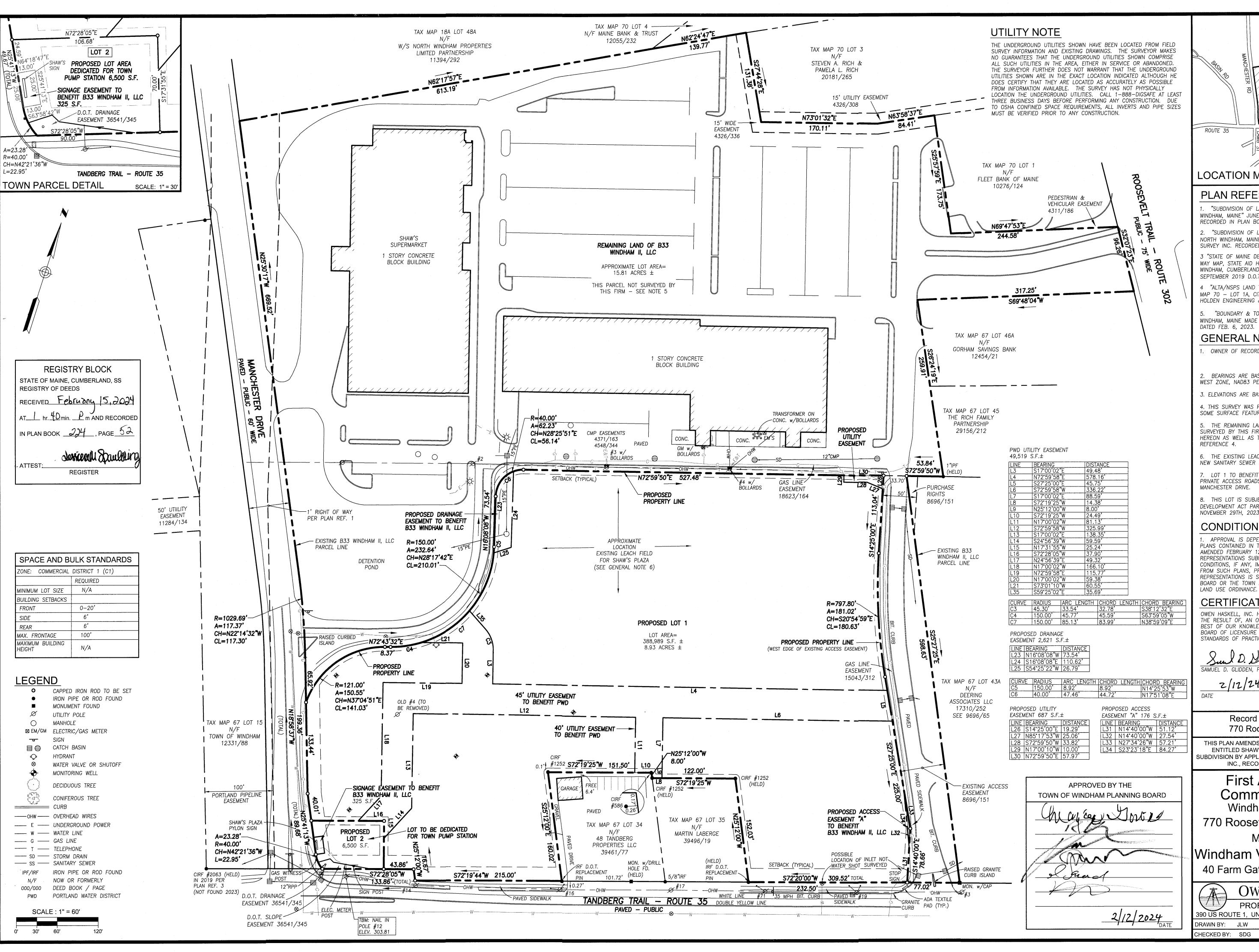
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Drawing Name:	Cover Sheet, General Notes, & Legend
Project:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062
Client:	<b>Windham Village Apartments, LLC</b> 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.







### **LOCATION MAP**

N.T.S.

### PLAN REFERENCES

1. "SUBDIVISION OF LAND, SHAW'S RELIEVER ROAD, ROUTE 35, NORTH WINDHAM, MAINE" JUNE 7, 1995 REV. 2 NOV. 1995 BY DOUCET SURVEY INC RECORDED IN PLAN BOOK 196, PAGE 17.

2. "SUBDIVISION OF LAND, SHAW'S COMMERCIAL SUBDIVISION, ROUTE 35, NORTH WINDHAM, MAINE" JUNE 7, 1995 REV. 3 NOV. 1995 BY DOUCET SURVEY INC. RECORDED IN PLAN BOOK 196, PAGE 18.

3 "STATE OF MAINE DEPARTMENT OF TRANSPORTATION, WINDHAM RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 3, ROUTE 35 / TANDBERG TRAIL, WINDHAM, CUMBERLAND COUNTY, FEDERAL AID PROJECT NO. 2216600 SEPTEMBER 2019 D.O.T. FILE NO. 3-645"

4 "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: ACADIA REALTY TRUST, MAP 70 - LOT 1A, CITY OF WINDHAM, CUMBERLAND COUNTY, MAINE," BY HOLDEN ENGINEERING & SURVEYING, INC., DATED OCTOBER 18, 2017.

5. "BOUNDARY & TOPOGRAPHIC SURVEY AT #3796 TANDBERG TRAIL, WINDHAM, MAINE MADE FOR GORRILL PALMER," BY OWEN HASKELL INC., DATED FEB. 6, 2023.

### **GENERAL NOTES**

OWNER OF RECORD: B33 WINDHAM II, LLC

TAX MAP 70 LOT 1A C.C.R.D. BOOK 38370 PAGE 320

2. BEARINGS ARE BASED ON STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD83 PER GNSS OBSERVATION.

3. ELEVATIONS ARE BASED ON NAVD88 PER GNSS OBSERVATION.

4. THIS SURVEY WAS PERFORMED IN CONDITIONS OF SNOW AND ICE COVER. SOME SURFACE FEATURES MAY HAVE BEEN OBSCURED FROM VIEW.

5. THE REMAINING LAND OF B33 WINDHAM II, LLC WAS NOT FIELD SURVEYED BY THIS FIRM. THE LOT LINES OF THE REMAINING LAND SHOWN HEREON AS WELL AS THE IMPROVEMENTS THEREIN ARE TAKEN FROM PLAN

6. THE EXISTING LEACH FIELD WILL BE REMOVED AND CONVERTED TO A NEW SANITARY SEWER SYSTEM.

7. LOT 1 TO BENEFIT FROM PROPOSED ACCESS EASEMENTS OVER EXISTING PRIVATE ACCESS ROADS WHICH EXTEND FROM TANDBERG TRAIL AND

. THIS LOT IS SUBJECT TO THE APPROVED SITE LOCATION OF DEVELOPMENT ACT PARTIAL TRANSFER PERMIT (L-4332-23-H-T) DATED

### CONDITIONS OF APPROVAL

APPROVAL IS DEPENDENT UPON AND LIMITED TO THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION DATED JANUARY 22, 2024 AS AMENDED FEBRUARY 12, 2024, AND SUPPORTING DOCUMENTS AND ORAL REPRESENTATIONS SUBMITTED AND AFFIRMED BY THE APPLICANT, AND CONDITIONS, IF ANY, IMPOSED BY THE PLANNING BOARD. ANY VARIATION FROM SUCH PLANS, PROPOSALS, SUPPORTING DOCUMENTS, AND REPRESENTATIONS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD OR THE TOWN PLANNER IN ACCORDANCE WITH 120-913 OF THE

### CERTIFICATE

THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.



2/12/24

SAMUEL GLIDDEN 2520 SURVE

Record Owner: B33 Windham II, LLC 770 Roosevelt Trail, Windham, Maine

THIS PLAN AMENDS THE PREVIOUSLY APPROVED 1995 SUBDIVISION ENTITLED SHAW'S RELIEVER ROAD AND SHAW'S COMMERCIAL UBDIVISION BY APPLEDORE ENGINEERING, INC. AND DOUCETT SURVEY INC., RECORDED IN PLAN BOOK 196, PAGES 17 & 18

### First Amended Shaw's Commerical Subdivision: Windham Village Apartments

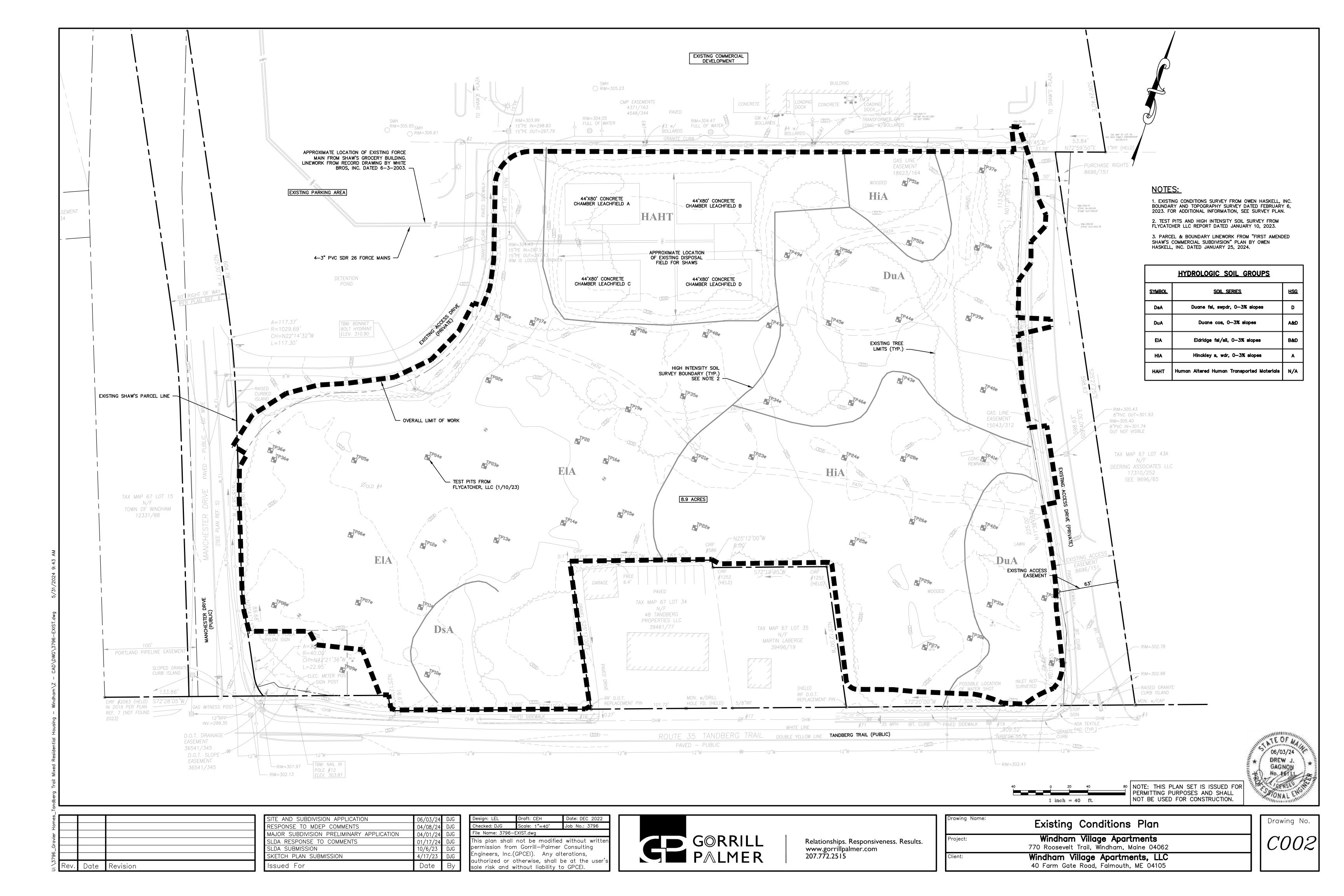
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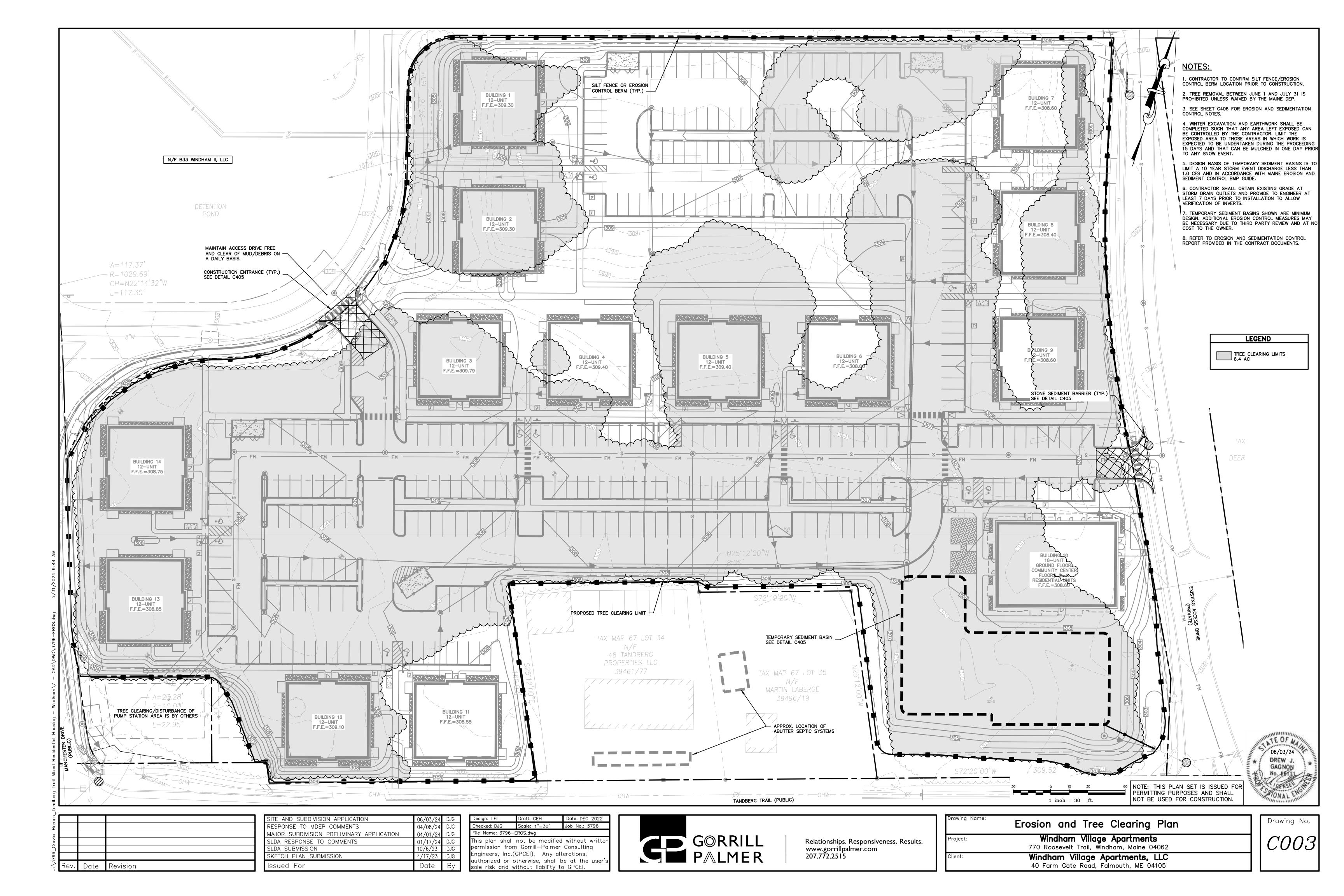
Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

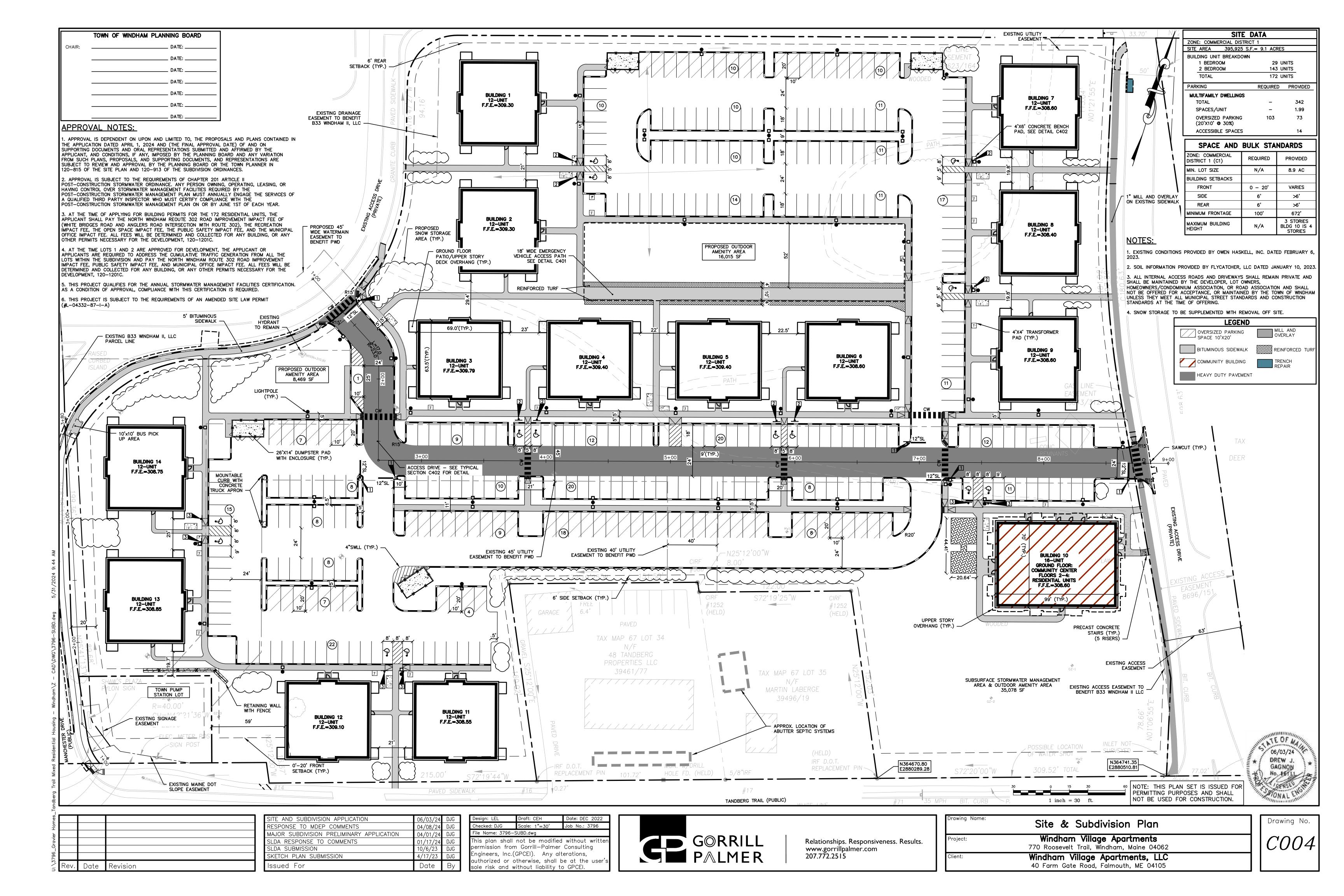


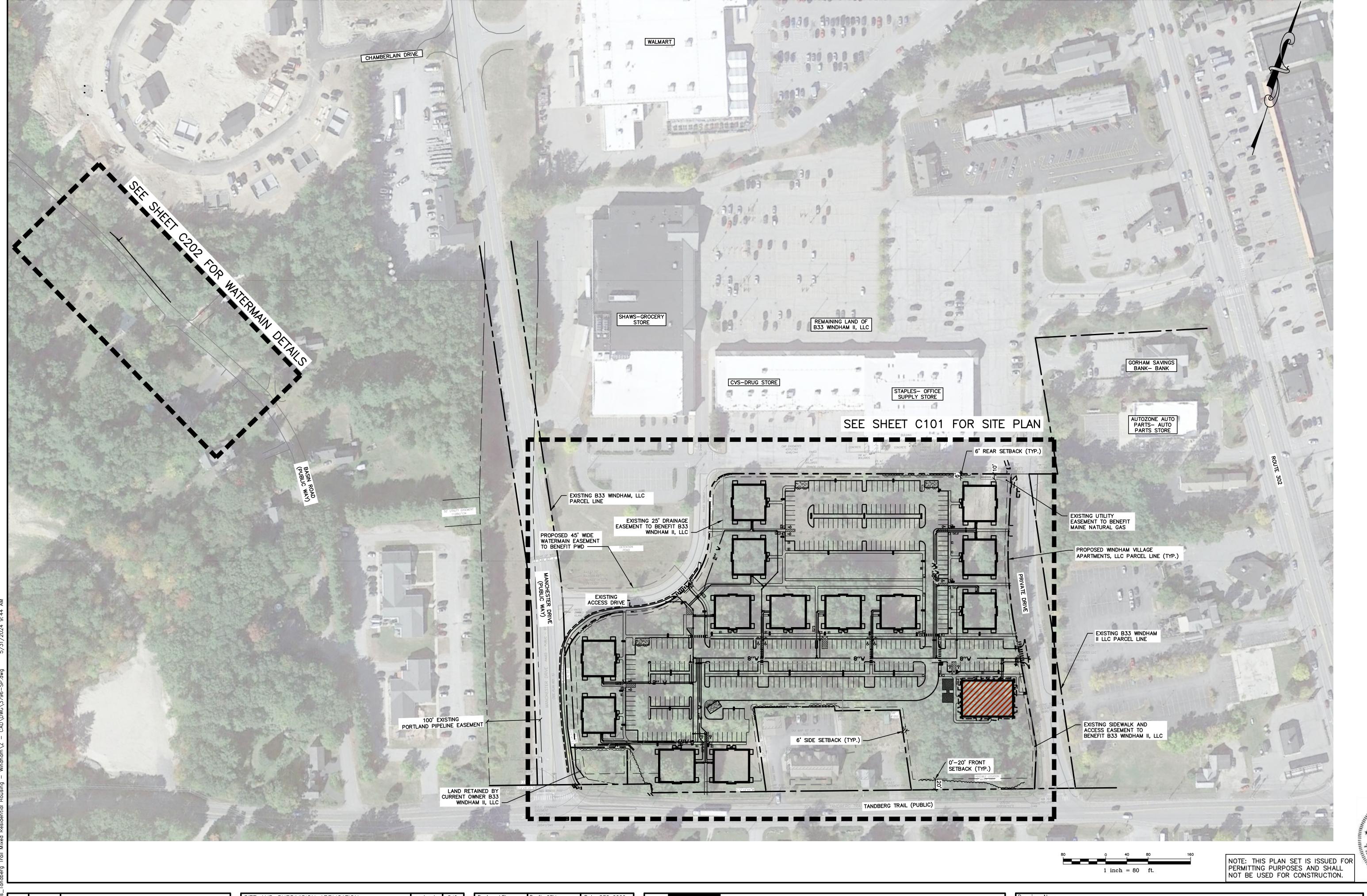
OWEN HASKELL, INC.

