

WAIVERS GRANTED

- 1) HIGH INTENSITY SOILS MAPPING
- 2) TRAFFIC STUDY
- 3) OPEN SPACE REQUIREMENT

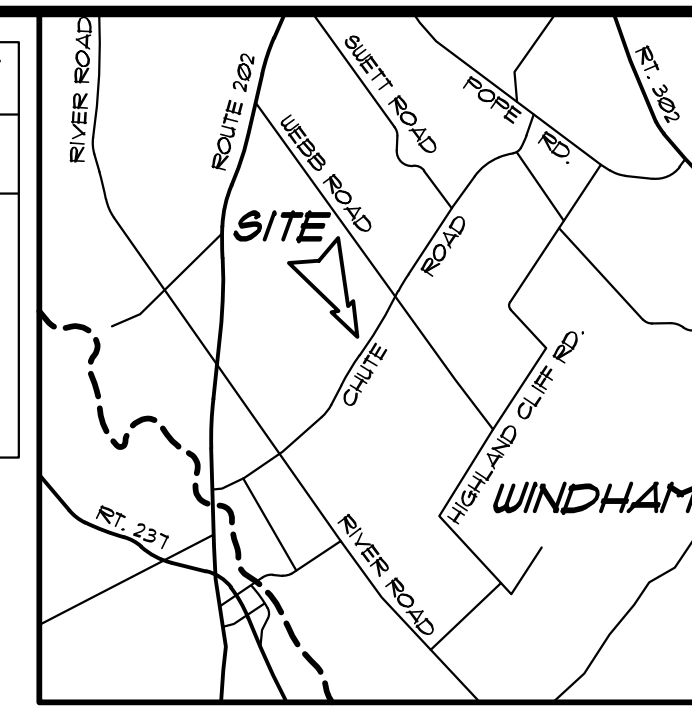
N/F
NANCY
FREDETTE
TM 6, L29
40229/342

N/F
JANICE
BOUCHER
TM 6, L28
26,441/194

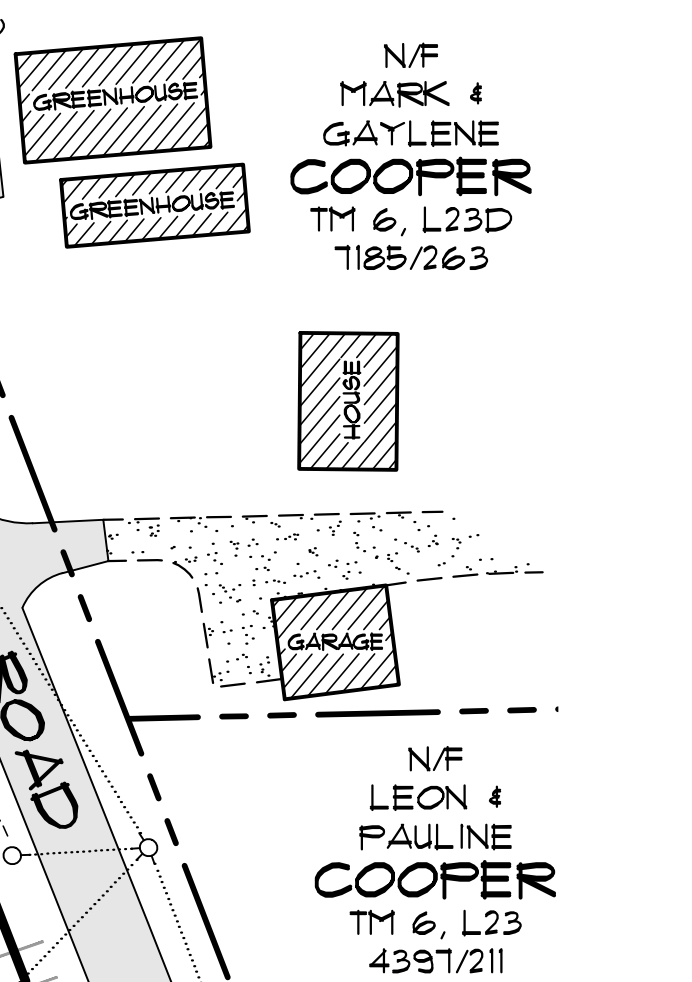
N/F
RICHARD
COMMOSS et al
TM 6, L21
9332/282

LOT DEVELOPED AREA SUMMARY

LOT NUMBER	LOT AREA	IMPERVIOUS AREA	DEVELOPED AREA
1	30,030 sf	2190 sf	15,960 sf
2	30,203 sf	3602 sf	11,317 sf
3	30,131 sf	3631 sf	15,625 sf
4	32,338 sf	3258 sf	16,449 sf
5	30,551 sf	3361 sf	17,529 sf
6	30,053 sf	3070 sf	12,458 sf