PROFESSIONAL LAND SURVEYORS 390 US ROUTE 1, UNIT 10, FALMOUTH, ME 04105 TEL. 207-774-0424 DATE: FEB. 5, 2024 JOB NO. 2023-015 WI DRAWN BY: JLW SCALE: 1" = 60' DRWG. NO. 1-SD









Rev. Date Revision

SITE AND SUBDIVISION APPLICATION 06/03/24 DRESPONSE TO MDEP COMMENTS 04/08/24 DRAJOR SUBDIVISION PRELIMINARY APPLICATION 04/01/24 DRAJOR SUBDIVISION PRELIMINARY APPLICATION 04/01/24 DRAJOR SUBMISSION 10/6/23 DRAJOR SUBMISSION 10/6/23 DRAJOR SUBMISSION 4/17/23 DRAJOR SUBMISSION 10/6/23 DRAJOR SUBMISSION

Design: LEL Draft: CEH Date: DEC 2022

Checked: DJG Scale: 1"=80' Job No.: 3796

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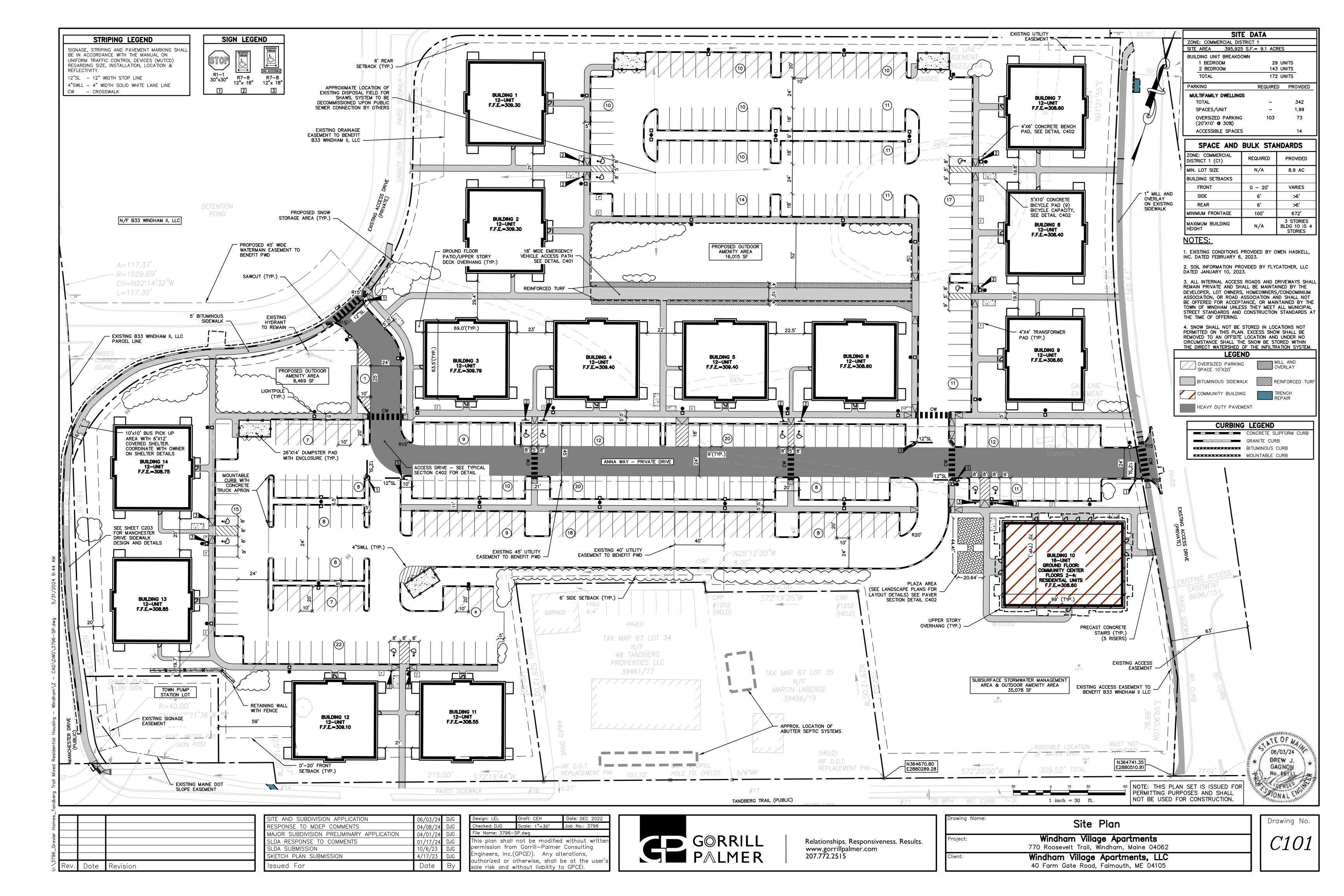
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Project:	Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

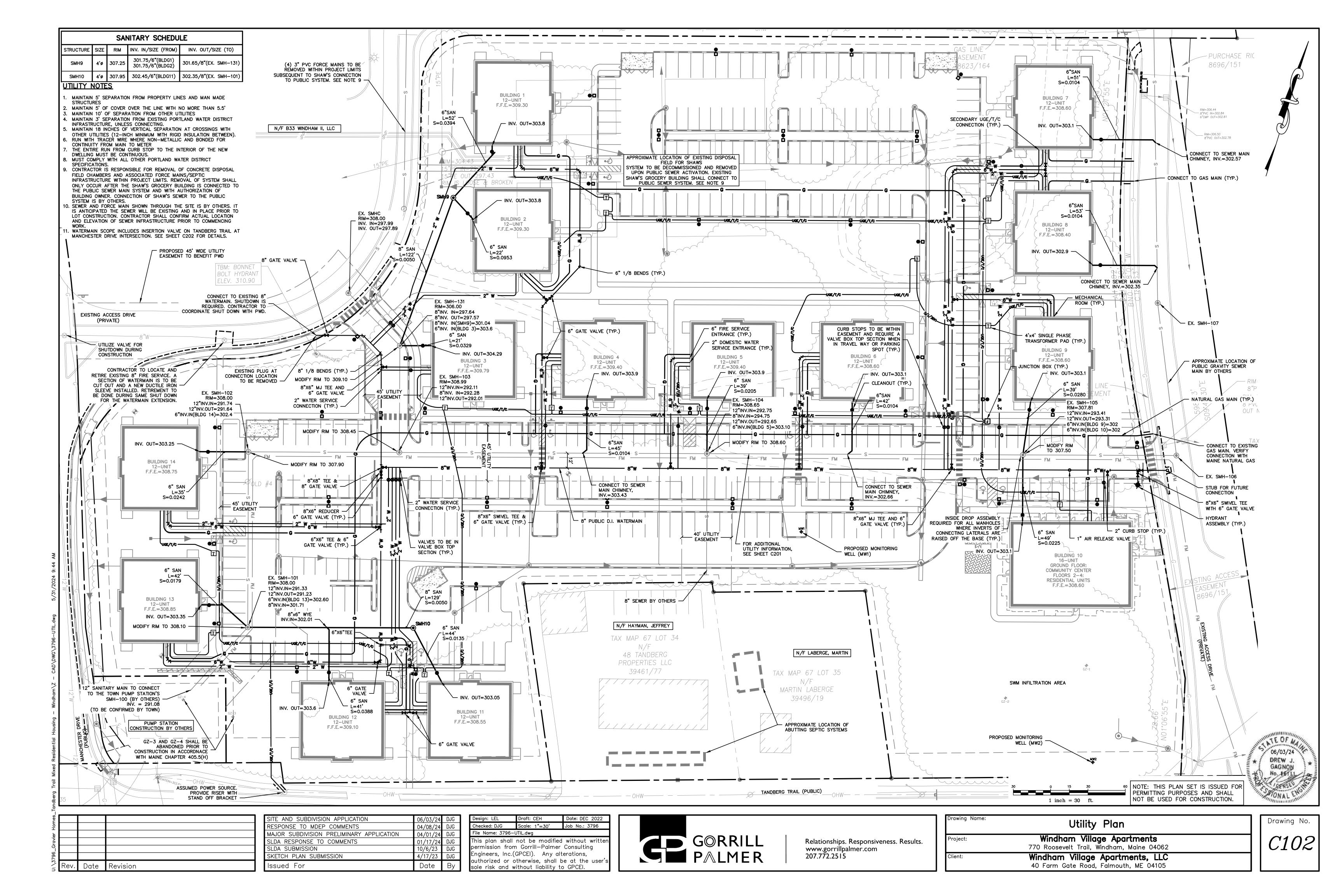
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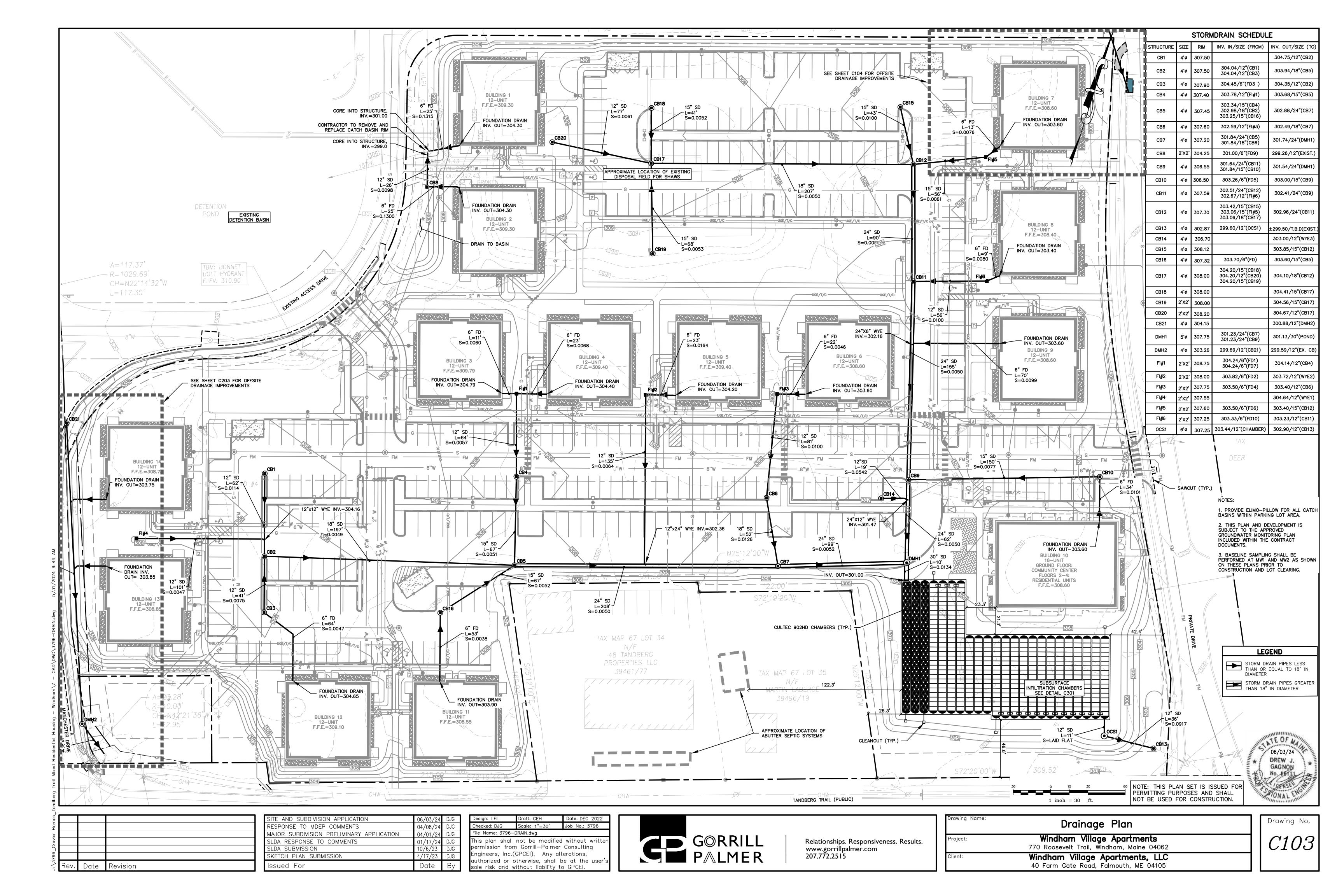
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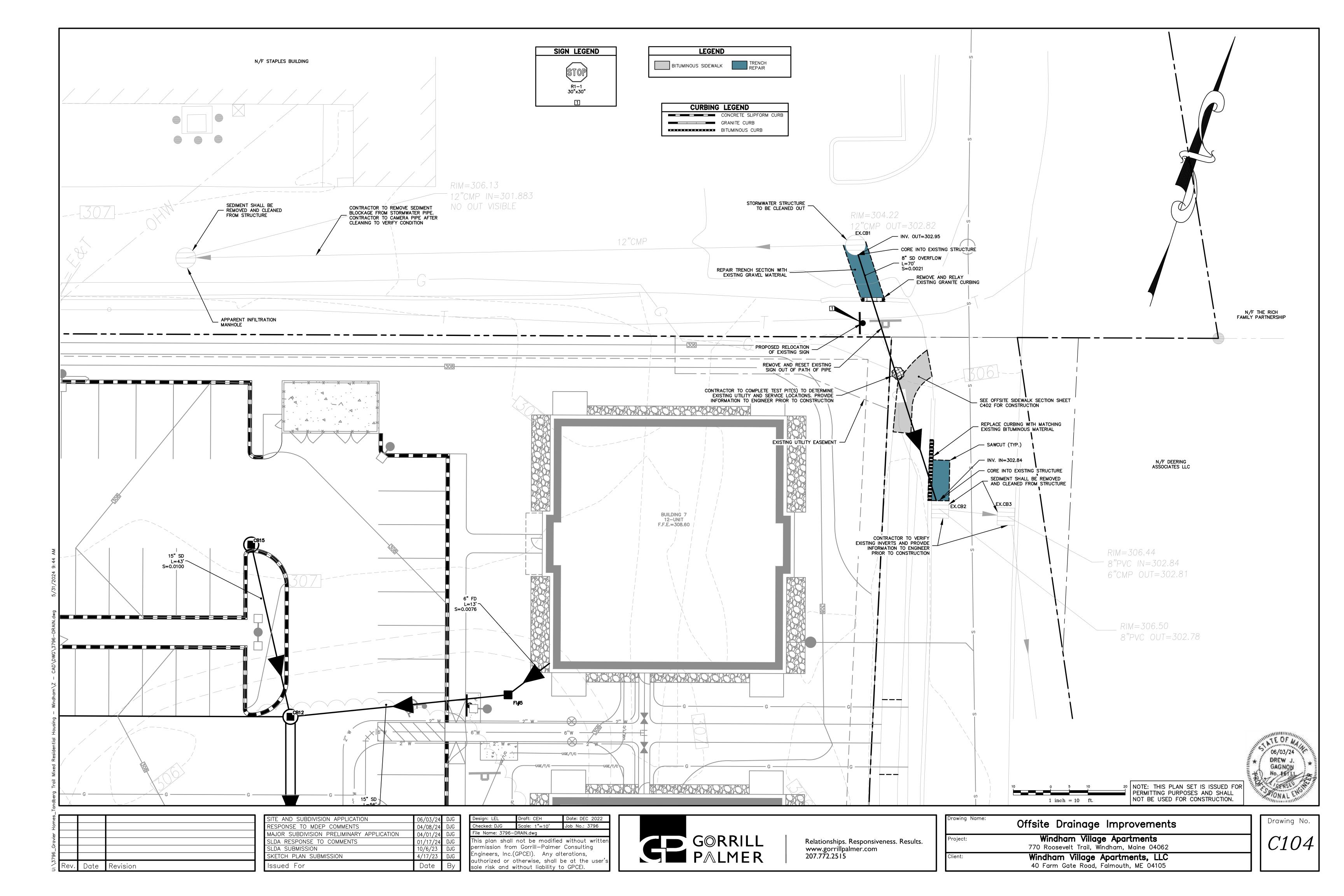
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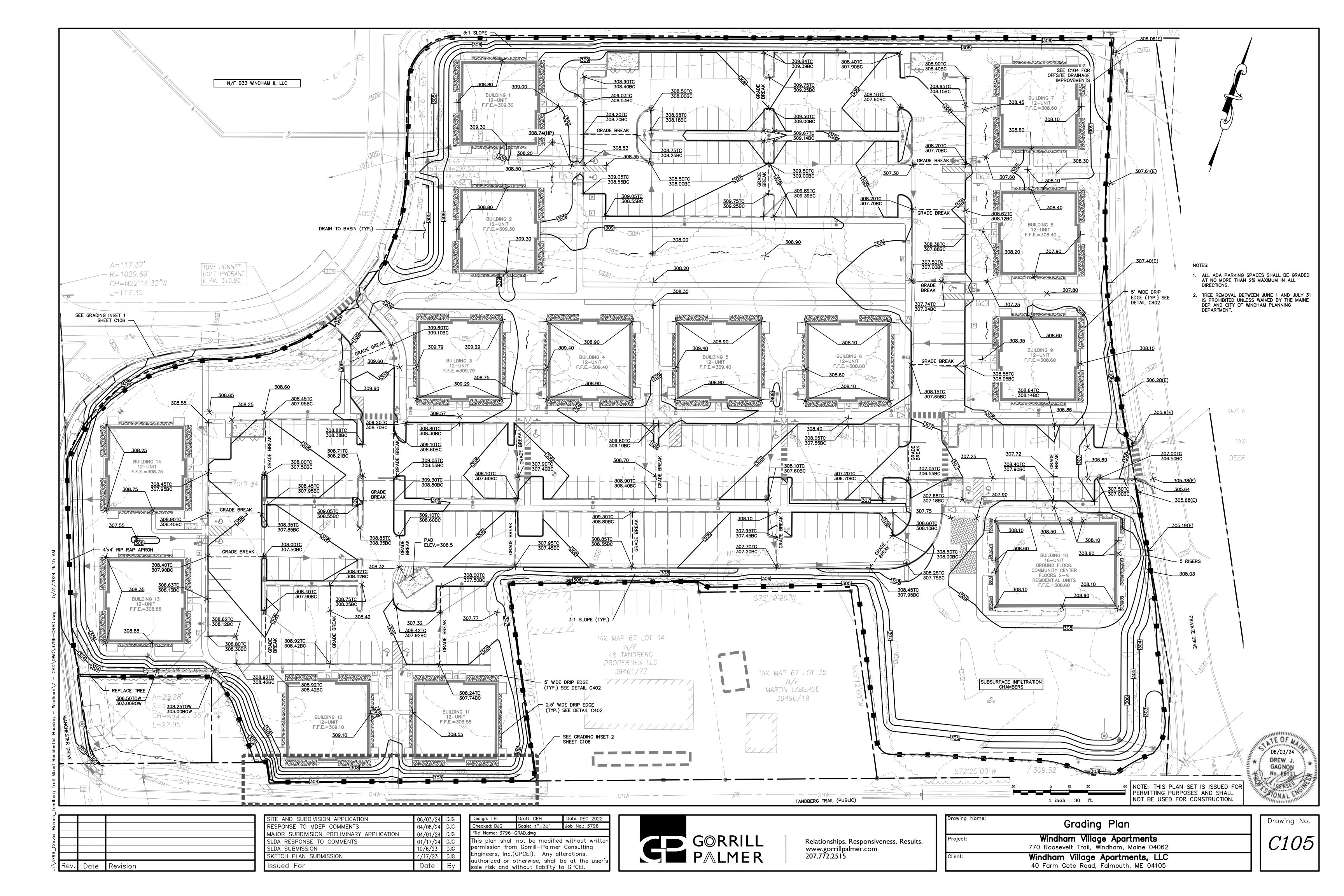
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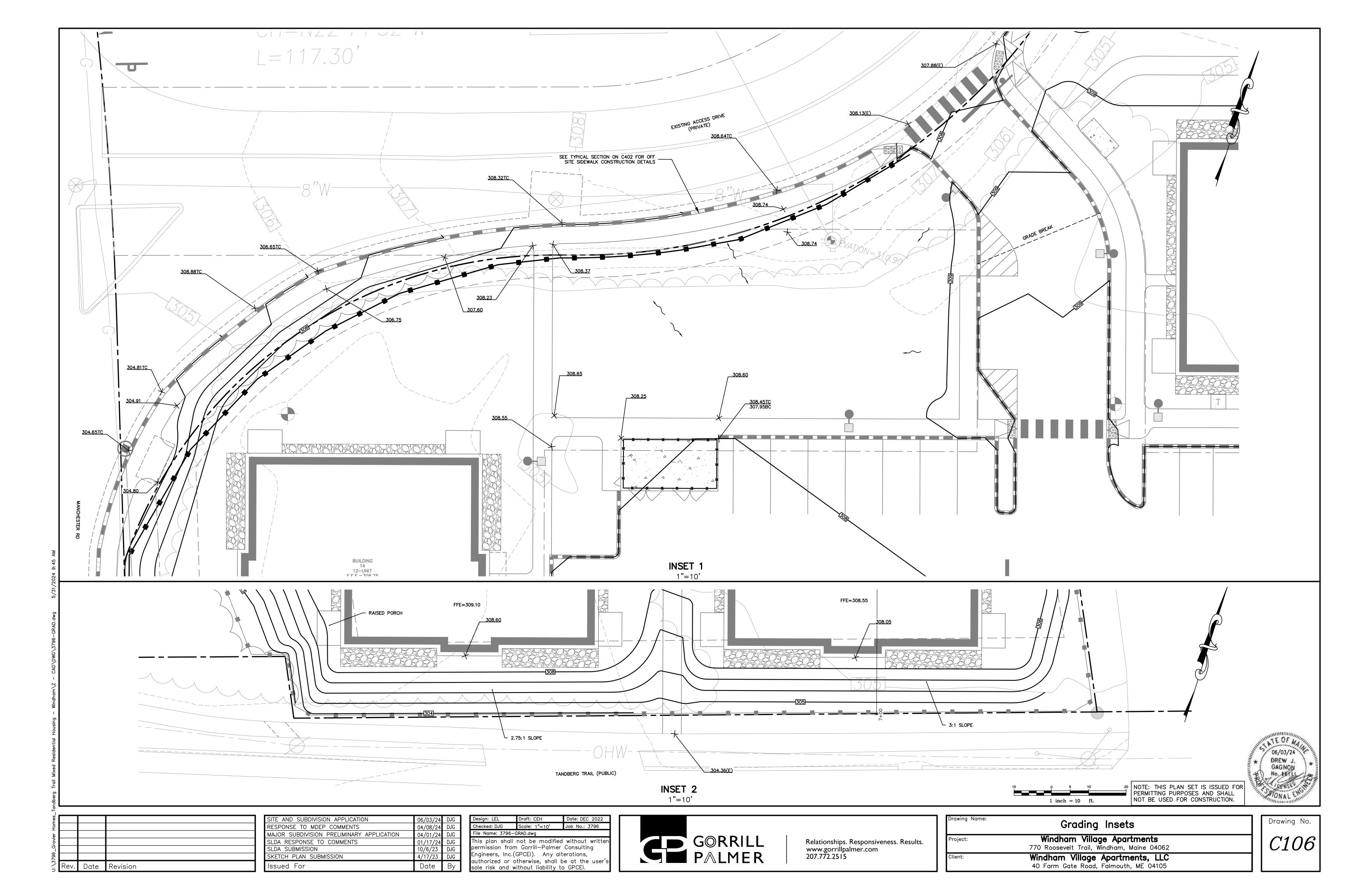


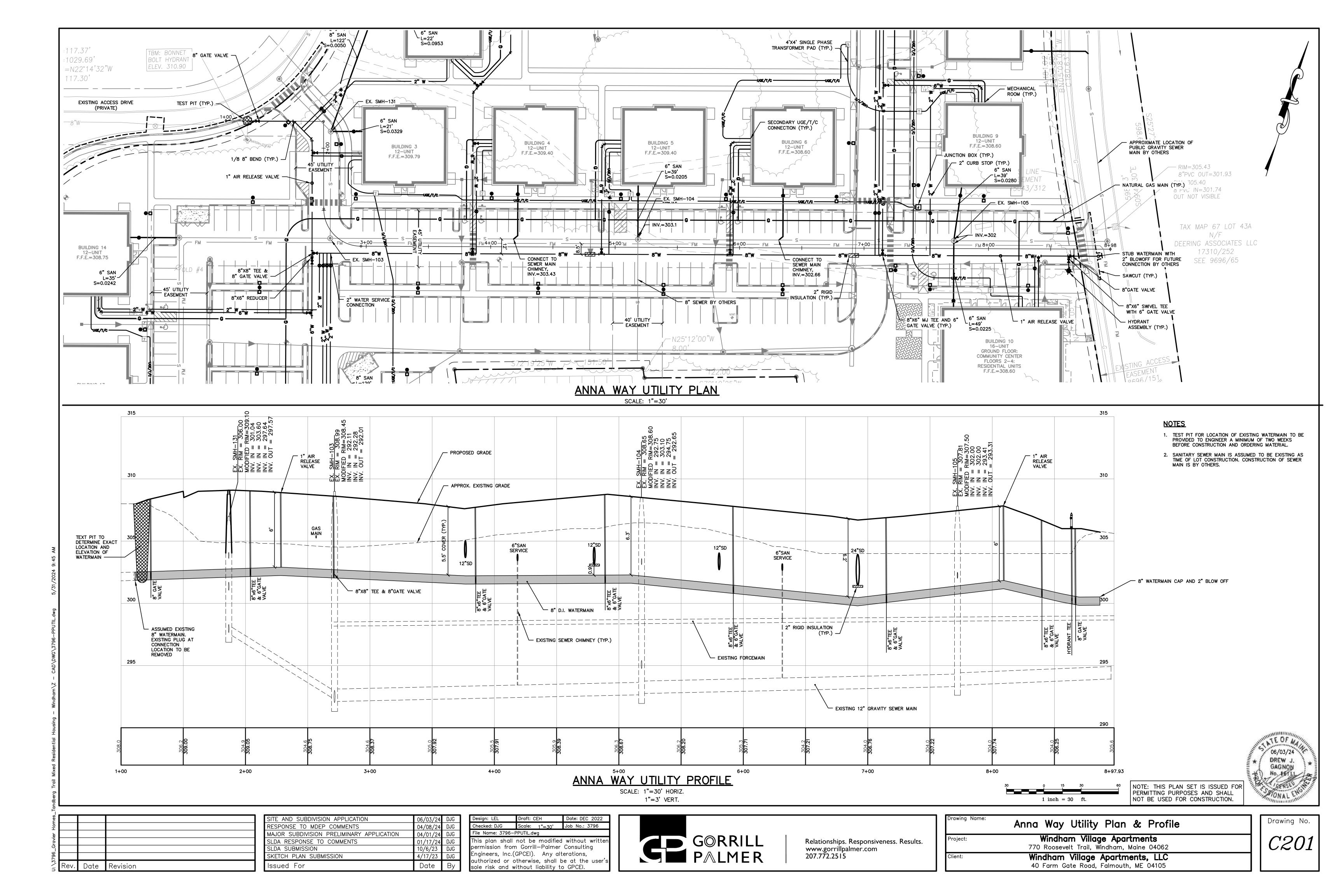


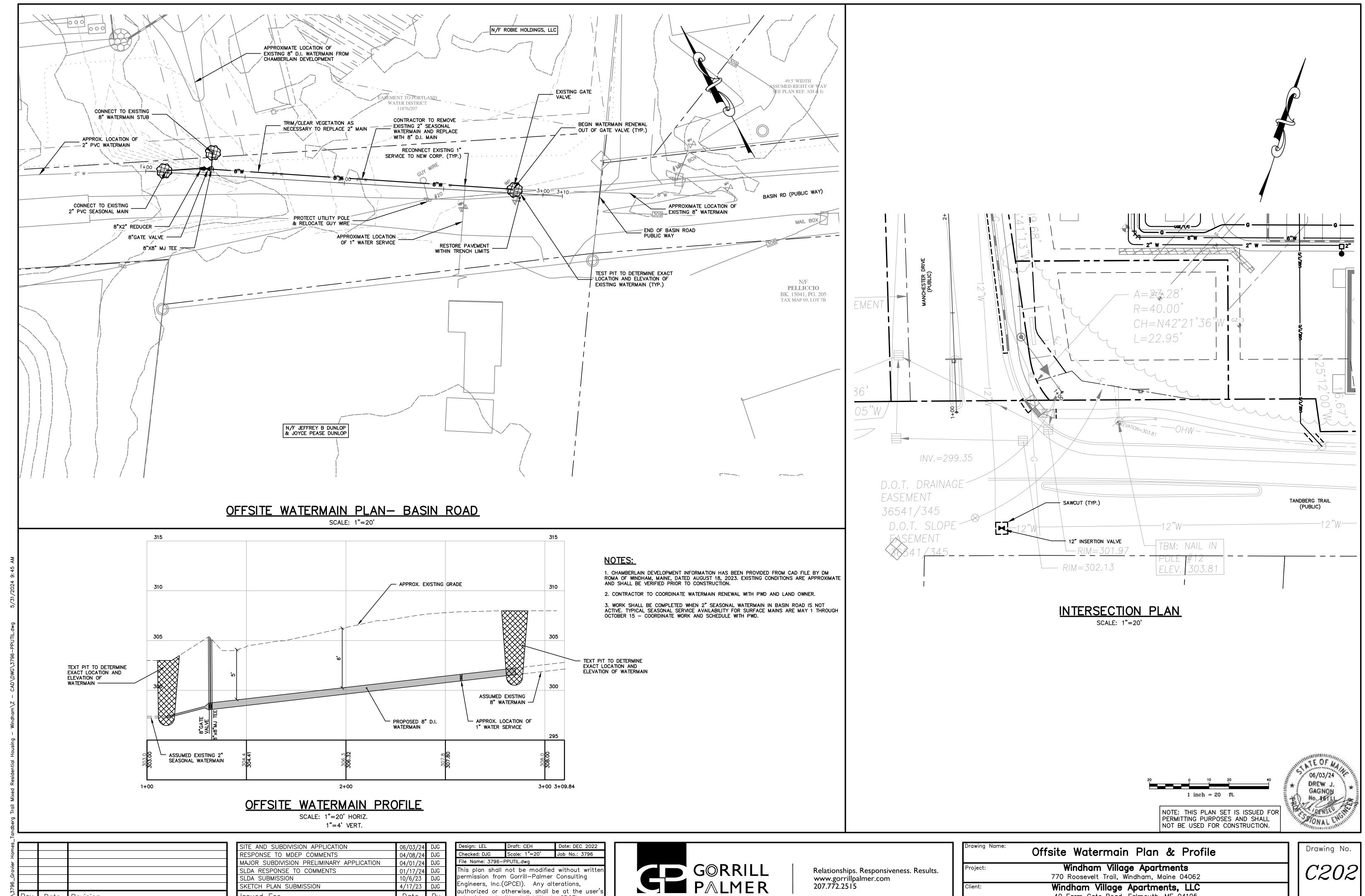












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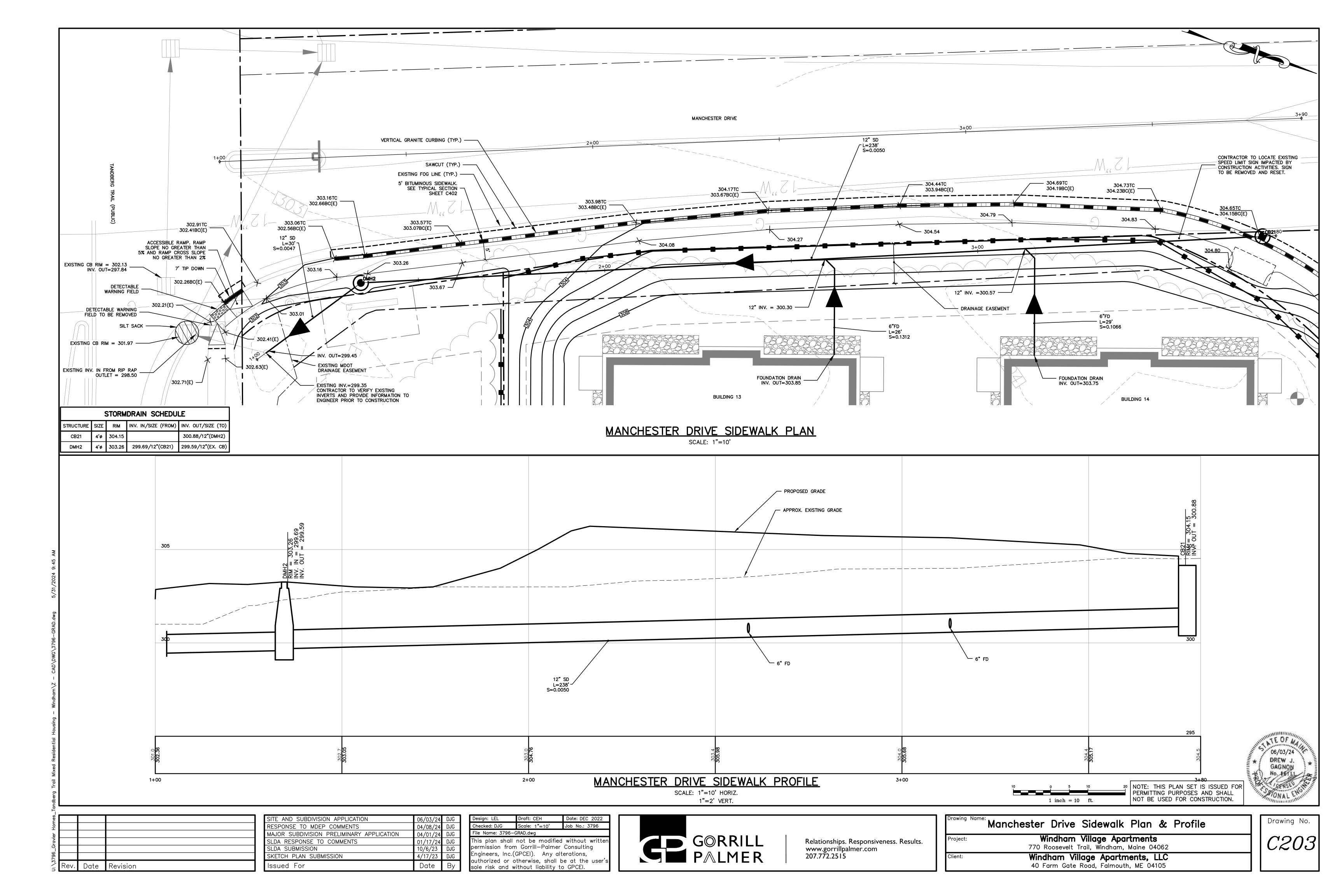
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Revision

Date

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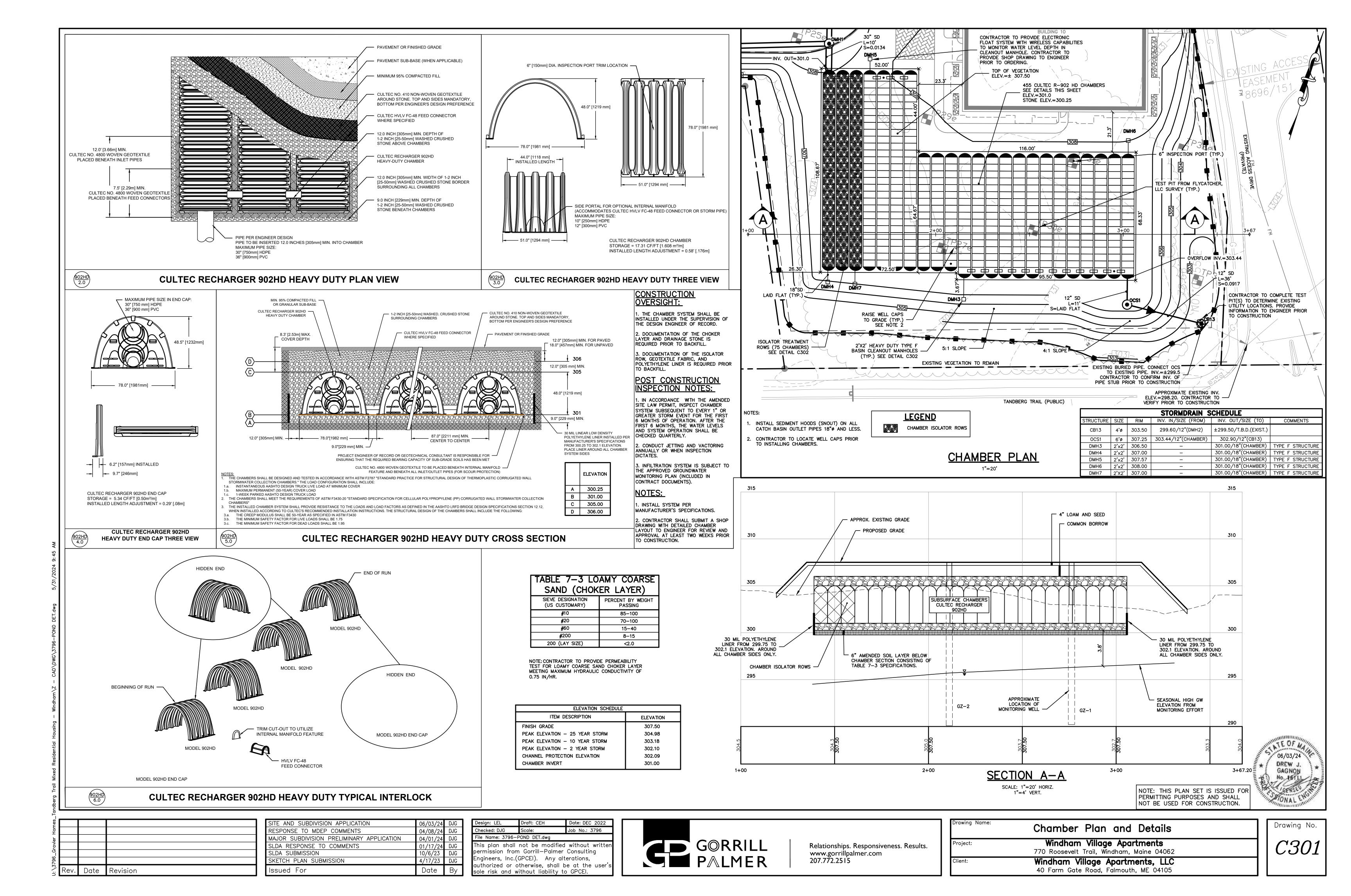
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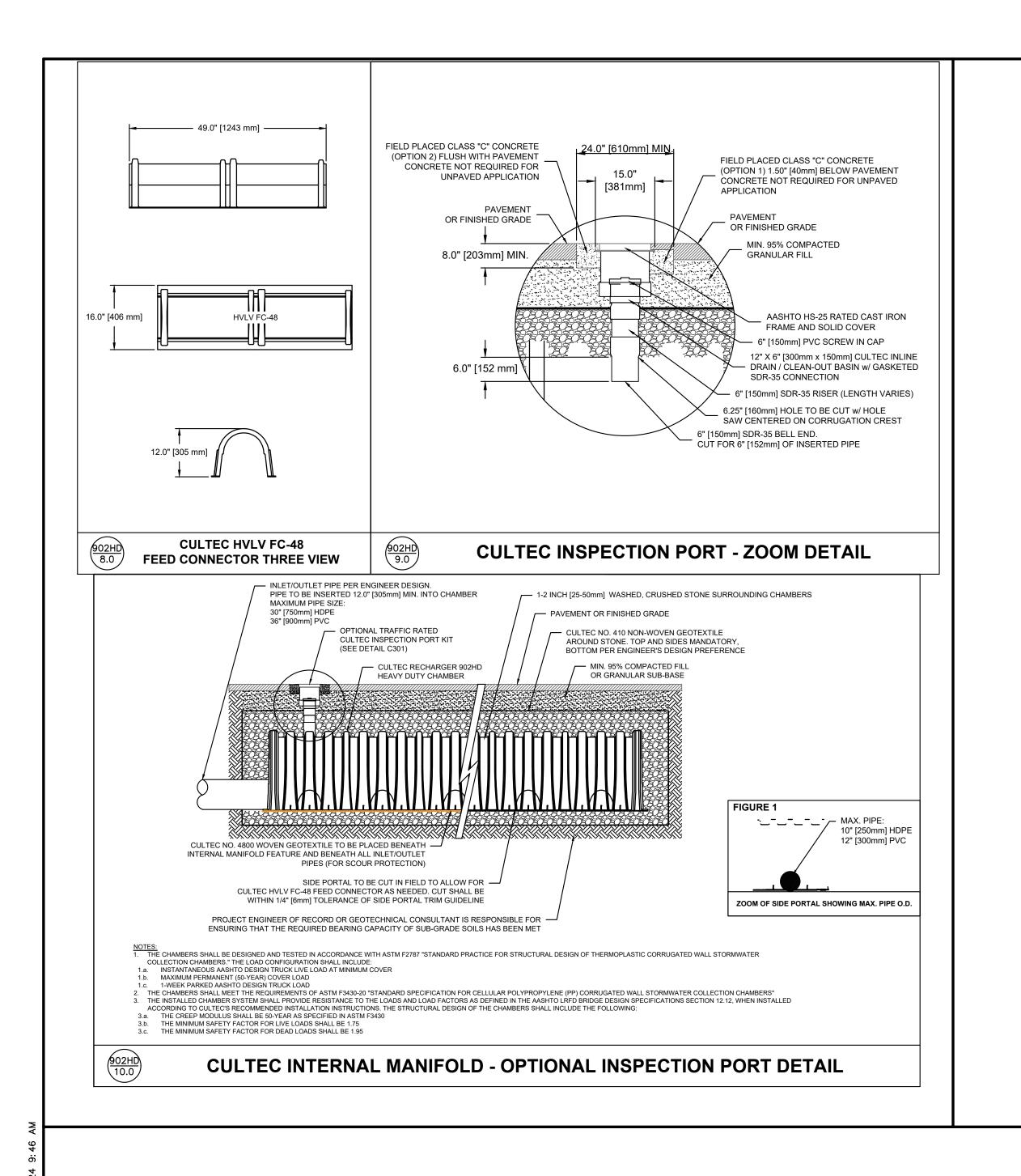
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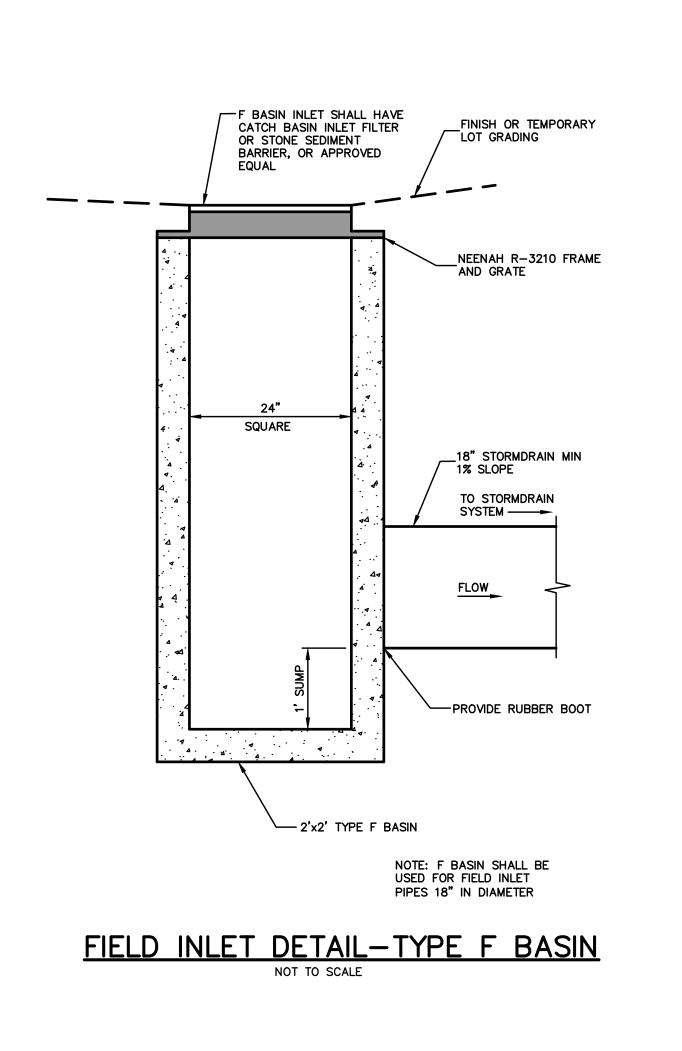
Manchester Drive Sidewalk Cross Sections

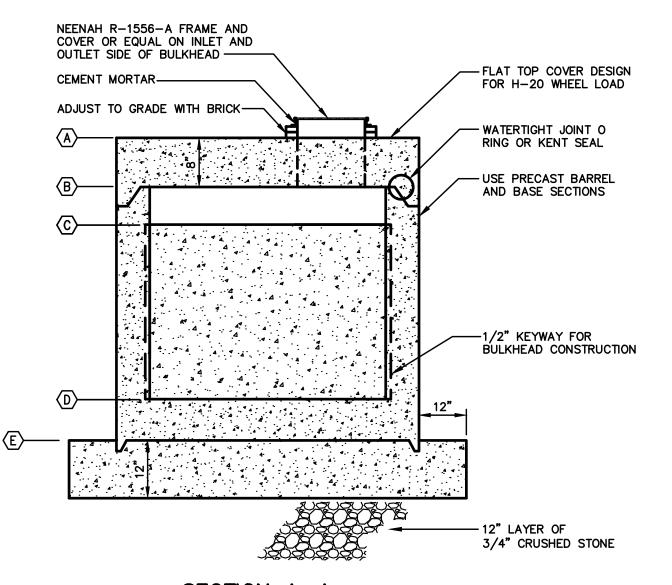
Windham Village Apartments
770 Roosevelt Trail, Windham, Maine 04062
Windham Village Apartments, LLC
40 Farm Gate Road, Falmouth, ME 04105

Drawing No.