LOCATION MAP



LOT IDENTIFICATION

SUBDIVISION LOT NUMBER	TAX MAP 6 LOT NUMBER
1	26-1
2	26-2
3	26-3
4	26-4
5	26-5
6	26-6

NOTES

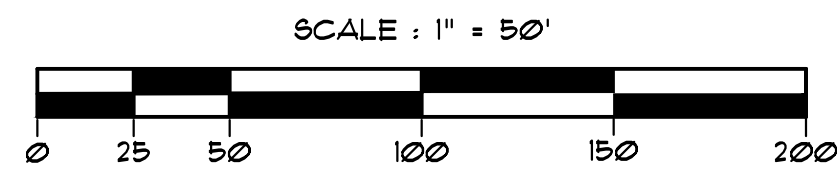
- 1) ALL BEARINGS REFER TO MAGNETIC NORTH AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND ON CHUTE ROAD & BETTY LANE", DATED SEPT. 2023, PREPARED BY WAYNE T. WOOD & CO.
- 2) PERIMETER BOUNDARY LINES ARE BASED UPON THE ABOVE REFERENCED PLAN.
- 3) SEE "BETTY LANE PLAN/PROFILE" (SHEET 3) FOR PROPOSED CULVERTS, ROADWAY AND FILTER BASIN GRADING.
- 4) ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
TOTAL PARCEL AREA = 12.84 ACRES (559,241 sf)
5) RIGHT OF WAY AREA = 48,173 sf. LOTS 1-1 AREA = 183,318 sf
CONSERVATION AREAS = 321,750 sf
- 6) OWNER OF RECORD - PINEHURST DEVELOPMENT, LLC
DEED REFERENCE - BOOK 40409, PAGE 109 TAX MAP 6, LOT 26
- 7) REFERENCE IS MADE TO THE FOLLOWING PLANS:
A) "PLAN OF PROPERTY FOR PETER KLICHNIK", DATED JANUARY 19, 1971, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 22.
B) "PROPERTY PLAN MADE FOR KENNETH JORDAN", DATED APRIL 22, 1980, RECORDED AT SAID REGISTRY IN PLAN BOOK 126, PAGE 31.
C) "PLAN FOR DIVISION OF LAND OF DOROTHY DURANT", DATED APRIL 4, 1971, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 17.
- 8) THE PREMISES IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230189 0030 B, DATED SEPTEMBER 2, 1981.
- 9) THE PARCEL IS LOCATED IN THE FARM ZONING DISTRICT.
MINIMUM CONSERVATION LOT SIZE = 30,000 sf NET DENSITY = 60,000 sf
MINIMUM CONSERVATION LOT STREET FRONTAGE = 100' (50' @ CUL-DE-SAC)
MINIMUM CONSERVATION LOT FRONT SETBACK = 25', SIDE & REAR SETBACK = 10'
MAXIMUM BUILDING HEIGHT = 35' MAXIMUM BUILDING COVERAGE = 25%
SETBACK ALONG EXISTING ROAD = 100'
SETBACK FROM EXTERIOR (PERIMETER) LOT LINE = 50'
- 10) WETLANDS WERE TAKEN FROM A PLAN ENTITLED "PRELIMINARY NATURAL RESOURCES SURVEY, BETTY LANE, WINDHAM", DATED FEBRUARY 8, 2023, PREPARED BY BASSWOOD ENVIRONMENTAL.
- 11) FILL OR ALTERATION OF WETLANDS SHOWN ON THIS PLAN IS NOT AUTHORIZED WITHOUT PRIOR APPROVAL FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE U.S. ARMY CORPS OF ENGINEERS.
- 12) BUFFERS DEPICTED ON THIS PLAN SHALL NOT BE CLEARED OF VEGETATION UNLESS THE PLANNING BOARD GRANTS AN AMENDMENT TO THE SUBDIVISION OR FOR MAINTENANCE THAT DOES NOT ALTER THE PURPOSE FOR WHICH THE BUFFER WAS REQUIRED.
- 13) OPEN SPACE SHALL NOT BE DIVIDED INTO LOTS AND NO DUELLING UNITS SHALL BE ALLOWED IN THESE AREAS. CONSTRUCTION AND IMPROVEMENTS IN THIS AREA SHALL BE LIMITED TO STRUCTURES AND BUILDING ACCESSORY TO NON-COMMERCIAL RECREATIONAL OR CONSERVATION USES AND THE INSTALLATION OF UNDERGROUND UTILITIES.
- 14) PLANNING BOARD APPROVAL OF THIS SUBDIVISION PLAN SHALL NOT BE DEEMED TO CONSTITUTE OR BE EVIDENCE OF ANY ACCEPTANCE BY THE TOWN OF WINDHAM OF ANY STREET, EASEMENT, OPEN SPACE, PARKS, PLAYGROUNDS OR OTHER RECREATION AREAS SHOWN ON THIS PLAN.
- 15) LOTS ARE TO BE SERVICED BY PRIVATE WATER, PRIVATE SEPTIC SYSTEMS AND OVERHEAD AND UNDERGROUND UTILITIES.

CONDITIONS OF APPROVAL

- 1) APPROVAL IS DEPENDENT UPON AND LIMITED TO THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION DATED JANUARY 22, 2024 & APRIL 22, 2024 AS AMENDED ON (DATE OF FINAL APPROVAL) AND SUPPORTING DOCUMENTS AND ORAL REPRESENTATIONS SUBMITTED AND AFFIRMED BY THE APPLICANT, AND CONDITIONS, IF ANY, IMPOSED BY THE PLANNING BOARD. ANY VARIATION FROM SUCH PLANS, PROPOSALS AND SUPPORTING DOCUMENTS AND REPRESENTATIONS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD OR THE TOWN PLANNER IN ACCORDANCE WITH SECTION 120-913 OF THE LAND USE CODE.
- 2) PRIOR TO THE CONVEYANCE OF ANY LAND IN THE SUBDIVISION, THE APPLICANTS SHALL RECORD THE APPROVAL PLAN IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS AND THE STREET ON WHICH THE LOT FRONTS ARE COMPLETE IN ACCORDANCE WITH THESE REGULATIONS UP TO AND INCLUDING THE ENTIRE FRONTAGE, PER SECTION 120-913 (1) & (2).
- 3) PRIOR TO THE PRE-CONSTRUCTION MEETING, A HOMEOWNER'S ASSOCIATION BYLAWS, CONVENTS AND DOCUMENTATION FOR THE CARE AND MAINTENANCE OF BETTY LANE AND/OR OPEN SPACE AREAS SHALL BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS AND A COPY OF THE RECORDED DOCUMENTATION SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR VERIFICATION.
- 4) RECREATION IMPACT FEE (1), OPEN SPACE IMPACT FEE (2), PUBLIC SAFETY IMPACT FEE (3) AND MUNICIPAL OFFICE IMPACT FEE (4) - ALL FEES WILL BE DETERMINED AND COLLECTED FOR ANY BUILDING OR ANY OTHER PERMITS NECESSARY FOR THE DEVELOPMENT, SECTION 120-1201.
- 5) BEFORE ISSUING BUILDING PERMITS FOR LOTS 1, 2, 3 AND 4, THE APPLICANT OR BUILDER MUST HAVE THE TOWN ENGINEER VERIFY THE 50' CONSERVATION SUBDIVISION BOUNDARY BUFFER LINE PINNED, STAKED OR FENCED IN THE FIELD.