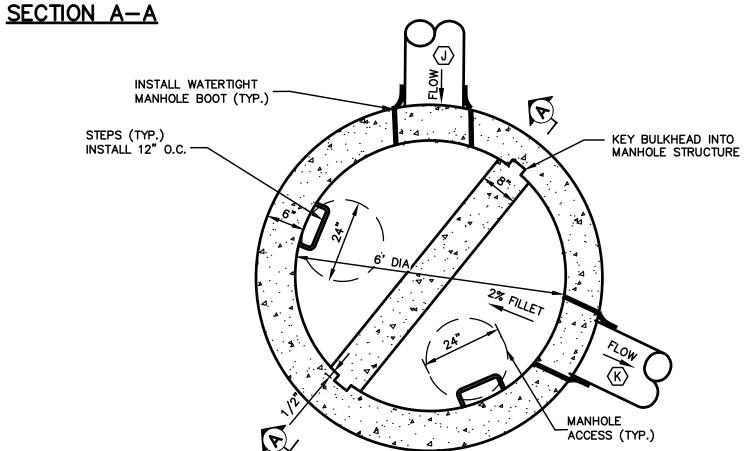








SCHEDULE C **ELEVATION** ITEM DESCRIPTION 0CS 1 A TOP OF STRUCTURE 306.75 306.08 B UNDERSIDE TOP SLAB C TOP CONCRETE BULKHEAD 304.98 302.90 D MANHOLE INVERT E BOTTOM OF STRUCTURE 301.90 PIPE DIAMETER 12" 303.44 INVERT IN PIPE DIAMETER 12" INVERT OUT 302.90

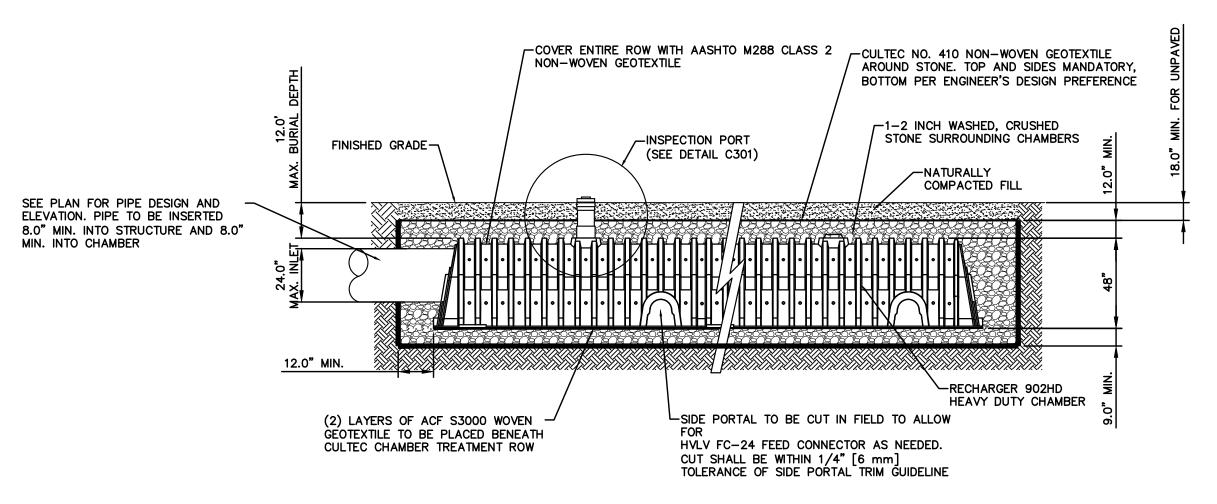


PLAN VIEW OSC 1

6' OUTLET CONTROL STRUCTURE (OCS 1)

SEE SCHEDULE C

NOT TO SCALE



### CHAMBER TREATMENT ROW

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

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RESPONSE TO MDEP COMMENTS	04/08/24	DJ0
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJ(
SLDA RESPONSE TO COMMENTS	01/17/24	DJ(
SLDA SUBMISSION	10/6/23	DJ(
SKETCH PLAN SUBMISSION	4/17/23	DJ(
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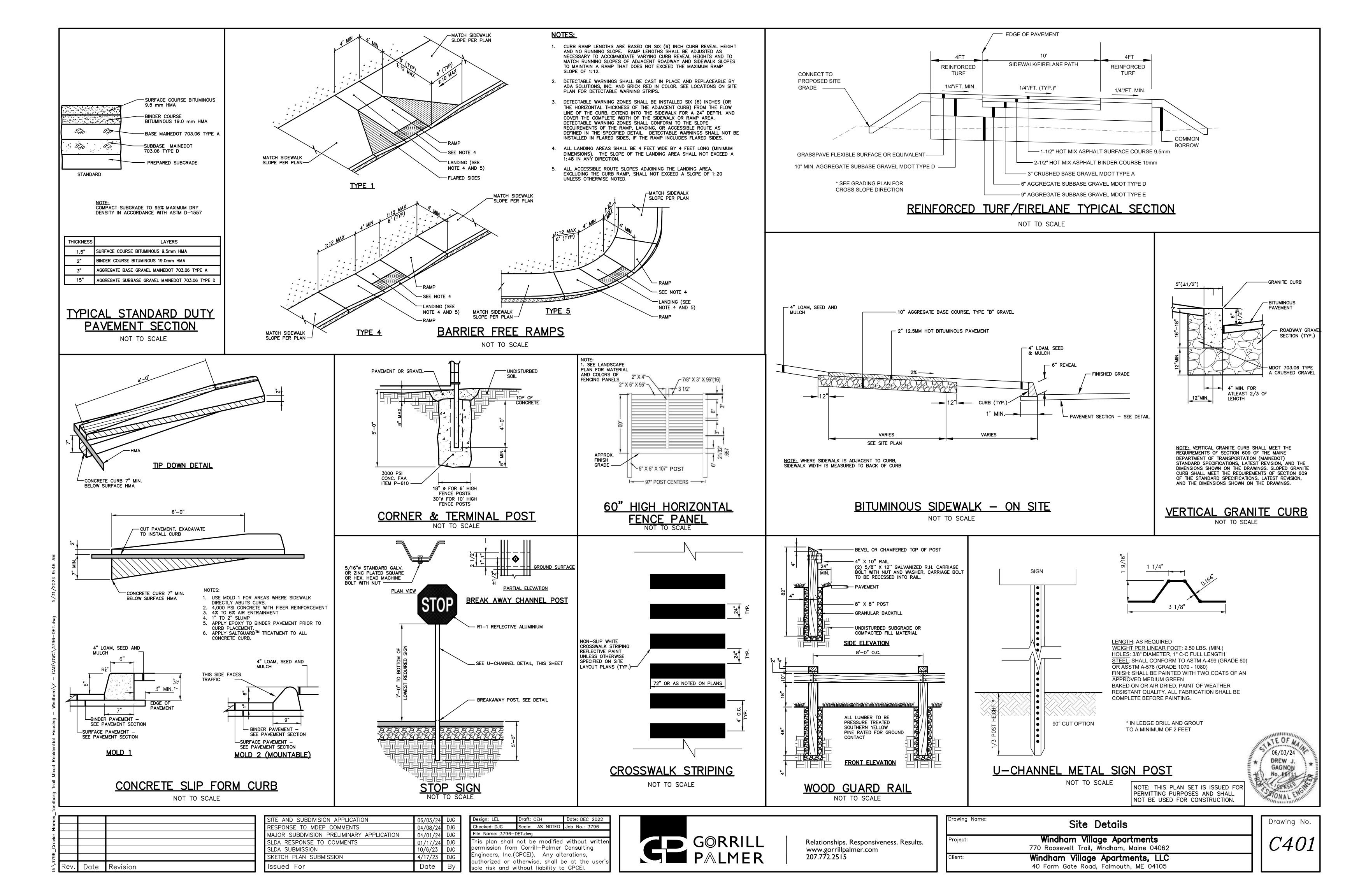
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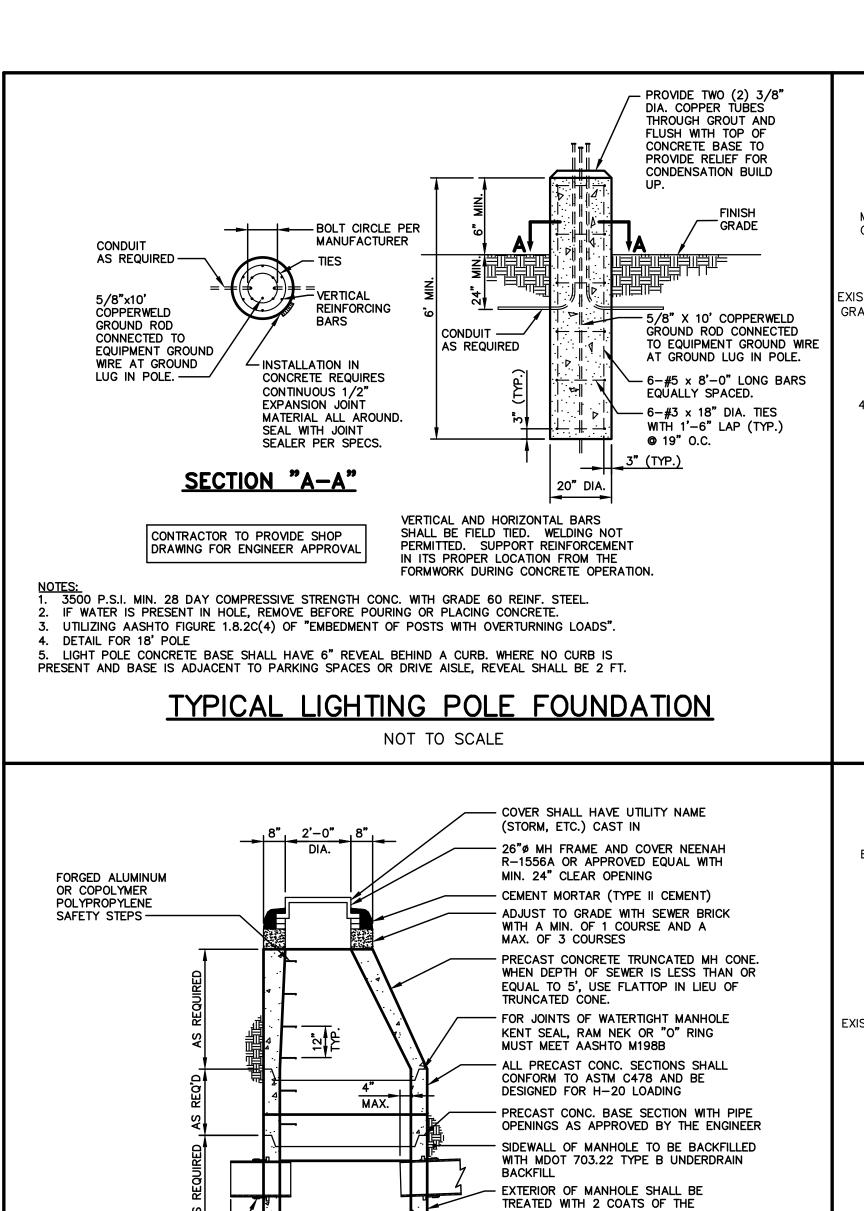
Drawing Name:	Chamber Details
Project:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062
Client:	<b>Windham Village Apartments, LLC</b> 40 Farm Gate Road, Falmouth, ME 04105

Drawing No.

06/03/24

GAGNON





FOLLOWING:

4'-0" PRECAST DRAIN STORM MANHOLE

NOT TO SCALE

CONCENTRIC

**BARREL** 

SECTION

4'-0"

BASE

SECTION

SECTION

CONE

HAUNCHED CONE

FOR RETANGULAR

FRAMES —

• TREMCO 112 FOUNDATION COATING

• MINWAX FIBOROUS BRUSH COAT

PROVIDE EPOXY COATED PRECAST

INVERTS ON ALL STORM MANHOLES.

CHANNELS TO MATCH PIPE DIMENSION

- 12" THICK 3/4" CRUSHED STONE BASE

- NEENAH 24" SQUARE DUCTILE IRON

ADJUST TO GRADE WITH BRICK

-CEMENT MORTAR (TYPE 2 CEMENT)

ALL CONCRETE TO HAVE A MIN.

DESIGN LOAD FOR H-20 WHEEL

CATCH BASIN TO CONFORM TO

REINFORCE TO 0.12 IN SQ./LF..

-ALL PIPES TO HAVE A

WATERTIGHT SEAL

ASTM-C478 SPECIFICATIONS.

OF 4,000 PSI COMPRESSIVE

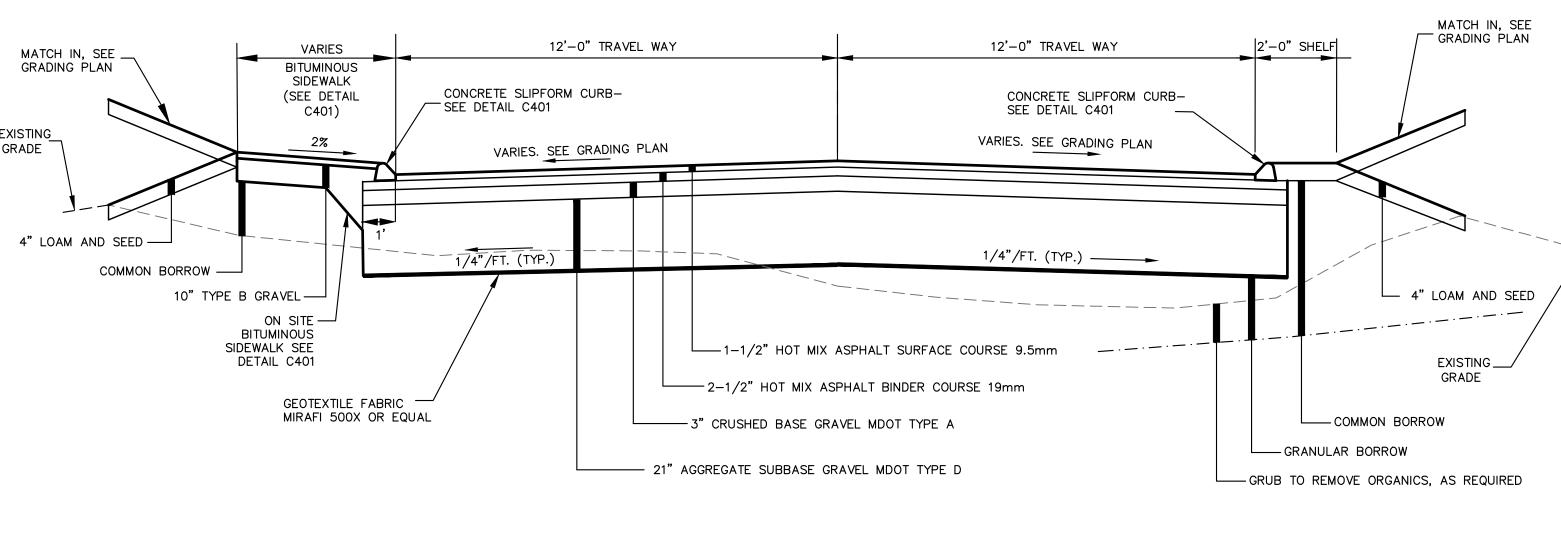
STRENGTH AT 28 DAYS.

WITH A MIN. OF 1 COURSE

AND A MAX. OF 4 COURSES

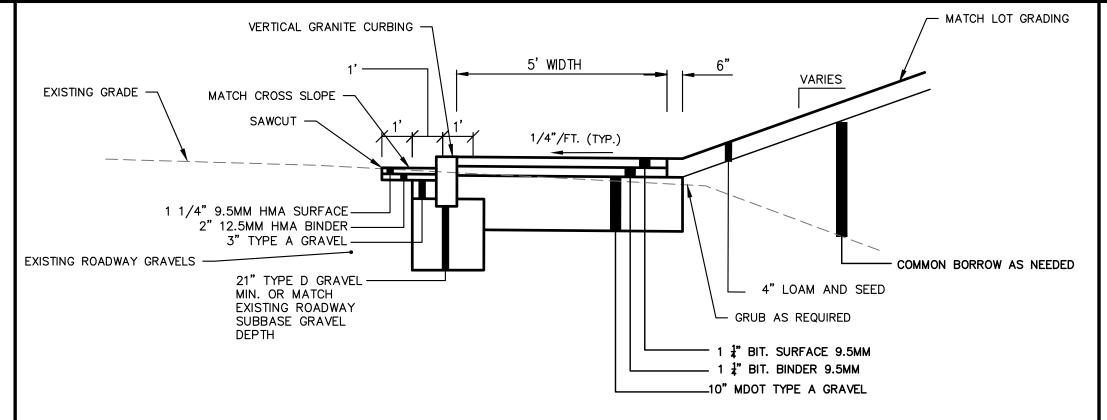
FRAME AND GRATE OR EQUAL

• CS55 BY GAGNE PRECAST



### TYPICAL ACCESS DRIVE TYPICAL SECTION

NOT TO SCALE



SIDEWALK TYPICAL SECTION - OFF SITE

. FILTER LAYER SHALL CONSIST OF A SANDY SOIL WITH BETWEEN 4% AND 7% FINES (PASSING #200 SIEVE).

PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136-STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE

. SEE GRADING PLAN FOR FOUNDATION DRAIN CONNECTION TO DRIP EDGE PIPING. CONTRACTOR TO INCREASE DEPTH OF THE 8"

3. OVERSIGHT OF THE CONSTRUCTION OF ROOF DRIP EDGE FILTERS ON EACH BUILDING SHALL BE PROVIDED BY A QUALIFIED

3. SUBMIT 75 LB. SAMPLE OF EACH TYPE OF MATERIAL IN AIR TIGHT CONTAINERS TO TESTING FACILITY.

AGGREGATES, ON EACH TYPE OF THE SAMPLE MATERIAL AND SUBMIT RESULTS TO PROJECT ENGINEER.

UNDERDRAIN TYPE B LAYER TO MATCH FOUNDATION DRAIN INVERT WHERE APPLICABLE.

- FRONTS AND REARS OF APARTMENT BUILDINGS = 5' WIDTH X 1.5' DEPTH

FINISH GRADE

2. SUBMIT RESULTS OF FIELD AND LABORATORY TESTING TO PROJECT ENGINEER.

GENERAL NOTES FOR MANHOLES AND CATCH BASINS

. ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 lbs. PER SQ. INCH AT THE END OF 28 DAYS, UNLESS

MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.

3. PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC.

4. ALL STORM AND SEWER MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE LOCATED 8" FROM THE CENTER OF THE COVER.

COVER. ALL STORMWATER/DRAIN MANHOLE COVERS SHALL HAVE "DRAIN" CAST INTO THE COVER.

5. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE

6. ALL MANHOLE RISERS SHALL BE NEENAH 24" OR APPROVED EQUAL. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE MA AND SA.

3. ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.

CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35. 10. EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE

SEE DETAIL (TYP. OF 4) REINFORCED WITH 6x6 10/10 26'-0" CONCRETE PAD 8'-4 2/3" k 8'-4 2/3", — 2"x4" P.T. CROSS BRACING TOP & BOT. 2x4 P.T. WOOD BLOCKING 4 ← 4"x4"x8' LG. PRESSURE TREATED POST (8 PLACES) -3"ø SCH 40 GALVANIZED SONO TUBE POST W/2-GALV. HINGES 1"x6" P.T. FENCE PICKETS ◎ P.T. WOOD 5s" O.C. ATTACHED TO 2"x4" BLOCKING PRESSURE TREATED FENCE FRAME W/GALV. NAILS 3' WIDE -ACCESS DOOR (WHERE SHOWN ON -18" LG. CANE BOLT (PROVIDE SLEEVE IN CONC. FOR BOLT) TYP. PLANS) BOTH SETS OF GATES 18"ø x 3'-6" DEEP-SONOTUBE

\_½ "x 5" LG. GALV. BOLTS

**2**™ 2"ø SCH. 40 GALV. GATE FRAME

2"x4" P.T. WOOD BLOCKING

DETAIL'A'

TREATED FENCE FRAME

- 2"x4" PRESSURE

6d GALV. -

NAILS

COUNTERSUNK INTO 2"x4" BLOCKING

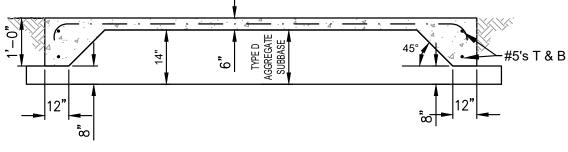
SECTION A-A

6" DIA. CONCRETE - FILLED BOLLARD,

1. DIMENSIONS FOR PIPE DIAMETERS ARE NOMINAL OUTSIDE DIAMETERS. 2. REFER TO PLANS FOR LOCATION OF DUMPSTER PAD(S).

### SOLID WASTE ENCLOSURE

NOT TO SCALE



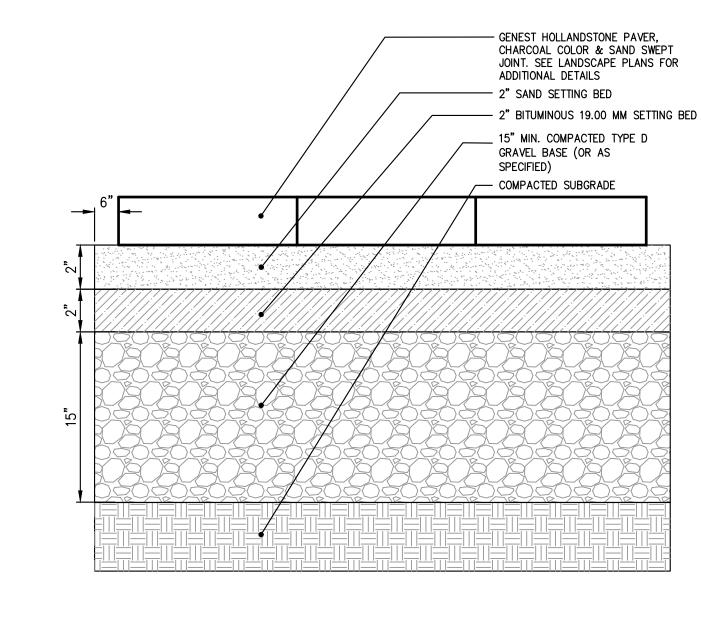
- REFER TO PLANS FOR LOCATION OF BICYCLE RACK PADS AND DIMENSIONS.
- REFER TO LANDSCAPING PLANS FOR BICYCLE RACK DETAILS. 3. MINIMUM COMPRESSIVE STRENGTH 4,000 PSI AT 28 DAYS WITH STEEL REINFORCEMENT

### CONCRETE BICYCLE RACK PAD DETAIL

NOT TO SCALE

06/03/24 DREW J. GAGNON No. 1611

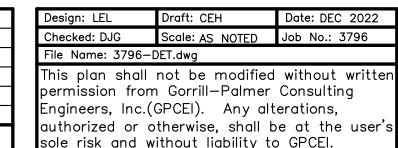
NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



### PAVER SECTION DETAIL

### ్ల్లో ్లోల్లో కొర్కు కార్ట్లో కార్ట్లో 12" THICK 3/4" CRUSHED STONE BASE 4'-0" PRECAST CATCH BASIN NOT TO SCALE

	SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
	RESPONSE TO MDEP COMMENTS	04/08/24	DJG
	MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
	SLDA RESPONSE TO COMMENTS	01/17/24	DJG
	SLDA SUBMISSION	10/6/23	DJG
	SKETCH PLAN SUBMISSION	4/17/23	DJG
	Issued For	Date	Ву



DRIP EDGE FILTER SECTION



- BUILDING FOUNDATION

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Drawing Name:	Site & Drainage Details
Project:	Windham Village Apartments
Client	770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No. *C402* 

ATE OF MA

REFER TO

DETAIL 'A'

1" x 6" P.T. FENCE PICKETS —

SECTION B-B

-4"x4" WOOD POSTS BOLTED TO

MANUFACTURED BY SIMPSON

STRONG TIE COMPANY, INC., OR

POST BASES WITH 2-5/8"

GALV. BOLTS (#CB44 AS

6" CONCRETE SLAB

U-SHAPED, 7GA. 2" WIDE GALV.

ATTACHED TO WOOD BLOCKING

18" LG. CANE BOLT

(ONE PER SET OF

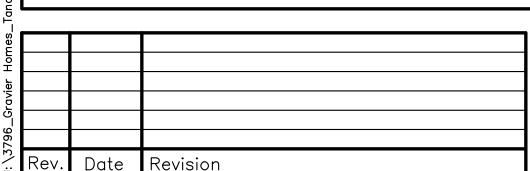
-PRESSURE TREATED FENCE PICKETS ATTACHED TO FENCE

FRAME WITH GALANIZED NAILS

-4"x4"x8' LG. PRESSURE

TREATED POST (8 PLACES)

WITH GALV. NAILS



FLEXIBLE SLEEVE CAST

BE INTERPACE, LOCK

JOINT OR EQUAL-

IN PRECAST SECTION TO

"THE SNOUT" SHALL BE PROVIDED

ON ALL CATCH BASIN PIPES. SEE

2. FRAME AND GRATE SHALL HAVE

ELIMO-PILLOW FOR ALL CATCH BASINS WITHIN THE PARKING LOT

4. PROVIDE A FIXED EYE HOOK FOR

24" MIN. CLEAR OPENING.

3. CONTRACTOR TO PROVIDE

PILLOW CONNECTIONS.

DETAIL C404.

**DRIP EDGE NOTES:** 

B. FILTER LAYER MATERIAL

C. UNDERDRAIN LAYER

THE FOLLOWING MATERIAL SHALL BE SUBMITTED:

8. RESERVOIR LAYER DIMENSIONS ARE AS FOLLOWS:

ENGINEER, WITH INSPECTION REPORTS SENT TO THE LAND BUREAU.

- SIDES OF APARTMENT BUILDINGS = 2.5' WIDTH X 1.5' DEPTH

1.5' RESERVOIR LAYER: MDOT

703.22 TYPE C UNDERDRAIN

12" FILTER LAYER: 12" THICKNESS SANDY SOIL WITH 4-7% FINES -

SPECIFICATIONS IN NOTE #1,

8" UNDERDRAIN LAYER: MDOT

703.22 TYPE B UNDERDRAIN

PROVIDE GRADATION.

MATERIAL

BACKFILL MAY BE USED IF MEETING

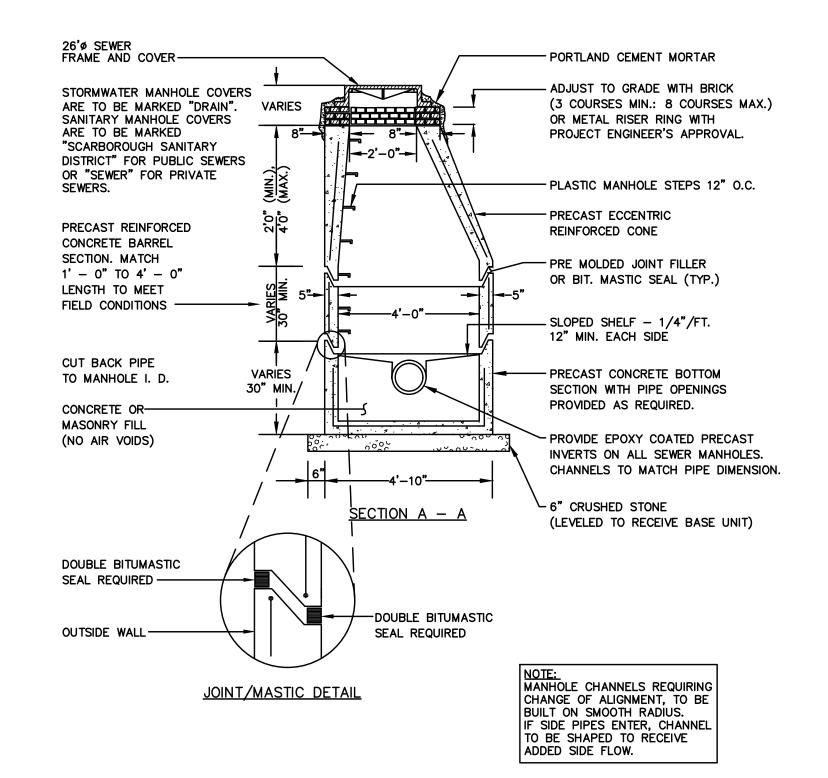
MATERIAL OR 3/4" DIA.

CRUSHED STONE -

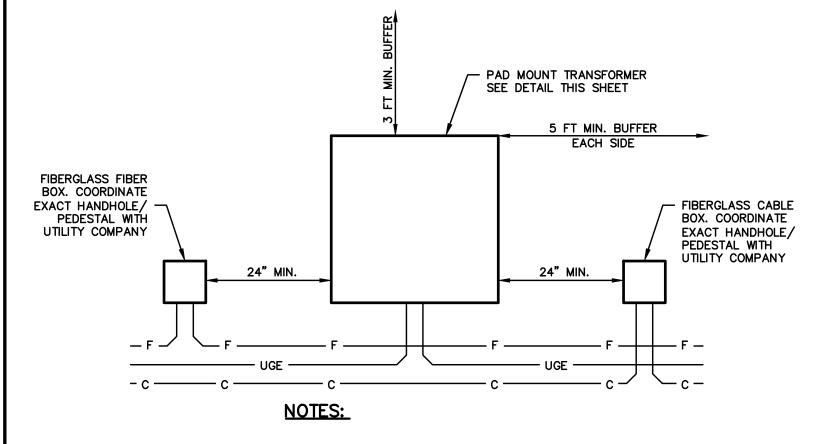
6" PERFORATED DRIP EDGE PIPE

- SHORT SIDE OF COMMUNITY BUILDING = 3' WIDTH X 1.5' DEPTH

# + AS SPECIFIED MANHOLE FRAME AND COVER ----



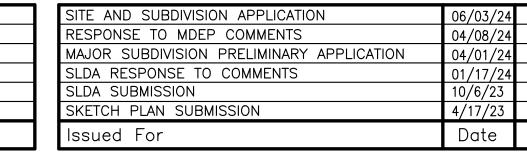
### PRECAST CONCRETE SEWER MANHOLE NOT TO SCALE



- 1. SEE CABLE AND FIBER STANDARDS FOR PEDESTAL SIZING
- 2. DETAIL SHOWN FOR TRANSFORMER AND PEDESTAL BOX LAYOUT PURPOSES. SEE UTILITY TRENCH DETAIL FOR CONDUIT LAYOUT,
- 3. BONDING AND GROUNDING WIRES NOT SHOWN FOR CLARITY. REFER TO CMP HANDBOOK FOR ELECTRICAL DETAILS.

### TYPICAL TRANSFORMER PAD LAYOUT DETAIL NOT TO SCALE

Revision



### Draft: CEH Scale: AS NOTED Job No.: 3796 File Name: 3796-DET.dwa nis plan shall not be modified without written ermission from Gorrill—Palmer Consulting Engineers, Inc.(GPCEI). Any alterations,

authorized or otherwise, shall be at the user'

le risk and without liability to GPCEI.

## Date: DEC 2022

FIRST STEP TO BE 6" BELOW TOP OF CONE

PLASTIC MANHOLE STEPS

NOT TO SCALE

-US FOUNDRY COVER

SECTION FOR BUILDUP

USF NO. 7621

- FINISH GRADE

- BACKFILL WITH EXCAVATED

MATERIAL OR SELECT

BACKFILL AS REQUIRED

- METALLIC TRACER

-SAND BEDDING &

POLYMER POLYPROPYLENE

CLEAN-OUT PLUG -

1/8 BEND-

6" LOAM, SEED, AND MULCH OR PAVEMENT SECTION AS DETAILED

IN THIS PLAN SET

SANITARY / STORM PIPE

2'-0" MIN.

NOTE:
GAS LINE TO BE INSTALLED BY OTHERS. SITE CONTRACTOR IS RESPONSIBLE FOR EXCAVATION AND BACKFILL OF THE GAS LINE AND PLACEMENT OF THE WARNING TAPES AND TRACER.

GAS SERVICE TRENCH SECTION

NOT TO SCALE

**CLEANOUT** 

NOT TO SCALE

3/8" GRADE 60 STEEL REBAR-

- 15 5/16**"** ---

# G©RRILL PALMER

FOR THICKNESS

4/3 I.D. PIPE + 1'-6 (MIN. 3'-0) -

### Relationships. Responsiveness. Results. www.gorrillpalmer.com 207.772.2515

TRENCH SECTION

NOT TO SCALE

EMBEDMENT MATERIAL

SEE SCHEDULE

### PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION. **Utility Details** Windham Village Apartments 770 Roosevelt Trail, Windham, Maine 04062 Windham Village Apartments, LLC

40 Farm Gate Road, Falmouth, ME 04105

### **GENERAL SEWER NOTES:**

. ALL MANHOLES TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE CLASS "AA" AND HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED. . PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM

3. ALL MANHOLES SHALL HAVE TWO COATS OF BITUMINOUS WATERPROOFING APPLIED TO THE EXTERIOR SURFACE.

4. MANHOLE LEAKAGE TESTING IS REQUIRED IN ACCORDANCE WITH THE SANITARY DISTRICT REQUIREMENTS. 5. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35.

6. NO HOLES ARE ALLOWED ON SEWER MANHOLE COVERS. 7. ALL SEWER PIPES USED SHALL PROVIDE FLEXIBLE JOINT WITHIN FOLLOWING DISTANCE:

D.I. PIPE - NONE REQUIRED PVC (ASTM 3034) - UP THROUGH 15" DIAMETER - NONE REQUIRED PVC (ASTM F679) - LARGER THAN 15" DIAMETER - 48" to 60" RCP PIPE - 48" HDPE - SAME AS PVC

PIPES SHALL HAVE GASKETS AND BE INSTALLED WITH BELLS UPHILL. 8. MINIMUM OF COVER IS 5 FT, OR 4 FT WITH 2 INCHES OF INSULATION.

9. THE RUBBER BOOT FOR THE SEWER PIPE PENETRATION INTO THE MANHOLE SHALL HAVE AT LEAST 2 STAINLESS STEEL CLAMPS. 10. ALL SEWERS (GRAVITY/FORCE MAIN) SHALL HAVE DETECTABLE UNDERGROUND UTILITY MARKING TAPE AND ALL PUBLIC SEWERS SHALL HAVE TRACER WIRE IN ACCORDANCE WITH DISTRICT

11. ALL SEWERAGE FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WATER RESOURCE RECOVERY DISTRICT

(WRRD) SPECIFICATIONS... 12. ALL SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE WWRD. PRIOR TO THE SSD ALLOWING CONNECTION TO THE SEWER, THE APPLICANT IS REQUIRED TO SUBMIT AN APPLICATION TO CONNECT TO THE SEWER AND TO PAY ALL FEES FOR THE PROPERTY

13. SEWER INSTALLATION SHALL BE OBSERVED BY THE WWRD OR THEIR REPRESENTATIVE.

(LOTS) TO BE SERVED.

PRIOR TO ANY SEWER WORK.

WWRD STANDARDS.

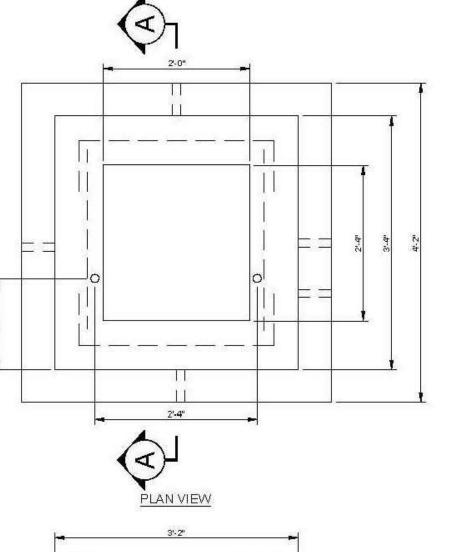
14. NO FOUNDATION DRAINS, ROOF DRAINS, OR OTHER GROUNDWATER OR STORMWATER DRAINAGE CONNECTIONS SHALL BE MADE TO THE

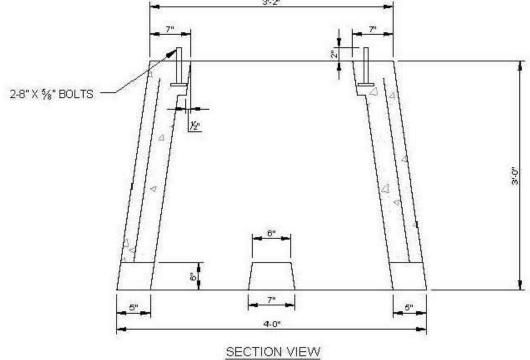
15. GRAVITY SEWER LEAKAGE TESTING IS REQUIRED IN ACCORDANCE

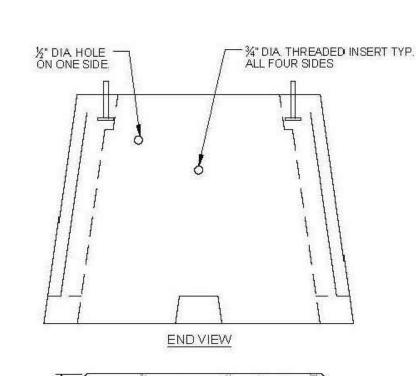
WITH THE WWRD. 16. SEWER DEFLECTION TESTING IS REQUIRED IN ACCORDANCE WITH 17. PROVIDE MINIMUM 48-HOUR NOTICE TO THE SANITARY DISTRICT

18. A CCTV INSPECTION OF THE INSTALLED SEWER IS REQUIRED AT THE COMPLETION OF THE PROJECT. 19. RECORD DRAWINGS SHALL BE PROVIDED TO THE SANITARY DISTRICT UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH

20. SEWER SERVICE TIE SHEETS SHALL BE PROVIDED FOR EACH SERVICE CONNECTION UPON COMPLETION OF THE CONSTRUCTION.



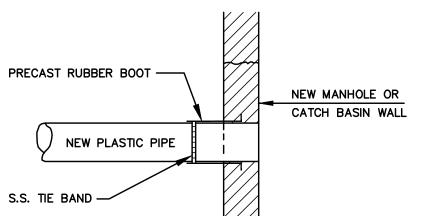




OPTIONAL COVER TO USE AS PULLBOX

- 1. CONCRETE MINIMUM COMPRESSIVE STRENGTH 5,000 PSI @ 28 DAYS WITH STEEL REINFORCEMENT
- 2. AS PER CENTRAL MAINE POWER COMPANY REQUIREMENTS.
- 3. MANUFACTURED BY: SUPERIOR CONCRETE AUBURN, ME 207-784-9144 OR EQUAL

### SINGLE PHASE TRANSFORMER PAD NOT TO SCALE

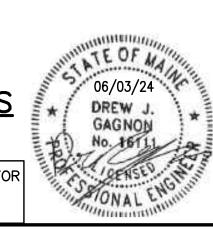


METHOD 2 - NEW CONSTRUCTION

### PLASTIC PIPE CONNECTIONS

NOT TO SCALE

NOTE: THIS PLAN SET IS ISSUED FOR



### MATCH PROPOSED PAVEMENT SERVICE LINE E SECTION OR LOAM & SEED AS REQUIRED ---SERVICE LINE C SUITABLE BACKFILL FREE OF FROZEN LUMPS, ROCKS OR STONES LARGER THAN 5", DEBRIS OR RUBBISH— PLASTIC MARKER TAPE IN CENTER OF TRENCH APPROX. 12" BELOW FINAL GRADE ---SERVICE LINE A-SERVICE LINE D (IF NEEDED) -INSTALL PULL ROPE IN EACH CONDUIT (TYP)

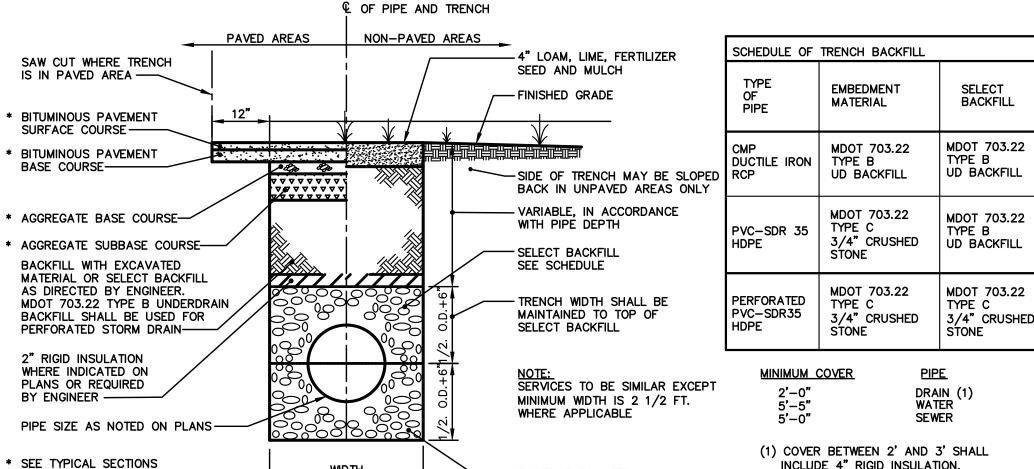
TRENCH

CONDUIT TYPE SCHEDULE					
SERVICE	CONDUIT SIZE	GRASS & PAVED AREAS	UTILITY	REMARKS	
A	2-2.5"	SCHEDULE 40 PVC ELECTRICAL GRADE	PRIMARY POWER	SEE NOTE	
В	1"	SCHEDULE 40	TELEPHONE	SEE NOTE	
С	1"	SCHEDULE 40	FIBER	SEE NOTE	

1) ONE CONDUIT CAPPED FOR SPARE, PROVIDE GALVANIZED STEEL LONG SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10" ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS. 2) REFER TO UTILITY PLAN AND ELECTRICAL PLANS (PREPARED BY ALLIED ENGINEERING) FOR ADDITIONAL CONDUIT SCHEDULE

### <u>UTILITY TRENCH - PRIMARY AND SECONDARY</u> POWER, TELEPHONE, AND CABLE

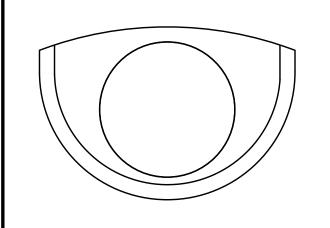
NOT TO SCALE

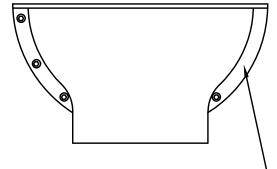


INCLUDE 4" RIGID INSULATION. COVER BETWEEN 3' AND 4' SHALL INCLUDE 2" RIGID INSULATION. (2) SEWER PIPE SHALL HAVE DETECTABLE UNDERGROUND UTILITY MARKING TAPE AND TRACER WIRE IN

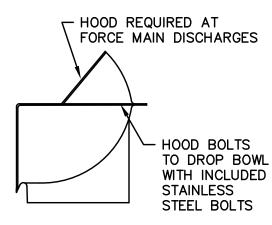
ACCORDANCE WITH SCARBOROUGH SANITARY DISTRICT STANDARDS.

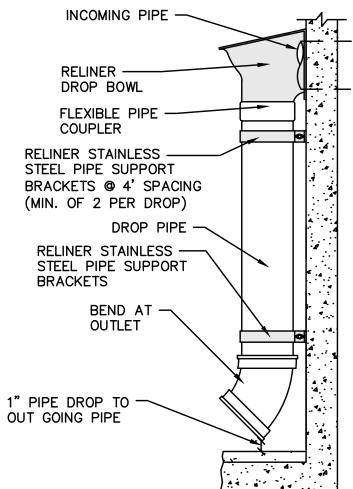
Drawing No. C403'





DROP BOWL MOUNTS TO WALL WITH A RELINER STAINLESS STEEL ANCHOR BOLT ASSEMBLIES





No. OF DROPS	PIPE DIA.	REQUIRED MANHOLE
1	≤10"	MIN. 5'-0" DIAMETER (COORDINATE WITH SSD FOR MORE THAN 1 DROP)

### DROP BOWL DIMENSIONS

	Γ	ANCHOR BOLT			
SERIES	+	WIDTH "A"	DEPTH "B"	HEIGHT "C"	QUANTITY & TYPE
A4	4"	12"	9.5"	8.9"	4 - 1" TAMP-IN
A6	6"	12"	11.1"	8.8"	4 - 1" TAMP-IN
B8	8	18"	13.0"	11.5"	4 - 1" TAMP-IN
B10	10 <b>"</b>	18"	13.5"	11.5"	4 - 1" TAMP-IN

### NOTES:

- 1. INSIDE DROP BOWL SHALL BE A RELINER DROP BOWL AS MANUFACTURED BY DURAN, INC. 2. RELINER INSIDE DROP BOWLS ARE FABRICATED IN MARINE GRADE FIBERGLASS AND
- FINISHED IN BRIGHT WHITE GEL COAT.

  3. USE RELINER STAINLESS STEEL PIPE BRACKETS TO SUPPORT DROP PIPE. EXTERNAL PIPE COUPLER REQUIRED. PROVIDE SWEEP AT DROP PIPE OUTLET.