NOTES (CONTINUED)

- 16) ALL NEW PRINCIPAL STRUCTURES WILL BE LOCATED WITHIN THE BUILDING ENVELOPES. NO MULTIPLE DUELLING UNITS SHALL BE PLACED ON ANY LOT.
- 17) BETTY LANE SHALL REMAIN PRIVATE AND TO BE MAINTAINED BY THE DEVELOPER OR THE LOT OWNERS AND SHALL NOT BE ACCEPTED OR MAINTAINED BY THE TOWN. A ROAD OWNERS ASSOCIATION SHALL BE DEVELOPED TO ESTABLISH AND DETERMINE THE ALLOWABLE USES AND RESPONSIBILITIES OF EACH LOT OWNER WITH REGARDS TO UPKEEP, MAINTENANCE AND REPAIR OF SAID ROAD. THE ROAD SHALL NOT BE OFFERED FOR ACCEPTANCE BY THE TOWN OF WINDHAM UNTIL IT MEETS ALL MUNICIPAL STREET DESIGN AND CONSTRUCTION STANDARDS.
- 18) TEST PITS 1-6 WERE PERFORMED BY BASSWOOD ENVIRONMENTAL IN FEBRUARY 2024. TEST PITS MC1-MC16 WERE PERFORMED BY MARK CENCI GEOLOGIC, INC. IN MARCH 2024.
- 19) DUG WELLS ARE PROHIBITED. WHERE BEDROCK IS ENCOUNTERED AT A DEPTH OF 10' OR LESS AT ANY WELL, INSTALL WATER SUPPLY WELLS WITH CASING SET AND GROUTED A MINIMUM OF 20' BELOW THE SOLID BEDROCK SURFACE. WELLS SHALL NOT BE CONSTRUCTED WITHIN 100' OF THE TRAVELED OF ANY STREET IF LOCATED DOWNHILL FROM THAT STREET OR WITHIN 50' OF THE TRAVELED WAY OF ANY STREET IF LOCATED UPHILL OF THE STREET.
- 20) WHERE BEDROCK IS ENCOUNTERED AT A DEPTH OF 10' OR LESS AT ANY WELL, INSTALL WATER SUPPLY WELLS WITH CASING SET AND GROUTED A MINIMUM OF 20' BELOW THE SOLID BEDROCK SURFACE.
- 21) ALL RESIDENTIAL HOMES SHALL BE EQUIPPED WITH A SPRINKLER SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF NFPA-13D.



LEGEND

- BOUNDARY LINE (SUBJECT PARCEL)
- BOUNDARY LINE (OTHER PARCEL)
- STONE WALL
- BUILDING SETBACK
- UTILITY POLE WITH OVERHEAD WIRES
- IRON PIPE OR ROD FOUND (PER PLAN IN NOTE 1)
- IRON ROD TO BE SET
- GRANITE MONUMENT TO BE SET
- IRON ROD SET ON CONSERVATION BUFFER
- PROPOSED WELL LOCATION (SEE NOTES 19 & 20)
- EXISTING TREELINE
- NEW TREELINE
- NOW OR FORMERLY
- BOOK AND PAGE NUMBER
- TAX MAP AND LOT NUMBER
- TEST PIT (SEE NOTE 18)
- EXISTING BUILDING
- EXISTING PAVEMENT
- WETLAND AREA (SEE NOTES 10 & 11)
- NEW LANDSCAPE TREE

CURVE TABLE

CURVE NO.	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C-1	51.00'	50.00'	N21°50'03"E	48.41'
C-2	51.00'	20.13'	N63°04'42"E	20.02'
C-3	51.00'	58.43'	S11°26'23"E	55.31'
C-4	51.00'	63.95'	S15°55'48"E	60.66'

NET RESIDENTIAL AREA & DENSITY

TOTAL PARCEL AREA - 12.84 ACRES (559,241 sf)

DEDUCTIONS

a) PROPOSED ROAD R/W	48,173 sf
b) SLOPES GREATER THAN 25%	0 sf
c) LAND WITHIN 100-YEAR FLOOD ZONE	0 sf
d) VERY POORLY DRAINED SOILS	0 sf
e) AREAS WITHIN RESOURCE PROTECTION ZONE	0 sf
f) UNSUITABLE DUE TO DRAINAGE/WETLANDS	19,020 sf
g) WATER BODIES	0 sf
h) WILDLIFE HABITAT	0 sf
i) ENDANGERED SPECIES	0 sf
TOTAL DEDUCTIONS	19,020 sf

TOTAL PARCEL AREA MINUS DEDUCTIONS = 431,988 sf

REQUIRED OPEN SPACE CALC. FOR CONSERVATION LOTS

DEDUCTED AREA (121,253sf) + 50% REMAINING AREA (215,954sf) = 343,246sf (MIN.)

TOTAL OPEN SPACE PROVIDED = 321,750 sf

NET DENSITY CALCULATION

REMAINING AREA (431,988 sf) DIVIDED BY FARM DIST. NET DENSITY (60,000)