### DROP MANHOL NOT TO SCALE

- STANDARD TOP

BLOCK (TOP - 28")

FENCE - COORDINATE WITH LANDSCAPE ARCHITECT

- BACKFILL WITH STRUCTURAL FILL

MATERIAL COMPACTED TO 92%

EXISTING GRADE —

OPTIMUM DRY DENSITY

- 4" LOAM, SEED & MULCH

**DURING INSTALLATION TO** 

ENGAGE SHEAR KNOBS

STANDARD MIDDLE

BLOCK (MIDDLE - 41")

3/4" CRUSHED STONE "CHIMNEY

NON-WOVEN GEOTEXTILE FABRIC

- STANDARD BOTTOM

— 6" PERFORATED UNDERDRAIN PIPE TO DAYLIGHT

LARGE BLOCK RETAINING WALL TYPICAL SECTION & NOTES

FROM EACH END OF RETAINING WALL

BLOCK (BOTTOM - 41")

MIRAFI 140N OR EQUIVALENT

DRAIN" INFILL TO A MINIMUM OF 12" OFF BACK FACE OF WALL

- COMMON

BACKFILL

### NOTES:

- 1. RETAINING WALL MATERIAL SHALL BE REDI-ROCK (OR APPROVED EQUAL) LARGE BLOCK SEGMENTAL CONCRETE UNIT MASONRY RETAINING WALL SYSTEM WITH LEDGESTONE TEXTURED FINISH.
- 2. LARGE BLOCK SEGMENTAL CONCRETE UNIT MASONRY RETAINING WALLS REQUIRE UNDERDRAIN, CRUSHED STONE INFILL AND GRANULAR BORROW BACKFILL.
- 3. THE APPLIED FACTORED BEARING PRESSURE FOR PRECAST CONCRETE BLOCK GRAVITY WALL SHALL NOT EXCEED 3.0 KSF FOR UNREINFORCED WALL.
- 4. ALL BLOCKS AT THE ENDS OF THE WALL(S) MUST BE FINISHED ON THREE SIDES: THE FRONT, THE TOP AND THE EXPOSED END. BLOCKS WITH EXPOSED SURFACES AT THE ENDS AND TOP OF THE WALL MUST BE MANUFACTURED FOR THIS PURPOSE AND MUST BE FINISHED TO MATCH THE FACE OF THE BLOCKS.
- 5. PIPED DRAINAGE SHALL BE INCLUDED IN THE DESIGN OF THE
- 6. A MINIMUM EMBEDMENT DEPTH OF 6" IS REQUIRED IN THE DESIGN AND CONSTRUCTION OF THE PRECAST CONCRETE BLOCK GRAVITY WALL.
- 7. THE FACE QUALITY OF PRECAST CONCRETE BLOCK WALL WILL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- 8. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF RETAINING WALL DESIGN INCLUDING GLOBAL STABILITY STAMPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MAINE, FOR ALL RETAINING WALLS.

### THRUST BLOCK SCHEDULE MINIMUM BEARING AREA (SQUARE FEET)

	PIPE SIZE								
Nominal Dia. (in)	4	6	8	10	12	16	20	24	
Tees, Caps, Plugs, & Tapping Sleeves	1.05	2.32	4.15	6.37	9.15	16.23	25.44	36.58	
90 Degree Bends	1.48	3.29	5.86	9.01	12.93	22.96	35.97	51.73	
45 Degree Bends	0.80	1.78	3.17	4.88	7.00	12.42	19,47	28.00	
22½ Degree Bends	0.41	0.91	1.62	2.49	3.57	6.33	9.92	14.27	
11½ Degree Bends	0.21	0.46	0.81	1.25	1.79	3,18	4.99	7.17	

System Pressure: 100 psi Safety Factor: 1.5 Soil Bearing Capacity: 2,000 psf

### THRUST BLOCK NOTES:

UNLESS NOTED OTHERWISE.

1. THE MINIMUM BEARING AREAS SHOWN ABOVE ARE BASED ON A SYSTEM PRESSURE OF 100 PSI. IF THE SYSTEM PRESSURE IS ABOVE 100 PSI, INCREASE THE NOTED AREAS PROPORTIONAL TO THE ACTUAL SYSTEM PRESSURE. FOR EXAMPLE, IF THE ACTUAL SYSTEM PRESSURE IS 160 PSI, MULTIPLY THE ABOVE VALUES BY

PLACE THRUST BLOCKS SUCH THAT THE LENGTH (L) OF THE BLOCK IS APPROXIMATELY TWICE AS LONG AS THE DEPTH (D).
 PLACE THRUST BLOCKS AGAINST UNDISTURBED SOIL.
 PLACE THRUST BLOCKS ALONG THE FULL LENGTH OF THE FITTING TO MAXIMIZE BEARING AREA.

5. PLACE 2 LAYERS OF POLYETHYLENE OR ROOFING PAPER AROUND FITTINGS PRIOR TO PLACEMENT OF THE CONCRETE TO CREATE A BOND BREAK & PROTECT THE BOLTS.

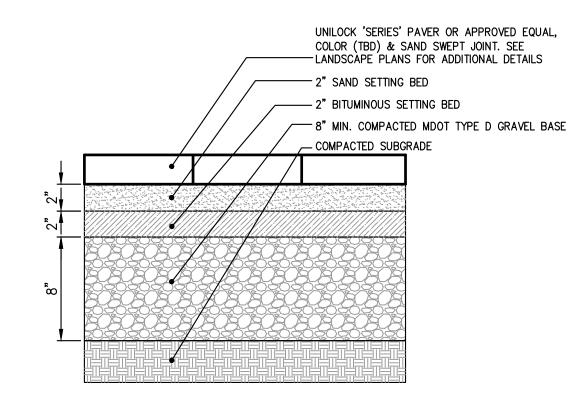
6. PLACE A SOLID CONCRETE BLOCK BETWEEN CAP/PLUGS AND THRUST BLOCKS.

7. PLACE A 12" LONG STEEL HORSESHOE—SHAPED PICKUP HOOK IN ALL PLUG AND CAP THRUST BLOCKS. DIAMETER OF HOOK SHALL BE A MINIMUM OF 5/8".

8. USE OF THRUST BLOCKS DOES NOT ELIMINATE THE REQUIREMENT OF RETAINER GLANDS.

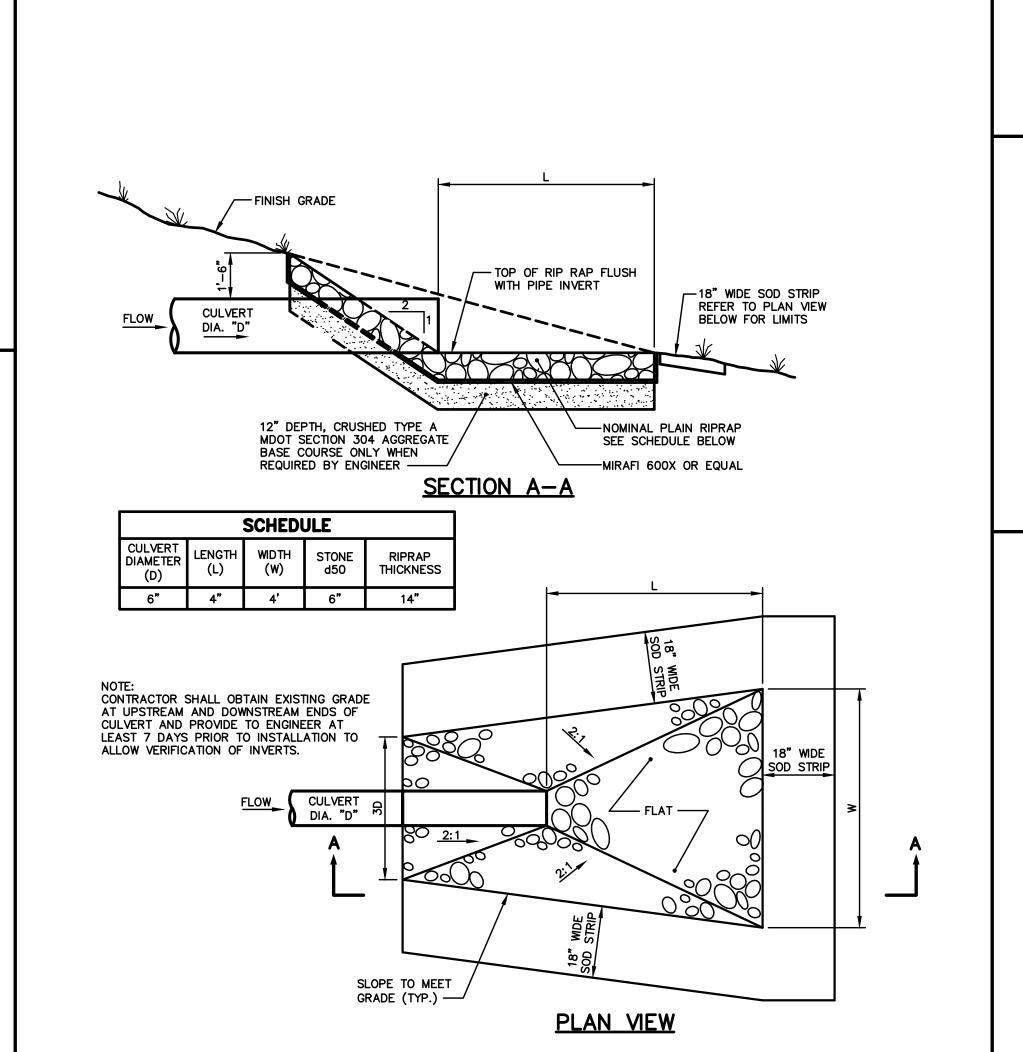
9. THRUST BLOCKS ARE REQUIRED ON ALL FITTINGS.10. COAT ALL THREADED RODS, NUTS, AND BOLTS WITH BITUMINOUS

11. ALL THRUST BLOCKS SHALL BE CAST—IN—PLACE CONCRETE



### PEDESTRIAN RATED PAVER SECTION DETAIL

NOT TO SCALE

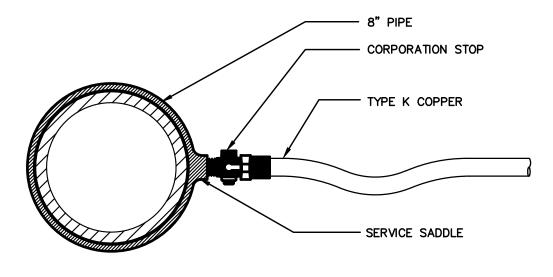


TYPICAL THRUST BLOCK DETAILS

NOT TO SCALE

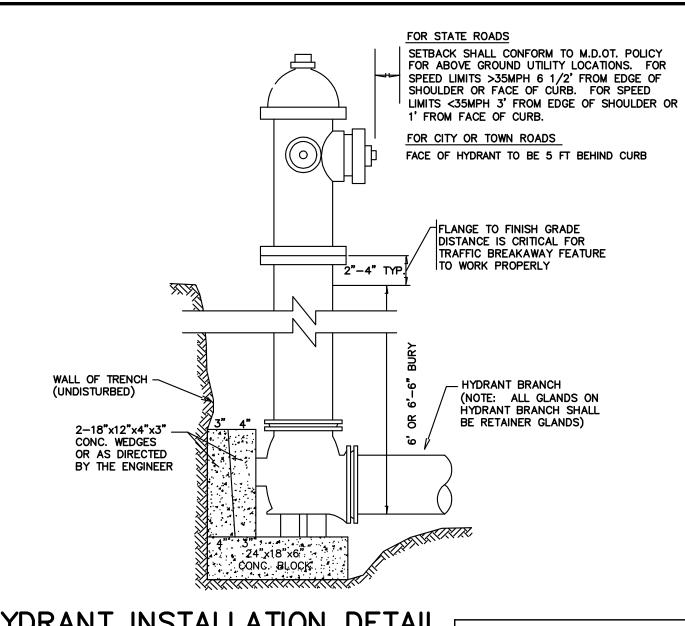
CULVERT OUTLET APRON

NOT TO SCALE



(1 1/2" AND 2 1/2" C.C. OR IRON PIPE THREAD)

### WATER SERVICE NOT TO SCALE



HYDRANT INSTALLATION DETAIL

NOT TO SCALE

NOTE

PERM

1. SERVICE CONNECTIONS (DIRECT TAPS

AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT

ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR 'GOOSENECK' IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND 'GIVE' TO COUNTERACT THE EFFECTS OF A LOAD DUE TO

AN ANGLE OF NOT MORE THAN 45°

SETTLEMENT OR EXPANSION AND/OR

REQUIREMENTS SPECIFIED BY PORTLAND

2. CONFORM TO MATERIALS AND

CONTRACTION.

WATER DISTRICT.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

# OF OF OF SERVING SOLUTION OF NEW J. OF NEW J.

# Rev. Date Revision

∠ ¾" CRUSHED STONE

SEPARATION GEOTEXTILE

MIRAFI 140N OR EQUIVALENT

8"X36" FENCE SLEEVE. COVER TOP. INSTALL —

SETBACK = 1.25" —

SLEEVES IN WALL AND COORDINATE

(4.0° BATTER ANGLE ON WALL)

LOCATION WITH FENCE INSTALLER

EXPOSED

WALL

WALL

HEIGHT

GROUND
LEVEL
THE THE TENTE OF BURY

DEPTH(MIN.

SITE AND SUBDIVISION APPLICATION	06/03/24	DJG
RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG
Issued For	Date	Ву

Design: LEL	Draft: CEH	Date: DEC 2022 Job No.: 3796	
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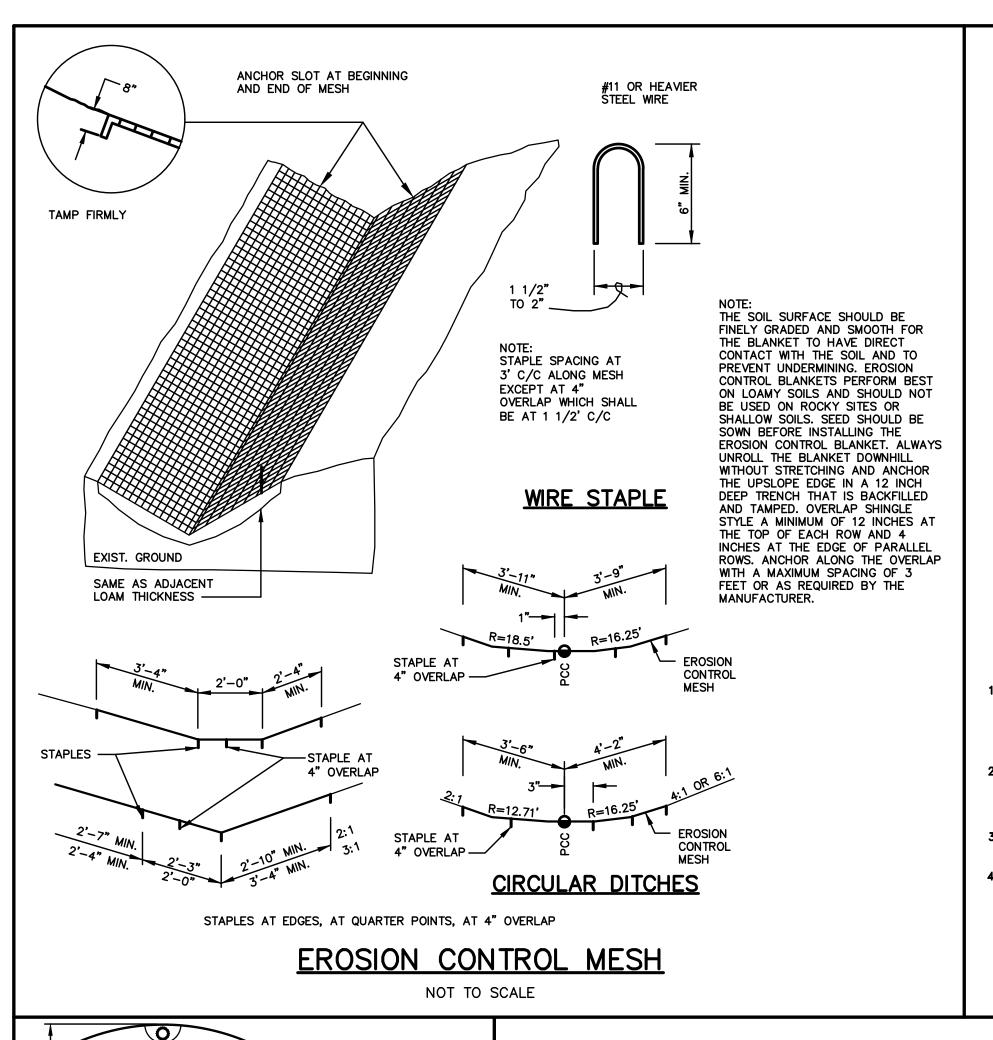
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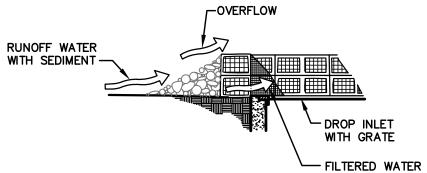
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Drawing Name:	Utility Details	
Project:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062	
Client:	<b>Windham Village Apartments, LLC</b> 40 Farm Gate Road, Falmouth, ME 04105	

Drawing No. C404



WIRE SCREEN -- CONCRETE BLOCK \_OVERFLOW



### SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

PROVIDE STEEL COUPLER ----

-SEDIMENTATION CONTROL FABRIC -

**ELEVATION VIEW** 

SILT FENCE

SILTATION FENCE

NOT TO SCALE

GROUND SURFACE —

MAXIMUM SPACING

WOOD POST ---

**EXISTING** 

-NATIVE

SOIL -

SECTION A-A

GROUND —

- WOOD POST (TYPICAL)

SILT FENCE REINFORCEMENT

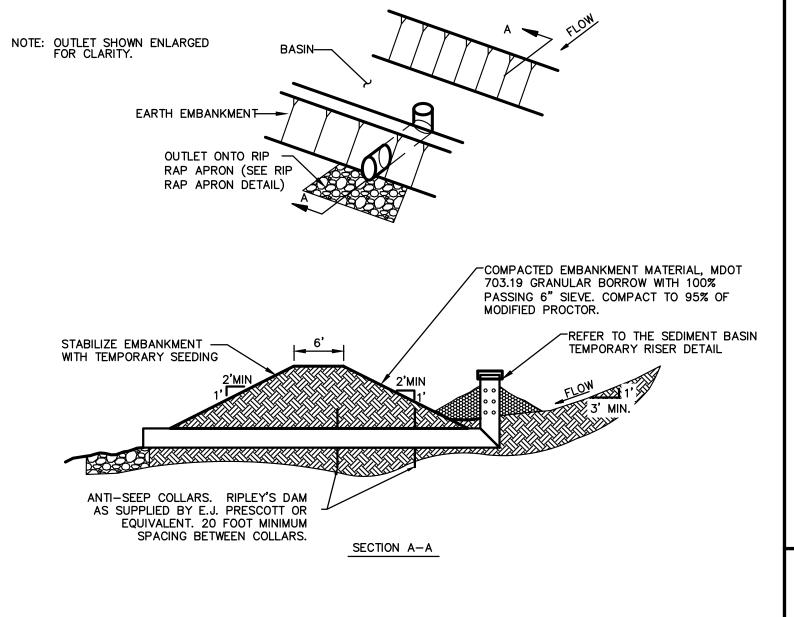
WIRE REINFORCE, MENT 14 GUAGE,6" MESH

FENCE FABRIC -

SECTION B-B

- PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4", 8" AND 12" WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH, AND NO GREATER THAN 24" HIGH.
- . WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS
- 3. STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN IN DETAIL. THE STONE FILTER SHALL BE 3/4" CRUSHED STONE.
- 4. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT, SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

### STONE SEDIMENT BARRIER

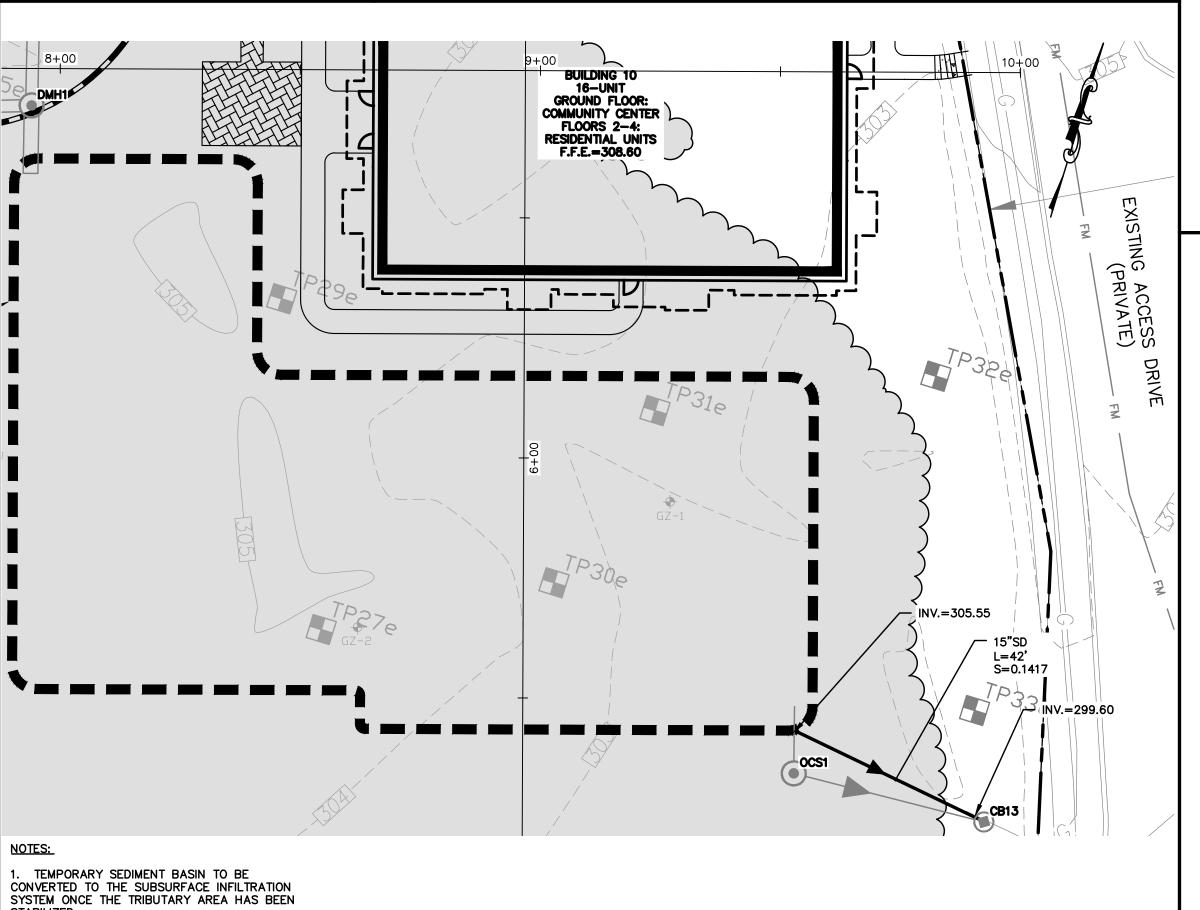


### GENERAL NOTES:

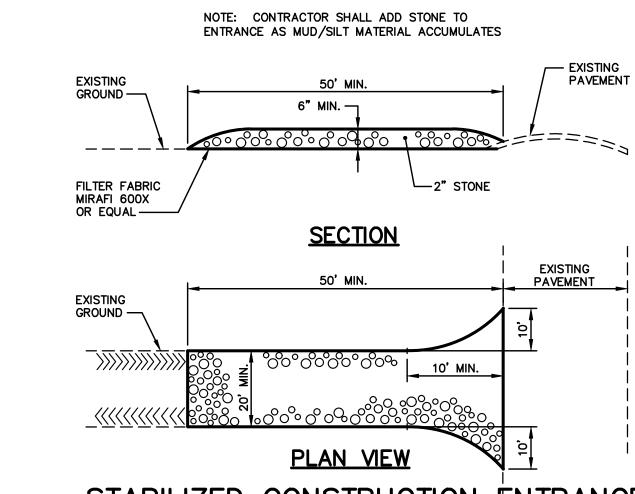
- 1. PIPE MATERIAL PVC, HDPE OR OTHER PLASTIC MATERIAL. RISER TO BE CORRUGATED METAL PIPE.
- 2. FILTER FABRIC MIRAFI 100X OR APPROVED EQUAL.
- 3. ALL PIPE CONNECTIONS SHALL BE WATERTIGHT
- 4. FILL MATERIAL AROUND PIPE SHALL BE COMPACTED IN 4 INCHES LIFTS. A MINIMUM OF 2 FEET OF COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE BEFORE CROSSING IT WITH CONSTRUCTION TRAFFIC.
- 5. PONDING OF SEDIMENT LADEN RUNOFF IN SEDIMENT BASIN ACCOMPLISHED BY EMBANKMENT OR EXCAVATION DEPENDING ON TERRAIN. SUBGRADE UNDER EMBANKMENT SHALL BE CLEARED OF ORGANIC SOIL LAYERS, VEGETATION, STUMPS, ROCKS LARGER THAN SIX INCHES, AND MANMADE DEBRIS/TRASH. SUBGRADE SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO FILL PLACEMENT.