= 7.20 LOTS ALLOWED

RECORDING DATA

CUMBERLAND COUNTY REGISTRY OF DEEDS

RECEIVED _____ AT _____ h. _____ m. _____

RECORDED IN PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

PLANNING BOARD APPROVAL

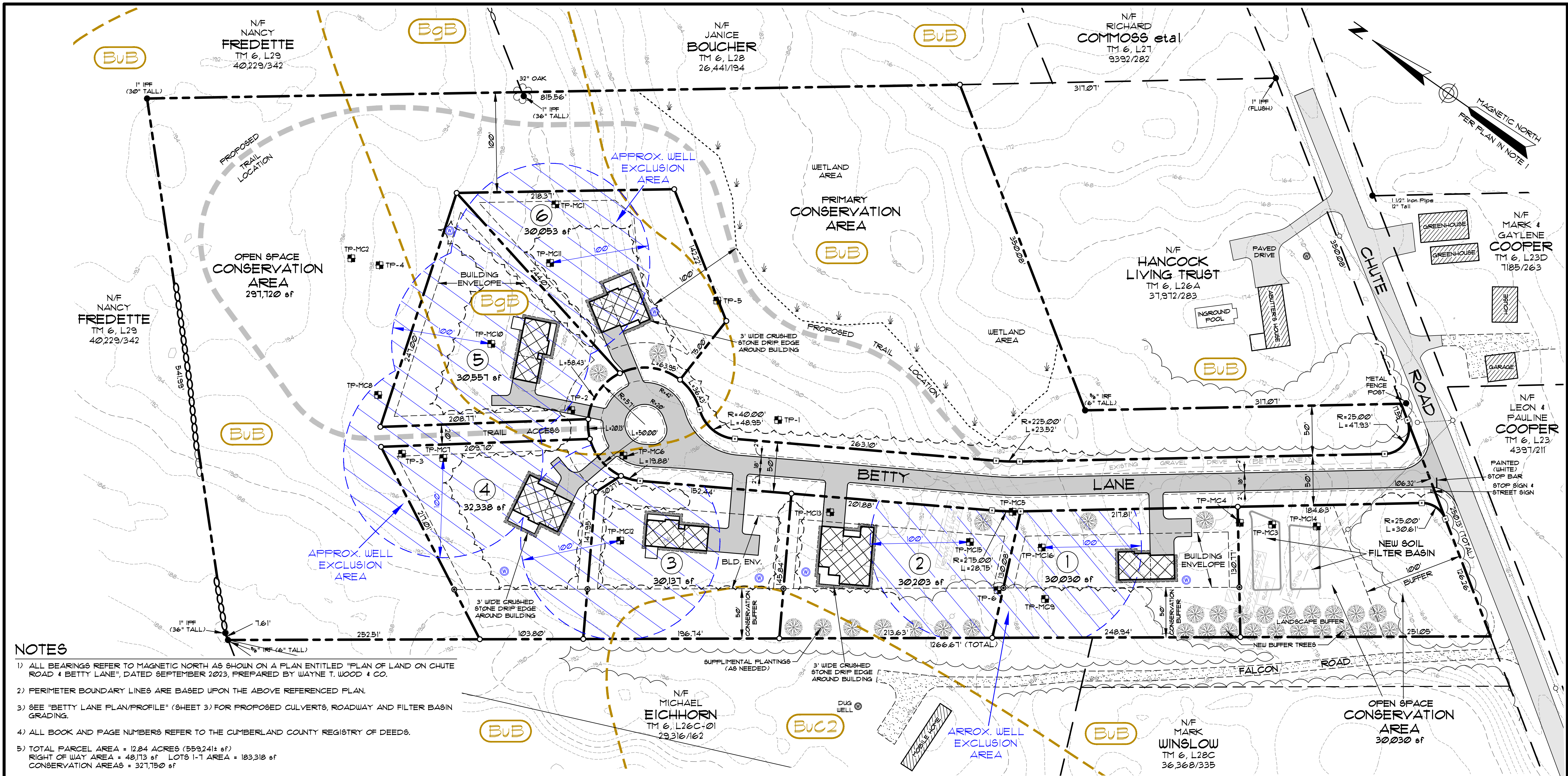
THIS IS TO CERTIFY THAT AFTER THE SUBDIVISION SHOWN BY THIS PLAN AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN 20-AMRSA STATUTE 4404, AS AMENDED, AND CONSIDERING EACH OF THE CRITERIA SET FORTH IN THE SUBDIVISION ORDINANCE OF THE TOWN OF WINDHAM, THE UNDERSIGNED HAVING MADE FINDINGS OF FACT ESTABLISHING THAT THE PROPOSED SUBDIVISION MEETS ALL OF THE CRITERIA SET FORTH THEREIN, AND THEREFORE THE SUBDIVISION IS APPROVED.

DATE: _____ PROJECT: _____
3-30-2024 2024-05
DRAWN BY: _____ SCALE: _____
SJR 1" = 50'

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6248 tel
steve@sjeeng.com

SUBDIVISION PLAN
EDGEWOOD ESTATES
BETTY LANE - WINDHAM, MAINE
PREPARED FOR
RCL, LLC
366 ROUTE 1 - FALMOUTH, MAINE 04105

SHEET 1



NOTES

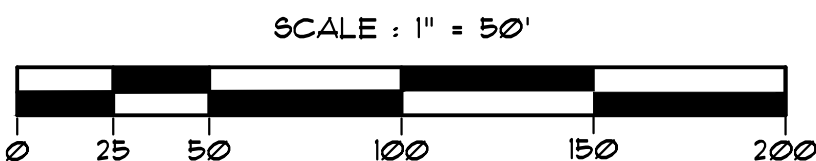
- 1) ALL BEARINGS REFER TO MAGNETIC NORTH AS SHOWN ON A PLAN ENTITLED "PLAN OF LAND ON CHUTE ROAD & BETTY LANE", DATED SEPTEMBER 2023, PREPARED BY WAYNE T. WOOD & CO.
- 2) PERIMETER BOUNDARY LINES ARE BASED UPON THE ABOVE REFERENCED PLAN.
- 3) SEE "BETTY LANE PLAN/PROFILE" (SHEET 3) FOR PROPOSED CULVERTS, ROADWAY AND FILTER BASIN GRADING.
- 4) ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- 5) TOTAL PARCEL AREA = 12.84 ACRES (559,241 ± sf)
RIGHT OF WAY AREA = 48,113 sf LOTS 1-1 AREA = 183,318 sf
CONSERVATION AREAS = 321,150 sf
- 6) OWNER OF RECORD - PINEHURST DEVELOPMENT, LLC
DEED REFERENCE - BOOK 40405, PAGE 103 TAX MAP 6, LOT 26
- 7) REFERENCE IS MADE TO THE FOLLOWING PLANS:
A) "PLAN OF PROPERTY FOR FETER KLUCHNIK", DATED JANUARY 19, 1911, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 22.
B) "PROPERTY PLAN MADE FOR KENNETH JORDAN", DATED APRIL 22, 1980, RECORDED AT SAID REGISTRY IN PLAN BOOK 126, PAGE 31.
C) "PLAN FOR DIVISION OF LAND OF DOROTHY DURANT", DATED APRIL 4, 1911, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 17.
- 8) THE PREMISES IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230105 0050 B, DATED SEPTEMBER 2, 1981.
- THE PARCEL IS LOCATED IN THE FARM ZONING DISTRICT.
MINIMUM CONSERVATION LOT SIZE = 30,000 sf NET DENSITY = 60,000 sf
MINIMUM CONSERVATION LOT STREET FRONTAGE = 100' (50' ON CUL-DE-SAC)
MINIMUM CONSERVATION LOT FRONT SETBACK = 25'
MINIMUM CONSERVATION LOT SIDE & REAR SETBACK = 10'
SETBACK ALONG EXISTING ROAD = 100'
SETBACK FROM EXTERIOR (PERIMETER) LOT LINE = 50'
- 9) WETLANDS WERE TAKEN FROM A PLAN ENTITLED "PRELIMINARY NATURAL RESOURCES SURVEY, BETTY LANE, WINDHAM", DATED FEBRUARY 8, 2023, PREPARED BY BASSWOOD ENVIRONMENTAL.
- 10) LOTS ARE TO BE SERVICED BY PRIVATE WATER, PRIVATE SEPTIC SYSTEMS AND OVERHEAD AND UNDERGROUND UTILITIES.
- 11) ALL NEW PRINCIPAL STRUCTURES WILL BE LOCATED WITHIN THE BUILDING ENVELOPES. NO MULTIPLE DWELLING UNITS SHALL BE PLACED ON ANY LOT.
- 12) BETTY LANE SHALL REMAIN PRIVATE AND TO BE MAINTAINED BY THE DEVELOPER OR THE LOT OWNERS AND SHALL NOT BE ACCEPTED OR MAINTAINED BY THE TOWN. A ROAD OWNERS ASSOCIATION SHALL BE DEVELOPED TO ESTABLISH AND DETERMINE THE ALLOWABLE USES AND RESPONSIBILITIES OF EACH LOT OWNER WITH REGARDS TO UPKEEP, MAINTENANCE AND REPAIR OF SAID ROAD.
- 13) TEST PITS 1-6 WERE PERFORMED BY BASSWOOD ENVIRONMENTAL IN FEBRUARY 2024. TEST PITS MC1-MC14 WERE PERFORMED BY MARC CENSI GEOLOGIC, INC. IN MARCH 2024.
- 14) APPROXIMATE WELL EXCLUSION AREAS ARE SHOWN AS BEING 100' FROM THE TEST PITS. ACTUAL LOCATION WILL BE 100' FROM THE EDGES OF THE SEPTIC SYSTEMS ONCE THEY ARE CONSTRUCTED.

NET RESIDENTIAL AREA & DENSITY

TOTAL PARCEL AREA -	12.84 ACRES (559,241 ± sf)
DEDUCTIONS	
a) PROPOSED ROAD R/W	= 48,113 sf
b) SLOPES GREATER THAN 25%	= 0 sf
c) LAND WITHIN 100-YEAR FLOOD ZONE	= 0 sf
d) VERY POORLY DRAINED SOILS	= 0 sf
e) AREAS WITHIN RESOURCE PROTECTION ZONE	= 0 sf
f) UNSUITABLE DUE TO DRAINAGE/WETLANDS	= 19,080 sf
g) WATER BODIES	= 0 sf
h) WILDLIFE HABITAT	= 0 sf
i) ENDANGERED SPECIES	= 0 sf
TOTAL DEDUCTIONS	= 121,253 sf
TOTAL PARCEL AREA MINUS DEDUCTIONS	= 431,988 sf

REQUIRED OPEN SPACE CALCULATION FOR CONSERVATION LOTS
DEDUCTED AREA (121,253 sf) PLUS 50% OF REMAINING AREA (219,994 sf) = 343,249 sf (MIN.)
TOTAL OPEN SPACE PROVIDED = 321,150 sf

NET DENSITY CALCULATION
REMAINING AREA (431,988 sf) DIVIDED BY FARM1 DISTRICT NET DENSITY (60,000)
= 120 LOTS ALLOWED

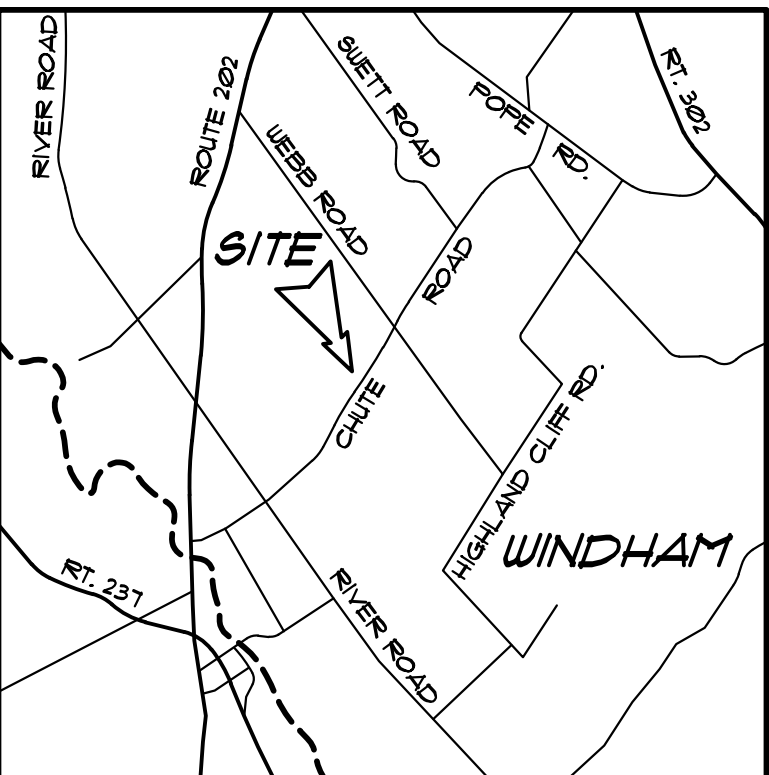


LEGEND

- BOUNDARY LINE (SUBJECT PARCEL)
--- BOUNDARY LINE (OTHER PARCEL)
----- STONE WALL
--- BUILDING SETBACK
--- UTILITY POLE WITH OVERHEAD WIRES
--- IRON PIPE OR ROD FOUND (PER PLAN IN NOTE 1)
--- IRON ROD TO BE SET
--- GRANITE MONUMENT TO BE SET
--- IRON ROD SET ON CONSERVATION BUFFER
--- EXISTING CONTOUR
--- EXISTING TREELINE
--- NEW TREELINE
--- REMOVE TREELINE
--- NOW OR FORMERLY
--- BOOK AND PAGE NUMBER
--- TAX MAP AND LOT NUMBER
--- TEST PIT (SEE NOTE 13)
--- PROPOSED BUILDING (SCHEMATIC)
--- EXISTING BUILDING
--- EXISTING PAVEMENT
--- PROPOSED ROAD/DRIVEWAY (SCHEMATIC)
--- WELL EXCLUSION AREA (SEE NOTE 14)
--- PROPOSED DRILLED WELL (SCHEMATIC)