### TEMPORARY SEDIMENT BASIN WITH PIPE OUTLET

NOT TO SCALE

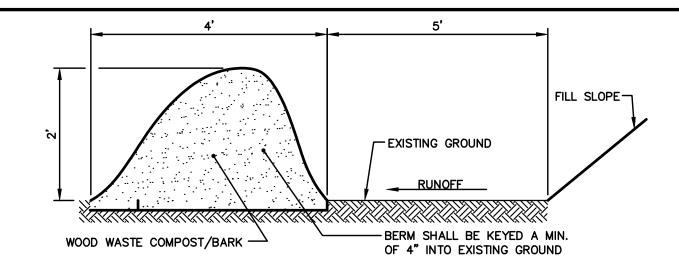


TEMPORARY SEDIMENT BASIN WITH PIPE OUTLET



STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

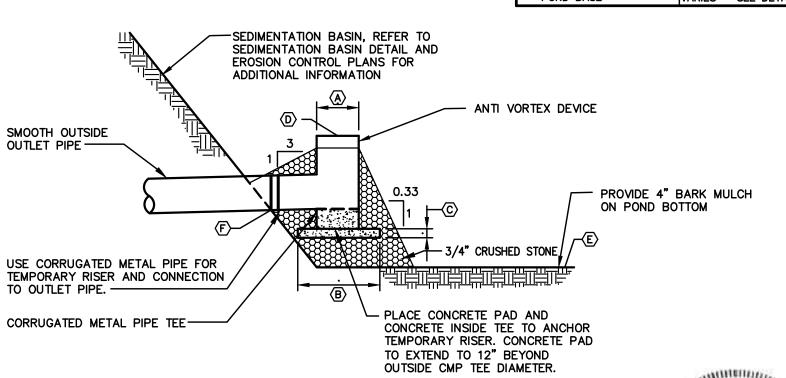


- 1. THE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
- MOISTURE CONTENT 30-60%.
- B. pH 5.0 8.0. C. SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1".
- D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
- E. NO STONES LARGER THAN 2" IN DIAMETER. F. SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
- 2. THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
- 3. THE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
- BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.
- 5. THE COMPOST/BARK FILTER SHALL NOT BE USED IN WETLAND AREAS WITH OUT A SILT FENCE ADJACENT TO PRESENT WETLAND. 6. EROSION CONTROL MULCH BERMS SHALL BE SUPPLEMENTED WITH AN ADDITIONAL SEDIMENT BARRIER MEASURE, SUCH AS A SILT FENCE, AT THE BASE OF A SLOPE STEEPER THAN 8%, OR WHERE FLOWING WATER IS PRESENT.

### EROSION CONTROL MULCH DETAIL

NOT TO SCALE

TEMPORARY RISER SCHEDULE - SCHEDULE A				
DESCRIPTION	BASIN 1			
A PERFORATED RISER Ø	12"			
B SQUARE CONCRETE PAD	48"			
© CONCRETE BASE HEIGHT	12"			
D RISER PIPE TOP ELEV.	306.50			
E POND BASE ELEVATION	302.00			
F INVERT IN	305.55			
TOP OF BERM	307.50			
POND BASE	VARIES - SEE DETAI			



### SEDIMENT BASIN TEMPORARY RISER

NOT TO SCALE

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

ATE OF 4 06/03/24 DREW J. GAGNON No. 16111

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U: \3	Rev.	Date	Revision

"THE SNOUT"

NOT TO SCALE

<u>PLAN</u>

6.5"

**FRONT** 

14.18"

SIDE

1" PVC ANTI-SIPHON

PIPE ADAPTER ---

REMOVABLE WATERTIGHT ACCESS PORT, 6" OPENING

— 18**"**R

NOTE: FOR USE ON ALL CATCH BASIN OUTLETS

ON 06/03/2	24 DJ0
04/08/2	24 DJ0
APPLICATION 04/01/2	24 DJ0
01/17/2	24 DJ0
10/6/23	S DJC
4/17/23	3 DJC
Date	Ву
	04/08/2 04/08/2 04/01/2 01/17/2 10/6/23 4/17/23

;	Design: LEL	Draft: CEH	Date: DEC 2022
;	Checked: DJG	Scale: AS NOTED	Job No.: 3796
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Drawing Name	Utility, Erosion & Sedimentation Control Details
Project:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062
Client:	Windham Village Apartments, LLC 40 Farm Gate Road, Falmouth, ME 04105

Drawing No. C405

- DEVELOPMENT OF A CAREFUL CONSTRUCTION SEQUENCE.
- RAPID REVEGETATION OF DENUDED AREAS TO MINIMIZE THE PERIOD OF SOIL EXPOSURE.
- RAPID REVEGETATION OF DENUDED AREAS TO MINIMIZE THE PERIOD OF SOIL EXPOSURI
   RAPID STABILIZATION OF DRAINAGE PATHS TO AVOID RILL AND GULLY EROSION.
- THE USE OF ON-SITE MEASURES TO CAPTURE SEDIMENT (SEDIMENTATION BASINS, HAY BALES/STONE CHECK DAMS/SILT FENCE, ETC.)

THE FOLLOWING TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES WILL BE IMPLEMENTED AS PART OF THE SITE DEVELOPMENT. THESE DEVICES SHALL BE INSTALLED AS INDICATED ON THE PLANS OR AS DESCRIBED WITHIN THIS REPORT. FOR FURTHER REFERENCE, SEE THE LATEST EDITION OF THE MAINE EROSION AND SEDIMENT CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS.

### A. DEWATERING

WATER FROM CONSTRUCTION TRENCH DEWATERING SHALL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 50 FEET OF A PROTECTED NATURAL

### B. INSPECTION AND CONSTRUCTION MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. BEFORE AND WITHIN 24 HOURS AFTER EACH WET WEATHER EVENT THAT PRODUCES MORE THAN 0.5 INCH OF RAINFALL IN A CONSECUTIVE 24—HOUR PERIOD, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE QUALIFIED CONTRACTOR KNOWLEDGEABLE OF DEP STANDARDS SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. ADDITIONALLY, INSPECTIONS SHALL BE PERFORMED AT LEAST ONCE A WEEK. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR UNESTABLISHED SPOTS. ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 90% OF AREAS VEGETATED WITH

### THE FOLLOWING STANDARDS MUST BE MET DURING CONSTRUCTION.

1. INSPECTION AND CORRECTIVE ACTION. AN ENGINEER OR SOMEONE WITH KNOWLEDGE OF EROSION AND STORMWATER STANDARDS AS DESCRIBED IN THE CONDITIONS OF THE PERMIT SHALL INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION CONTROL MEASURES (INCLUDING CATCH BASIN INLET PROTECTION MEASURES, SEDIMENT FILTER MEASURES, AND STABILIZATION OF SLOPES), MATERIALS STORAGE AREAS THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. INSPECT THESE AREAS AT LEAST ONCE A WEEK AS WELL AS BEFORE AND WITHIN 24 HOURS AFTER A STORM EVENT (WET WEATHER EVENT THAT PRODUCES MORE THAN 0.5 INCH IN A CONSECUTIVE 24—HOUR PERIOD), AND PRIOR TO COMPLETING PERMANENT STABILIZATION MEASURES. UPON FINAL SUBDIVISION PLANS, THE INSPECTION LOG WILL BE UPDATED TO REFLECT ALL STRUCTURES.

2. MAINTENANCE. IF BEST MANAGEMENT PRACTICES (BMPS) NEED TO BE REPAIRED, THE REPAIR WORK SHOULD BE INITIATED UPON DISCOVERY OF THE PROBLEM BUT NO LATER THAN THE END OF THE NEXT WORKDAY. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THESE INSPECTIONS. IF ADDITIONAL BMPS OR SIGNIFICANT REPAIR OF BMPS ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (WET WEATHER EVENT THAT PRODUCES MORE THAN 0.5 INCH IN A CONSECUTIVE 24—HOUR PERIOD). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.

3. DOCUMENTATION. KEEP A LOG (REPORT) SUMMARIZING THE INSPECTIONS AND ANY CORRECTIVE ACTION TAKEN. THE LOG MUST INCLUDE THE NAME(S) AND QUALIFICATIONS OF THE PERSON MAKING THE INSPECTIONS, THE DATE(S) OF THE INSPECTIONS, AND MAJOR OBSERVATIONS ABOUT THE OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS, MATERIALS STORAGE AREAS, AND VEHICLES ACCESS POINTS TO THE PARCEL. MAJOR OBSERVATIONS MUST INCLUDE BMPS THAT NEED MAINTENANCE, BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATIONAL BMPS ADDITIONAL BMPS ARE NEEDED. FOR EACH BMP REQUIRING MAINTENANCE, BMP NEEDING REPLACEMENT, AND LOCATION NEEDING ADDITIONAL BMPS, NOTE IN THE LOG THE CORRECTIVE ACTION TAKEN AND WHEN IT WAS TAKEN. THE LOG MUST BE MADE ACCESSIBLE TO DEPARTMENT STAFF AND A COPY MUST BE PROVIDED UPON REQUEST. THE PERMITTEE SHALL RETAIN A COPY OF THE LOG FOR A PERIOD OF AT LEAST THREE YEARS FROM THE COMPLETION OF PERMANENT STABILIZATION.

### C. TEMPORARY EROSION CONTROL MEASURES

EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT ANY AREA LEFT EXPOSED CAN BE CONTROLLED BY THE CONTRACTOR. LIMIT THE EXPOSED AREA TO ONE ACRE AT A TIME OR NO LARGER AREA THAT CAN BE MULCHED IN ONE DAY.

### TYPICAL SLOPE RESTORATION:

• EROSION CONTROL BLANKETS REQUIRED BETWEEN 2:1 AND 3:1 SLOPES

OF THIS SECTION. MULCH SHALL NOT BE PLACED OVER SNOW.

- SLOPES STEEPER THAN 8% REQUIRE EROSION CONTROL MULCH
   SLOPES STEEPER THAN 2:1 SHALL NOT USE SOLELY VEGETATED STABILIZATION METHODS
- 1.5:1 SLOPES ARE PROHIBITED.

### THE FOLLOWING MEASURES ARE PLANNED AS TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION:

A CRUSHED STONE—STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT THE APPROVED ACCESS DRIVE ON THE EXISTING PRIVATE ACCESS DRIVE AND PRIVATE DRIVE.
 SILTATION FENCE OR WOOD WASTE COMPOST BERMS SHALL BE INSTALLED DOWNSTREAM OF ANY DISTURBED AREAS TO TRAP RUNOFF— BORNE SEDIMENTS UNTIL GRASS AREAS ARE REVEGETATED. THE SILT FENCE AND/OR WOOD WASTE COMPOST BERMS SHALL BE INSTALLED PER THE DETAILS PROVIDED IN THIS PACKAGE AND INSPECTED AT LEAST ONCE A WEEK AND BEFORE AND IMMEDIATELY AFTER A STORM EVENT OF 0.5 INCHES OR GREATER, AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIRS SHALL BE MADE IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE OR BERM LINE. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THE FENCE OR BERM, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM.

3. ONE (1) SEDIMENTATION BASIN IS PROPOSED FOR THE DEVELOPMENT TO AID IN PREVENTING MIGRATION OF SEDIMENTS RESULTING FROM CONSTRUCTION. THE SEDIMENTATION BASINS ARE DESIGNED FOR A 24—HOUR DELAY TIME. A PERFORATED RISER SHALL BE INSTALLED AS THE BASIN'S OUTLET. THE SEDIMENT BASIN SHALL REMAIN IN USE UNTIL THE TRIBUTARY AREA HAS BEEN STABILIZED.

4.STRAW OR HAY MULCH INCLUDING HYDROSEEDING IS INTENDED TO PROVIDE COVER FOR DENUDED OR SEEDED AREAS UNTIL REVEGETATION IS ESTABLISHED. MULCH PLACED BETWEEN APRIL 15TH AND OCTOBER 15TH ON SLOPES OF LESS THAN 15 PERCENT SHALL BE ANCHORED BY APPLYING WATER; MULCH PLACED ON SLOPES OF EQUAL TO OR STEEPER THAN 15 PERCENT SHALL BE COVERED BY A FABRIC NETTING AND ANCHORED WITH STAPLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. FABRIC NETTING AND STAPLES SHALL BE USED ON DISTURBED AREAS WITHIN 50' OF LAKES, STREAMS, AND WETLANDS REGARDLESS OF THE UPSTREAM SLOPE. MULCH PLACED BETWEEN OCTOBER 15TH AND APRIL 15TH ON SLOPES EQUAL TO OR STEEPER THAN 8 PERCENT SHALL BE COVERED WITH A FABRIC NETTING AND ANCHORED WITH STAPLES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SLOPES STEEPER THAN 3:1 AND EQUAL TO OR FLATTER THAN 2:1, WHICH ARE TO BE REVEGETATED, SHALL RECEIVE CURLEX BLANKETS BY AMERICAN EXCELSIOR OR EQUAL. SLOPES STEEPER THAN 2:1 SHALL RECEIVE RIPRAP AS NOTED ON THE PLANS. THE MULCH APPLICATION RATE FOR BOTH TEMPORARY AND PERMANENT SEEDING IS 75 LBS PER 1000 SF AS IDENTIFIED IN ATTACHMENT A

- 5. TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION WILL BE PROTECTED AS FOLLOWS:
- a) TEMPORARY STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF ANY WETLANDS WHICH WILL NOT BE DISTURBED AND SHALL BE LOCATED AWAY FROM DRAINAGE SWALES.
- b) STOCKPILES SHALL BE STABILIZED WITHIN 7 DAYS BY EITHER TEMPORARILY SEEDING THE STOCKPILE BY A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH, SUCH AS HAY, STRAW, OR EROSION CONTROL MIX.
- c) STOCKPILES SHALL BE SURROUNDED BY SEDIMENTATION BARRIER AT THE TIME OF FORMATION. SEDIMENT BARRIERS SHOULD BE INSTALLED DOWNGRADIENT OF STOCKPILES. ADDITIONALLY, STORMWATER SHALL BE PREVENTED FROM RUNNING ONTO STOCKPILES.

6.ALL DENUDED AREAS THAT ARE WITHIN 50 FEET OF AN UNDISTURBED WETLAND, WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN A BUILDING PAD, PARKING AREA, OR ACCESS DRIVE SUBBASE AREA, SHALL RECEIVE MULCH OR EROSION CONTROL MESH FABRIC WITHIN 48 HOURS OF INITIAL DISTURBANCE OF SOIL. ALL AREAS WITHIN 75 FEET OF AN UNDISTURBED WETLAND SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 48 HOUR WINDOW. IN OTHER AREAS, THE TIME PERIOD MAY BE EXTENDED TO 7 DAYS.

7. THE EXISTING PRIVATE ACCESS DRIVE, PRIVATE DRIVE, AND TANDBERG TRAIL (UNDISTURBED PORTIONS ENTERING THE PROJECT SITE) SHALL BE SWEPT TO CONTROL MUD AND DUST AS NECESSARY. ADDITIONAL STONE SHALL BE ADDED TO THE STABILIZED CONSTRUCTION ENTRANCE TO MINIMIZE THE TRACKING OF MATERIAL OFF THE SITE AND ONTO THE SURROUNDING ROADWAYS.

8. DURING GRUBBING OPERATIONS STONE CHECK DAMS SHALL BE INSTALLED AT ANY EVIDENT CONCENTRATED FLOW DISCHARGE POINTS AND AS DIRECTED ON THE EROSION CONTROL PLANS.

9. SILT FENCING WITH A MINIMUM STAKE SPACING OF 6 FEET SHALL BE USED, UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT OF MINIMUM 14 GAUGE AND WITH A MAXIMUM MESH SPACING OF 6 INCHES, IN WHICH CASE STAKES MAY BE SPACED A MAXIMUM OF 10 FEET APART. THE BOTTOM OF THE FENCE SHALL BE ANCHORED.

10. WOOD WASTE COMPOST/BARK BERMS MAY BE USED IN LIEU OF SILTATION FENCING IN AREAS NOT ADJACENT TO WETLANDS BUT CAN BE USED INSIDE OF SILT FENCE AS A SECONDARY ROW. BERMS SHALL BE REMOVED AND SPREAD IN A LAYER NOT TO EXCEED 3" THICK ONCE UPSTREAM AREAS ARE COMPLETED AND A 90% CATCH OF VEGETATION IS ATTAINED.

11. WATER AND/OR CALCIUM CHLORIDE SHALL BE FURNISHED AND APPLIED IN ACCORDANCE WITH MDOT SPECIFICATIONS - SECTION 637 - DUST

12. LOAM AND SEED IS INTENDED TO SERVE AS THE PRIMARY PERMANENT REVEGETATIVE MEASURE FOR ALL DENUDED AREAS NOT PROVIDED WITH OTHER EROSION CONTROL MEASURES, SUCH AS RIPRAP. APPLICATION RATES ARE PROVIDED IN ATTACHMENT A OF THIS SECTION. SEEDING SHALL NOT OCCUR OVER SNOW.

13. ALL CATCH BASINS SHALL BE PROTECTED DURING CONSTRUCTION WITH A CATCH BASIN INLET FILTER AND, IN CASES OF HEAVY FLOWS, A STONE SEDIMENT BARRIER AS SHOWN ON SHEET CADA

### D. PERMANENT EROSION CONTROL MEASURES

Date

Revision

THE FOLLOWING PERMANENT EROSION CONTROL MEASURES HAVE BEEN DESIGNED AS PART OF THE EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, GRAVEL SUBBASE, ETC.) WILL BE LOAMED, LIMED, FERTILIZED, MULCHED, AND SEEDED. FABRIC NETTING, ANCHORED WITH STAPLES, SHALL BE PLACED OVER THE MULCH IN AREAS AS NOTED IN TEMPORARY EROSION CONTROL MEASURES PARAGRAPH 4 OF THIS REPORT. ALL AREAS WITHIN 50 FEET OF AN UNDISTURBED WETLAND SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 48—HOUR WINDOW. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.

2. ALL STORM DRAIN PIPE OUTLETS SHALL HAVE RIPRAP APRONS AT THEIR OUTLET TO PROTECT THE OUTLET AND RECEIVING CHANNEL FROM SCOUR AND DETERIORATION. INSTALLATION DETAILS ARE PROVIDED IN THE PLAN SET. THE APRONS SHALL BE INSTALLED AND STABILIZED TO THE EXTENT PRACTICABLE PRIOR TO DIRECTING RUNOFF TO THE TRIBUTARY PIPE OR CULVERT.

3. CATCH BASINS SHALL BE PROVIDED WITH SEDIMENT SUMPS AND INLET HOODS (THE SNOUT) FOR ALL OUTLET PIPES THAT ARE 18" IN DIAMETER OR

### 14.1 IMPLEMENTATION SCHEDULE

THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE REQUIRED TO ENSURE THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL

IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN IN 2024. THE INTENT OF CONSTRUCTION IS TO FOLLOW A PHASED PATTERN, WORKING FROM THE EXISTING PRIVATE ACCESS DRIVE AND THE PRIVATE DRIVE ENDS AND INTO THE CENTER OF THE PROJECT.

NOTE: FOR ALL GRADING ACTIVITIES, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO OVEREXPOSE THE SITE, THIS SHALL BE ACCOMPLISHED BY LIMITING THE DISTURBED AREA. AREA SHALL BE LIMITED TO NO MORE THAN THE CONTRACTOR CAN MULCH IN ONE DAY.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES AT THE APPROVED LOCATIONS.

2.INSTALL PERIMETER SILT FENCE AND/OR WOOD WASTE BERMS.
3.INSTALL SEDIMENT BASINS, DIVERSION DIKES, OR CHECK DAMS (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BMP'S)
4.CLEAR AND GRUB SITE. INSTALL STONE CHECK DAMS AT ANY EVIDENT CONCENTRATED FLOW DISCHARGE POINTS.

5. COMMENCE INSTALLATION OF DRAINAGE APPURTENANCES.
6. COMMENCE EARTHWORK FOR STORMWATER FACILITIES.

7. COMMENCE EARTHWORK AND GRADING TO SUBGRADE.

8. COMMENCE INSTALLATION OF RETAINING WALLS (IF NECESSARY).

9. COMMENCE INSTALLATION OF WATER AND SEWER LINES.10. CONTINUE EARTHWORK AND GRADING TO SUBGRADE AS NECESSARY FOR CONSTRUCTION.

11. COMPLETE INSTALLATION OF UNDERGROUND UTILITIES TO WITHIN 5' OF FUTURE BUILDINGS.

12. INSTALL LIGHT POLE FOUNDATIONS AND LIGHT POLES.13. COMPLETE REMAINING EARTHWORK OPERATIONS.

14. COMPLETE INSTALLATION OF DRAINAGE APPURTENANCES.15. INSTALL SUB-BASE AND BASE GRAVEL WITHIN PARKING AREAS, WALKWAYS, AND ALL DRIVEWAYS.

16. INSTALL CURBING IN PARKING AREAS AS NEEDED.17. INSTALL BASE COURSE PAVING FOR DRIVES AND PARKING AREA AS WELL AS CONCRETE SURFACES.

18. LOAM, LIME, FERTILIZE, SEED AND MULCH DISTURBED AREAS AND COMPLETE ALL LANDSCAPING.
19. INSTALL SURFACE COURSE PAVING FOR DRIVES AND PARKING AREAS. STRIPE PER PLAN.

20. ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
21. TOUCH UP LOAM AND SEED.

PRIOR TO CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A SCHEDULE FOR THE COMPLETION OF THE WORK, WHICH WILL SATISFY THE FOLLOWING CRITERIA:

1. THE ABOVE CONSTRUCTION SEQUENCE SHOULD GENERALLY BE COMPLETED IN THE SPECIFIED ORDER; HOWEVER, SEVERAL SEPARATE ITEMS MAY BE CONSTRUCTED SIMULTANEOUSLY. WORK MUST ALSO BE SCHEDULED OR PHASED TO REDUCE THE EXTENT OF THE EXPOSED AREAS AS SPECIFIED BELOW. THE INTENT OF THIS SEQUENCE IS TO PROVIDE FOR EROSION CONTROL AND TO HAVE STRUCTURAL MEASURES SUCH AS SILT FENCE AND CONSTRUCTION ENTRANCES IN PLACE BEFORE LARGE AREAS OF LAND ARE DENUDED.

### 2. THE WORK SHALL BE CONDUCTED IN SECTIONS WHICH SHALL:

(a) LIMIT THE AMOUNT OF EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 30 DAYS.