SOILS LEGEND

- BvB LAMOINE SILT LOAM, 3-8% SLOPES (HYDROGEOLOGIC SOILS TYPE C/D)
BgB NICHOLVILLE VERY FINE SANDY LOAM, 3-8% SLOPES (HYDROGEOLOGIC SOILS TYPE C)
BvC2 BUXTON SILT LOAM, 8-15% SLOPES (HYDROGEOLOGIC SOILS TYPE C/D)



LOCATION MAP

4	SJR	3-21-24	SUBDIVISION NAME AND ADD BUFFER TREES & ABUTTER'S WELLS
3	SJR	3-21-24	RECONFIGURE BUILDINGS AND DRIVEWAYS
2	SJR	3-20-24	ADDED TEST PITS MC15 AND MC16
1	SJR	3-3-24	PER UNDHAM REVIEW COMMENTS
REV:	BY:	DATE:	CHANGES:

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONTMOUTH, MAINE 04259
(207) 242-6243 tel
steve@sjeeng.com

SJR ENGINEERING

TOPOGRAPHIC SITE PLAN
EDGEWOOD ESTATES
BETTY LANE - WINDHAM, MAINE
PREPARED FOR
RCL, LLC
366 ROUTE 1 - FALMOUTH, MAINE 04045

DATE	PROJECT
3-21-2024	2024-05
DRAWN BY	SCALE
SJR	1" = 50'

STORMWATER CONSTRUCTION OVERSIGHT NOTES

THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PROFESSIONAL ENGINEER TO INSPECT THE CONSTRUCTION AND STABILIZATION OF ALL STORMWATER MANAGEMENT STRUCTURES TO BE BUILT AS PART OF THIS PROJECT. IF NECESSARY, THE INSPECTING ENGINEER WILL INTERPRET THE CONSTRUCTION PLANS FOR THE CONTRACTOR. ONCE ALL STORMWATER MANAGEMENT STRUCTURES ARE CONSTRUCTED AND STABILIZED, THE INSPECTING ENGINEER SHALL NOTIFY THE TOWN OF WINDHAM AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION IN WRITING WITHIN 30 DAYS TO STATE THAT THE STRUCTURES HAVE BEEN COMPLETED. ACCOMPANYING THE ENGINEER'S NOTIFICATION SHALL BE A COPY OF THE TEST RESULTS FOR ANY SOIL FILL, AGGREGATE OR MULCH MATERIALS USED IN THE CONSTRUCTION OF THE STORMWATER MANAGEMENT STRUCTURES AND A LOG OF THE ENGINEER'S INSPECTIONS GIVING THE DATE OF EACH INSPECTION, THE TIME OF EACH INSPECTION AND THE TIME INSPECTED ON EACH VISIT.

VEGETATED UNDERDRAINED SOIL FILTER BASINS

CONSTRUCTION INSPECTIONS - AT A MINIMUM, THE PROFESSIONAL ENGINEER'S INSPECTION SHALL OCCUR AFTER CONSTRUCTION OF THE UNDERDRAIN PIPE BEDDING BUT PRIOR TO PLACEMENT OF THE EROSION CONTROL FILL. AFTER THE UNDERDRAIN PIPES ARE INSTALLED BUT NOT BACKFILLED, AFTER THE PIPE BEDDING IS PLACED BUT PRIOR TO THE PLACEMENT OF THE FILTER MEDIA, AND AFTER THE FILTER MEDIA HAS BEEN PLACED AND THE FILTER SURFACE SEEDED.

TESTING AND SUBMITTALS - ALL THE SOIL, MULCH, AND AGGREGATE USED FOR THE CONSTRUCTION OF THE VEGETATED UNDERDRAINED SOIL FILTER BASIN SHALL BE CONFIRMED AS SUITABLE BY TESTING. THE CONTRACTOR SHALL IDENTIFY THE SOURCE OF EACH MATERIAL AND OBTAIN SAMPLES FROM EACH MATERIAL FOR TESTING. ALL TESTING SHALL BE DONE BY A CERTIFIED LABORATORY. ALL RESULTS OF FIELD AND LABORATORY TESTING SHALL BE SUBMITTED TO THE PROJECT ENGINEER FOR CONFIRMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLETION OF THE FOLLOWING SAMPLING AND TESTING BEFORE THE FILL OR AGGREGATE IS PLACED AS PART OF THE VEGETATED UNDERDRAINED SOIL FILTER BASIN CONSTRUCTION.

OBTAIN A SAMPLE OF THE FILTER MEDIA CONSISTING OF A BLEND OF SAND, TOPSOIL AND WOOD FIBER MULCH (OR OTHER APPROVED ORGANIC SOURCE). THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM A SIEVE ANALYSIS OF THE BLENDED FILTER MEDIA SHOWING IT HAS 8% TO 12% BY WEIGHT PASSING THE #200 SIEVE AS DETERMINED BY ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES 1996A). HAS A CLAY CONTENT OF LESS THAN 2% AND HAS AN ORGANIC MATTER CONTENT OF NO LESS THAN 10% BY DRY WEIGHT.

IF THE UNDERDRAIN PIPES WILL BE BEDDED IN GRAVEL, OBTAIN A SAMPLE OF THE GRAVEL FILL TO BE USED FOR THE PIPE BEDDING. THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES 1996A) OF THE GRAVEL TO BE USED FOR THE UNDERDRAIN PIPE BEDDING. THE GRAVEL FILL MUST CONFORM TO MEDOT SPECIFICATION 103.22 UNDERDRAIN TYPE B.

IF THE UNDERDRAIN PIPE WILL BE BEDDED IN CRUSHED STONE, OBTAIN A SAMPLE OF THE CRUSHED STONE TO BE USED FOR THE PIPE BEDDING. THE SAMPLE MUST BE A COMPOSITE OF THREE DIFFERENT LOCATIONS (GRABS) FROM THE STOCKPILE. THE SAMPLE SIZE REQUIRED WILL BE DETERMINED BY THE TESTING LABORATORY. PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 (STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES 1996A) OF THE CRUSHED STONE TO BE USED FOR THE UNDERDRAIN PIPE BEDDING. THE CRUSHED STONE FILL MUST CONFORM TO MEDOT SPECIFICATION 103.22 UNDERDRAIN TYPE C.

SOIL FILTER NOTES

THE SOIL FILTER IS PART OF A TOWN OF WINDHAM PERMIT. CONSTRUCTION SHALL FOLLOW CURRENT MAINE DEP GUIDELINES WHICH INCLUDE APPROVAL OF MATERIAL PRIOR TO PLACEMENT AND CONSTRUCTION OVERSIGHT BY THE DESIGN ENGINEER.

SUBMIT SAMPLES AND GRADATIONS FOR EACH MATERIAL TO BE USED. PROVIDE EXPECTED DESIGN MIX. PERFORM AND PROVIDE STANDARD PROCTOR ON COMBINED MIXTURE AS WELL AS A PERMEABILITY TEST.

SCARIFY TO LOOSEN EXISTING SOIL AT LEAST 8" PRIOR TO LAYING FIRST LAYER OF THE SOIL FILTER SECTION.

MAXIMUM SPACING OF UNDERDRAIN PIPING IS 10' O.C. END CAPS SHALL BE INSTALLED ON ALL UNDER DRAIN PIPES.

AFTER APPROVAL OF MATERIAL, PLACE FILTER MEDIA IN TWO LIFTS WITH LOW WEIGHT VEHICLES TO 90-92% STANDARD PROCTOR.

PROVIDE 2" OF BARK MULCH OR EROSION CONTROL MIX ON TOP OF THE FILTER BED UNTIL THE SITE HAS PROPOSED HARDSCAPE PLACED AND HAS VEGETATION WELL ESTABLISHED EVERYWHERE ELSE. ONCE THE SITE IS STABILIZED, REMOVE THE MULCH AND ACCUMULATED SEDIMENT FROM THE FILTER AND ESTABLISH VEGETATION PER THE FILTER BED SEEDING PLAN.

PRIOR TO TURNING OVER TO OWNER, REMOVE SEDIMENT AND DEBRIS FROM FILTER SURFACE, OVERFLOW WEIR, INSIDE OVERFLOW STRUCTURE AND DISCHARGE PIPE.