(b) REVEGETATE DISTURBED AREAS AS RAPIDLY AS POSSIBLE. ALL AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS OF FINAL GRADING OR BEFORE A STORM EVENT; OR TEMPORARILY STABILIZED WITHIN 48 HOURS OF INITIAL DISTURBANCE OF SOIL FOR AREAS WITHIN 50 FEET OF AN UNDISTURBED WETLAND AND 7 DAYS FOR ALL OTHER AREAS. AREAS WITHIN 50 FEET OF AN UNDISTURBED WETLAND SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 48 HOUR WINDOW.

(c) INCORPORATE PLANNED INLETS AND DRAINAGE SYSTEM AS EARLY AS POSSIBLE INTO THE CONSTRUCTION PHASE. THE DITCHES SHALL BE IMMEDIATELY LINED OR REVEGETATED AS SOON AS THEIR INSTALLATION IS COMPLETE.

### 14.2 EROSION, SEDIMENTATION AND STABILIZATION CONTROL PLAN

THE EROSION CONTROL INFORMATION IS INCLUDED IN THE PLAN SET.

FOR APPLYING MULCH SHALL BE LIMITED TO 2 DAYS FOR ALL AREAS.

### 14.3 DETAILS AND SPECIFICATIONS

THE EROSION CONTROL DETAILS AND SPECIFICATIONS ARE INCLUDED IN THE PLAN SET.

### 14.4 WINTER STABILIZATION PLAN

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT; VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT ANY AREA LEFT EXPOSED CAN BE CONTROLLED BY THE CONTRACTOR. LIMIT THE EXPOSED AREA TO ONE ACRE OR AN AREA THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.

ALL AREAS SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN PARKING AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1,000 S.F. (3 TONS/ACRE)

FOR WORK, WHICH IS CONDUCTED BETWEEN OCTOBER 15TH AND APRIL 15TH OF ANY CALENDAR YEAR, ALL DENUDED AREAS, SHALL BE COVERED WITH HAY MULCH OR EROSION CONTROL MIX, APPLIED AT TWICE THE NORMAL APPLICATION RATE AND ANCHORED WITH A FABRIC NETTING. THE TIME PERIOD

THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED. IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

### 1. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL SHALL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR AT 150 LBS/1,000 S.F. (3 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOODWASTE EROSION CONTROL MIX. THIS SHALL BE DONE WITHIN 24 HOURS OF STOCKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE SHALL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 50 FEET FROM ANY NATURAL RESOURCES.

### 2. NATURAL RESOURCE PROTECTION

ANY AREAS WITHIN 75 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 90% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH EROSION CONTROL MATS. DURING WINTER CONSTRUCTION, A DOUBLE LINE OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) SHALL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 75 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

### 3. <u>SEDIMENT\_BARRIERS</u>

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS SHALL CONSIST OF WOOD WASTE FILTER BERMS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

### 4. MULCHING AN AREA SHALL BE CONSIDERED DENUDED UNTIL AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75—LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW SHALL BE REMOVED DOWN TO A ONE—INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA SHALL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN

BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, OR WOOD CELLULOSE FIBER. WHEN GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH THEN COVER IS SUFFICIENT. AFTER NOVEMBER 1<sup>ST</sup>, MULCH AND ANCHORING OF ALL BARE SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 SQUARE FEET (3 TONS/ACRE) AND

### 5. MULCHING ON SLOPES AND DITCHES

SLOPES SHALL NOT BE LEFT EXPOSED FOR ANY EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY MULCHED AND ANCHORED WITH PEG AND NETTING OR WITH EROSION CONTROL BLANKETS. MULCHING SHALL BE APPLIED AT A RATE OF 230 LBS/1,000 S.F. ON ALL SLOPES GREATER THAN

MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAT 8%. EROSION CONTROL BLANKETS SHALL BE USED IN LIEU OF MULCH IN ALL DRAINAGE WAYS WITH SLOPES GREATER THAN 8%. EROSION CONTROL MIX CAN BE USED TO SUBSTITUTE EROSION CONTROL BLANKETS ON ALL SLOPES EXCEPT

### 6. <u>SEEDING</u>

Date

BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1<sup>ST</sup>, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1<sup>ST</sup> AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND FABRIC NETTING ANCHORED WITH STAPLES. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS/1,000 S.F. ALL AREAS SEEDED DURING THE WINTER SHALL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 90% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED, AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

### 7. WINTER CONSTRUCTION INSPECTION

AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE QUALIFIED CONTRACTOR KNOWLEDGEABLE OF DEP STANDARDS SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. INSPECTIONS SHALL BE PERFORMED A MINIMUM OF ONCE PER WEEK AND SHALL BE CONDUCTED IN ACCORDANCE WITH THE EROSION CONTROL MEASURES AND SITE STABILIZATION WITHIN THE EROSION CONTROL REPORT.

### 14.5 STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES DURING WINTER STANDARD FOR THE TIMELY STABILIZATION OF DITCHES AND CHANNELS — THE APPLICANT SHALL CONSTRUCT AND STABILIZE ALL STONE—LINED DITCHES

ADEQUATELY ANCHORED THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

AND CHANNELS ON THE SITE BY NOVEMBER 15. THE APPLICANT SHALL CONSTRUCT AND STABILIZE ALL GRASS—LINED DITCHES AND CHANNELS ON THE SITE BY SEPTEMBER 1. IF THE APPLICANT FAILS TO STABILIZE A DITCH OR CHANNEL TO BE GRASS—LINED BY SEPTEMBER 1, THEN THE APPLICANT WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER.

INSTALL A SOD LINING IN THE DITCH -- THE APPLICANT SHALL LINE THE DITCH WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND

UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD STRIPS FROM SLOUGHING DURING FLOW CONDITIONS.

INSTALL A STONE LINING IN THE DITCH —— THE APPLICANT SHALL LINE THE DITCH WITH STONE RIPRAP BY NOVEMBER 15. THE APPLICANT SHALL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE APPLICANT SHALL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING SO TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS—SECTIONAL AREA.

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES — THE APPLICANT SHALL CONSTRUCT AND STABILIZE STONE—COVERED SLOPES BY NOVEMBER 15. THE APPLICANT SHALL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 1. THE DEPARTMENT SHALL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF THE APPLICANT FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 1, THEN THE APPLICANT SHALL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS -- BY SEPTEMBER 1 THE APPLICANT SHALL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND APPLY EROSION CONTROL MATS OVER THE MULCHED SLOPE. THE APPLICANT SHALL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SLOPE BY NOVEMBER 1, THEN THE APPLICANT SHALL COVER THE SLOPE WITH A LAYER OF WOODWASTE COMPOST AS DESCRIBED IN ITEM III OF THIS STANDARD OR WITH STONE RIPRAP AS DESCRIBED IN ITEM IV OF THIS STANDARD.

STABILIZE THE SLOPE WITH SOD -- THE APPLICANT SHALL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY SEPTEMBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE APPLICANT SHALL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V).

STABILIZE THE SLOPE WITH STONE RIPRAP -- THE APPLICANT SHALL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE APPLICANT SHALL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS — BY SEPTEMBER 15 THE APPLICANT SHALL SEED AND MULCH ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15%. IF THE APPLICANT FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE APPLICANT SHALL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION -- BY SEPTEMBER 1 THE APPLICANT SHALL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SQUARE FEET AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE APPLICANT SHALL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 90% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN THE APPLICANT SHALL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED BELOW.

STABILIZE THE SOIL WITH SOD -- THE APPLICANT SHALL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY SEPTEMBER 15. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.

STABILIZE THE SOIL WITH MULCH -- BY NOVEMBER 15 THE APPLICANT SHALL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. PRIOR TO APPLYING THE MULCH, THE APPLICANT SHALL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED AREA. IMMEDIATELY AFTER APPLYING THE MULCH, THE APPLICANT WILL ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

### 14.6 CHAPTER 500: APPENDIX C - GOOD HOUSEKEEPING

AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- a) DISCHARGES FROM FIREFIGHTING ACTIVITY;
- b) FIRE HYDRANT FLUSHINGS;
  c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND
- TRANSMISSION WASHING IS PROHIBITED);
- d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND APPENDIX (C)(3);
- f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;

e) ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;

- g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
  i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
- j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
- k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; ANDl) LANDSCAPE IRRIGATION.

UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER THIS CHAPTER DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION

- MATERIALS;
  b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

### SEEDING PLAN

### TEMPORARY SEEDING

1. INSTRUCTION ON PREPARATION OF SOIL: PREPARE A GOOD SEED BED FOR PLANTING METHOD USED. 2. APPLY LIME AS FOLLOWS: 138 # /M SQ. FT.

3.FERTILIZE WITH 13.8 POUNDS OF 10-10-10 N-P-K/M SQ. FT.
4.METHOD OF APPLYING LIME AND FERTILIZER: SPREAD AND WORK INTO THE SOIL BEFORE SEEDING.
5.SEED WITH THE FOLLOWING MIXTURE:

### 50% WINTER RYE 50% ANNUAL RYE

6.MULCHING INSTRUCTIONS: APPLY AT THE RATE OF 75 POUNDS PER M. SQ. FT.

	<u>AMOUNT</u>	UNIT # TONS. ETC.
LIME	138	#/1000 SQ. FT.
FERTILIZER	13.8	#/1000 SQ. FT.
SEED	1.03	#/1000 SQ. FT.
	FERTILIZER	LIME 138 FERTILIZER 13.8

10. TOTAL MULCH

12. REMARKS

12. REMARKS

PERMANENT SEEDING

1. INSTRUCTION ON PREPARATION OF SOIL: PREPARE A GOOD SEED BED FOR PLANTING METHOD USED.

#/1000 SQ. FT.

2.APPLY LIME AS FOLLOWS: 138 # /M SQ. FT.

75

3.FERTILIZE WITH 18.4 POUNDS OF 10-20-20 N-P-K/M SQ. FT.
4.METHOD OF APPLYING LIME AND FERTILIZER: SPREAD AND WORK INTO THE SOIL BEFORE SEEDING.
5.SEED WITH THE FOLLOWING MIXTURE:

40% CREEPING RED FESCUE
30% CHARGER II PERENNIAL RYEGRASS

20% KENBLUE KENTUCKY BLUEGRASS 10% TIFFANY CHEWINGS FESCUE

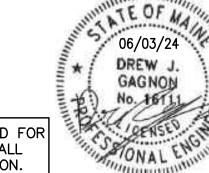
11. TOTAL OTHER MATERIALS, SEEDS, ETC.

6.MULCHING INSTRUCTIONS: APPLY AT THE RATE OF  $\underline{75}$  POUNDS PER M. SQ. FT.

	<u>AMOUNT</u>	UNIT # TONS. ETC.
.TOTAL LIME	138	#/1000 SQ. FT.
.TOTAL FERTILIZER	18.4	#/1000 SQ. FT.
.TOTAL SEED	1.03	#/1000 SQ. FT.
O. TOTAL MULCH	75	#/1000 SQ. FT.
1. TOTAL OTHER MATERIAL	S, SEEDS, ETC.	

SPRING SEEDING IS RECOMMENDED, HOWEVER, LATE SUMMER (PRIOR TO SEPTEMBER 1) SEEDING CAN BE MADE. PERMANENT SEEDING SHOULD BE MADE PRIOR TO AUGUST 5 OR AS A DORMANT SEEDING AFTER THE FIRST KILLING FROST AND BEFORE THE FIRST SNOWFALL. IF SEEDING CANNOT BE DONE WITHIN THESE SEEDING DATES, TEMPORARY SEEDING AND MULCHING SHALL BE USED TO PROTECT THE SITE. PERMANENT SEEDING SHALL BE DELAYED UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



SITE AND SUBDIVISION APPLICATION 06/03/24
RESPONSE TO MDEP COMMENTS 04/08/24
MAJOR SUBDIVISION PRELIMINARY APPLICATION 04/01/24
SLDA RESPONSE TO COMMENTS 01/17/24
SLDA SUBMISSION 10/6/23

SKETCH PLAN SUBMISSION

Issued For

Design: LEL Draft: CEH Date: DEC 2022

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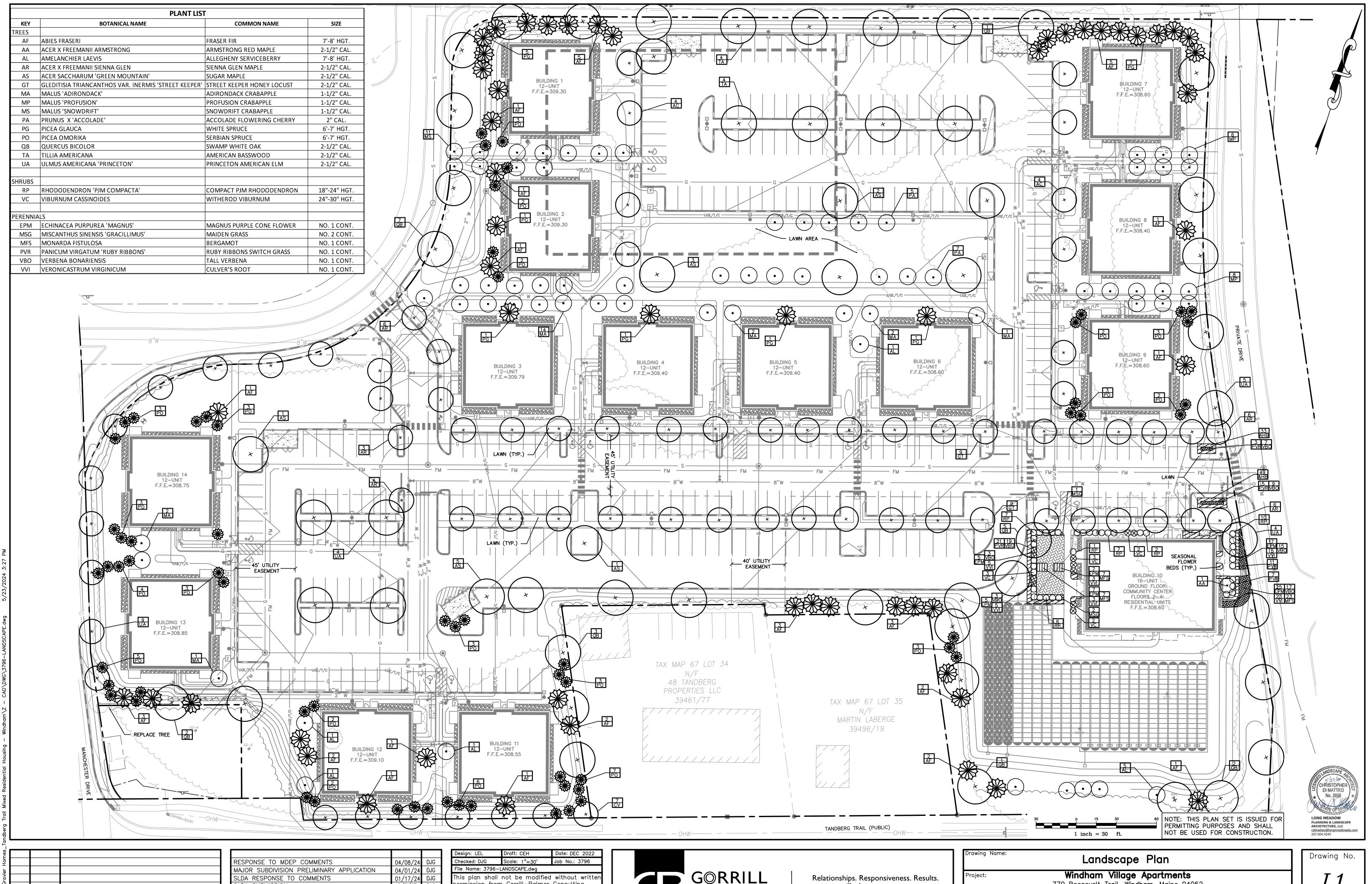
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awing Name:	Erosion & Sedimentation Control Notes
oject:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062
ient:	<b>Windham Village Apartments, LLC</b> 40 Farm Gate Road, Falmouth, ME 04105

Drawing No. C406



Revision

SLDA SUBMISSION SKETCH PLAN SUBMISSION Date Issued For

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Project:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062
Client:	<b>Windham Village Apartments, LLC</b> 40 Farm Gate Road, Falmouth, ME 04105

DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH ROOT FLARE AT GROUND LEVEL. CORRECT HOLE DEPTH AS NEEDED. NOTE: MANY BALLED & BURLAPPED PLANTS HAVE SOIL PILED AROUND THE ROOT FLARE WHICH SHOULD BE REMOVED PRIOR TO PLANTING.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROAD-LEAVED EVERGREENS AND RELATED ERICACAE PLANTS, 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK:

REMOVE ALL CONTAINERS AND GENTLY COMB OUT ROOTS TO ELIMINATE CIRCLING ROOTS. PRUNE DAMAGED ROOTS AS

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OR 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION). STAKES TO BE REMOVED AFTER ONE YEAR TIME.

BLACK MULCH IN PLANTING BEDS

 REMOVE PLASTIC BURLAP AND FIBER OR PEAT POT. REMOVE NATURAL— FIBER BURLAP FROM AT LEAST THE TOP ⅓ OF ROOTBALL, OR MORE IF THE ROOTBALL IS FIRM. REMOVE TOP 1/2 OF WIRE BASKET.

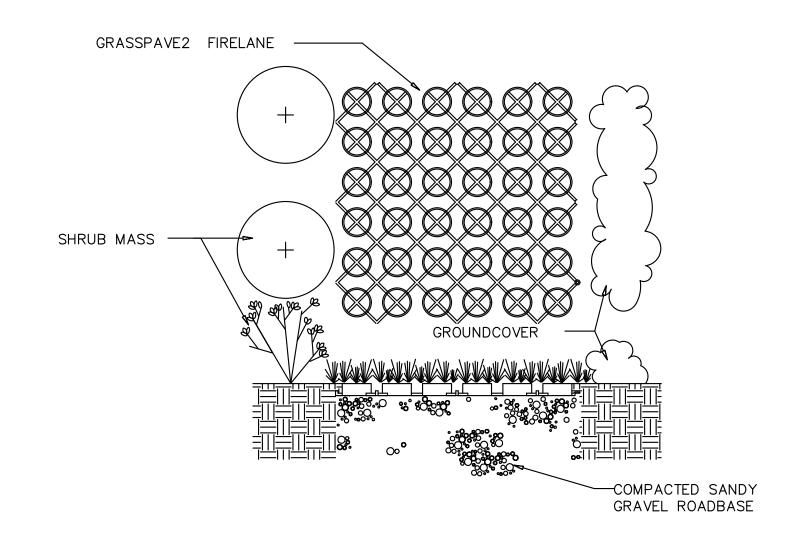
EARTH SAUCER (3" HT.) -

— UNDISTURBED SUBGRADE —

TREE AND SHRUB PLANTING DETAIL



- 1. CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- 2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- 3. DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, PLANT QUANTITIES, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- 4. PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 5. CONTRACTOR SHALL FURNISH AND PLACE 18 INCHES OF LOAM IN ALL PLANTING BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL LAWN AND SEED MIX AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- 6. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF THE LATEST PUBLICATION OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN".
- 7. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- 8. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE
- 9. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 10. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- 12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- 13. DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 14. CONTRACTOR SHALL COORDINATE INSPECTION OF PLANT MATERIAL AND LOCATIONS WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL PLANT MATERIAL SHALL BE ON-SITE AND PLACED BEFORE INSPECTION CAN BE COMPLETED. A MINIMUM OF 48 HOUR NOTIFICATION SHALL BE REQUIRED.
- 15. MAINTENANCE REQUIREMENTS: PRUNE DEAD OR DAMAGED BRANCHES, MAINTAIN GUY POSTS AND WATER AS REQUIRED UNTIL PROJECT COMPLETION AND ACCEPTANCE BY OWNER.
- 16. WATERING: ALL PLANTINGS SHALL BE THOROUGHLY WATERED UPON INSTALLATION, AND THEN WEEKLY WHENEVER ANY DRY SPELLS OCCUR, UNTIL
- 17. LANDSCAPE CONTRACTOR OR PLANT SUPPLIER SHALL GUARANTEE PLANTS AND PROVIDE REPLACEMENTS FOR TWO YEARS FROM INSTALLATION.
- 18. CONTRACTOR SHALL PLACE 4" SHREDDED DARK BARK MULCH TO PLANTING BEDS AND TREE PITS.



GRASSPAVE2 FIRELANE DETAIL

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

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<u>.</u>	Rev.	Date	Revision

RESPONSE TO MDEP COMMENTS	04/08/24	DJG
MAJOR SUBDIVISION PRELIMINARY APPLICATION	04/01/24	DJG
SLDA RESPONSE TO COMMENTS	01/17/24	DJG
SLDA SUBMISSION	10/6/23	DJG
SKETCH PLAN SUBMISSION	4/17/23	DJG
Issued For	Date	Ву

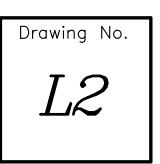
	Design: LEL	Draft: CEH	Date: DEC 2022
G	Checked: DJG	Scale: 1"=30'	Job No.: 3796
G	File Name: 3796-L	ANDSCAPE.dwg	
G	This plan shall		
G	permission from		
G	Engineers, Inc.(	GPCEI). Any alt	erations,
	authorized or o	therwise, shall b	e at the user's

sole risk and without liability to GPCEI.



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Drawing Name:	Landscape Details	
Project:	<b>Windham Village Apartments</b> 770 Roosevelt Trail, Windham, Maine 04062	
Client:	<b>Windham Village Apartments, LLC</b> 40 Farm Gate Road, Falmouth, ME 04105	



LONG MEADOW

ARCHITECTURE, LLC

PLANNING & LANDSCAPE

Type	Qty	Lum. Lumens	LLF	Lum. Watts	Description	Mounting Height
2SA	8	8085	0.900	83.6	TWIN AT 180 - VP-ST-1- 36L-85-3K7-4W	18
SA	1	8085	0.900	83.6	VP-ST-1-36L-85-3K7-4W	18
SB	6	6771	0.900	56.8	VP-ST-1-36L-55-3K7-3	14, 18
SC	17	5732	0.900	55	VP-ST-1-36L-55-3K7-3-BC	14
SD	5	5354	0.900	55	VP-ST-1-36L-55-3K7-4W-BC	14
SE	2	6177	0.900	55	VP-ST-1-36L-55-3K7-4F-BC	14, 18
SF	1	5354	0.900	55	TWIN AT 90 - VP-ST-1-36L- 55-3K7-4W-BC	14
W1	34	402	0.900	7.9	P5676-2030K9	6.75
W2	70	905	0.900	12.276	P563000-020-30K	6.75, 8
14/2	26	700	0.000	11 5	D040027 020 20	0.5

Label	Avg	Max	Min	Avg/Min	Max/Min
large parking	1.38	4.6	0.3	4.60	15.33
SITE	0.71	8.4	0.0	N.A.	N.A.
north parking	1.77	5.2	0.7	2.53	7.43

NOTES:
1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.

2) CALCULATIONS MAY OR MAY NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.

3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO

SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.

5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ
ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR

OUT

SWANEY LIGHTING ASSOCIATES, INC.

CORRECT FIXTURE ORIENTATION.

7) DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.