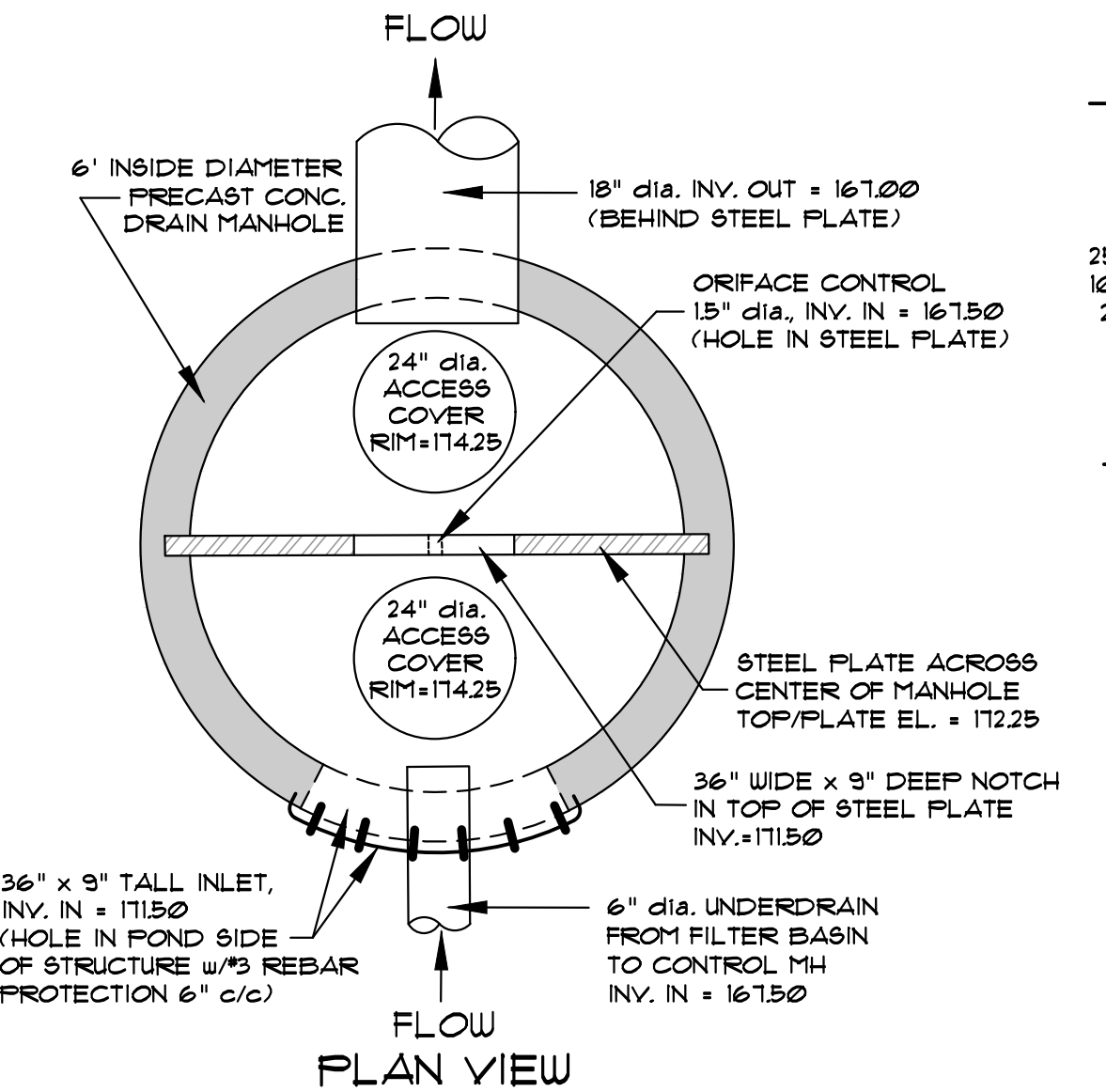
SOIL FILTER MEDIA SPECIFICATIONS *

FILTER MEDIA	SAND	TOPSOIL	MULCH
MIXTURE BY VOL.	50% (±5%)	25% (±5%)	25% (±5%)
SPECIFICATION	MEDOT SPEC. #103.01 FINE AGGREGATE FOR CONCRETE	USDA LOAMY SANDY TOPSOIL	WOODY FIBER & MODERATELY FINE, SHREPPED BARK SUPERFIBER OR EQUAL, ADJUSTED FOR MINERAL SOIL CONTENT WITH LESS THAN 8% PASSING THE #200 SIEVE
GRADATION			
SIEVE SIZE	% BY WEIGHT	% BY WEIGHT	% BY WEIGHT
3/8"	100	-	-
4	90-100	75-95	-
8	80-100	-	-
10	-	60-90	-
16	50-85	-	-
30	25-60	-	-
40	-	35-85	-
60	10-30	-	-
100	2-10	-	-
200	0-5	15-25	-
200 CLAY	<2% **	<2% **	<2% **

* FOR GRASSSED UNDERDRAINED SOIL FILTER BMP, PER THE MAINE DEP VOLUME III : BMP'S TECHNICAL DESIGN MANUAL, MAY 2014

** COMBINED MIXTURE CLAY CONTENT SHALL NOT EXCEED 2%

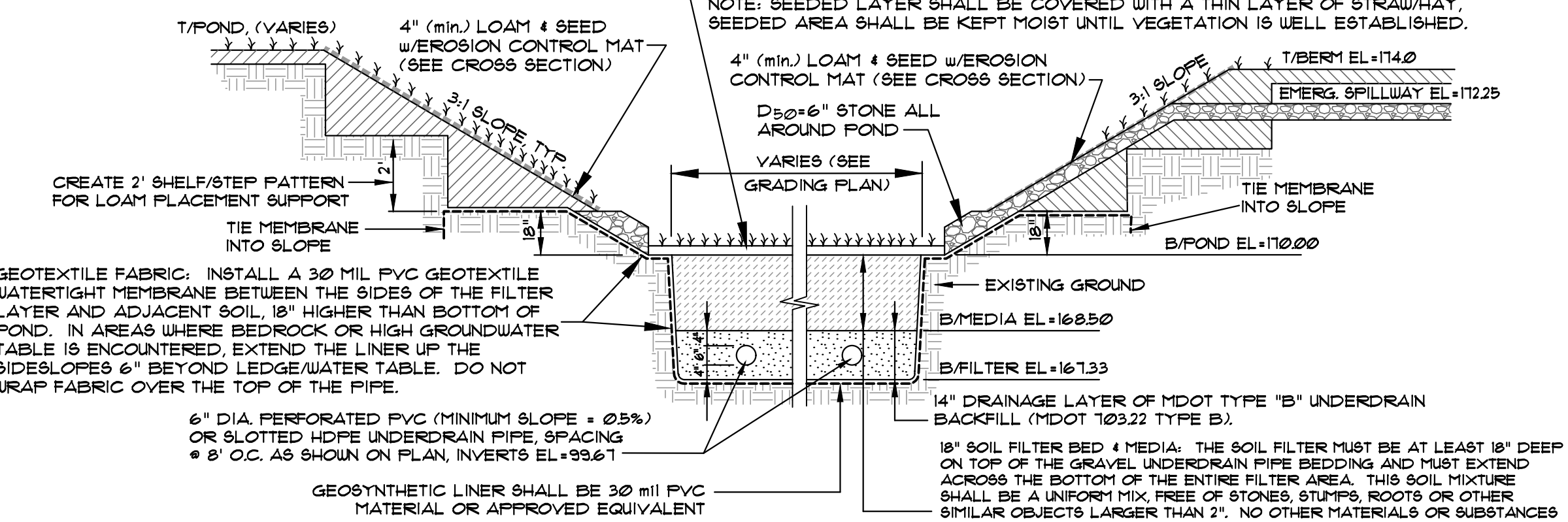
NOTE: THE SOIL FILTER SHALL DRAIN IN NO LESS THAN 24 HRS BUT NOT MORE THAN 48 HRS.



FILTER BASIN OUTLET CONTROL STRUCTURE DETAIL

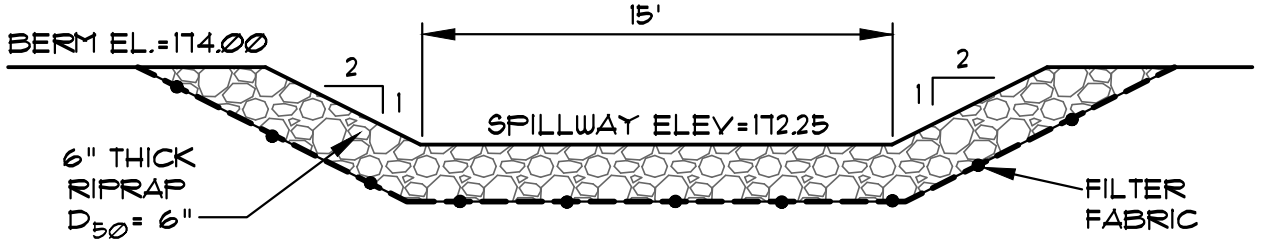
(NOT TO SCALE)

NOTE:
FILTER POND SOIL FILTER DETAILS DEPICTS ELEVATIONS AT THE BOTTOM PERIMETER OF THE POND AND NOT THE LOW POINT OF THE POND. SEE SITE PLAN GRADING AND SECTION FOR LOW POINT OF ELEVATION (TYPICALLY NEAR THE CONTROL STRUCTURE)



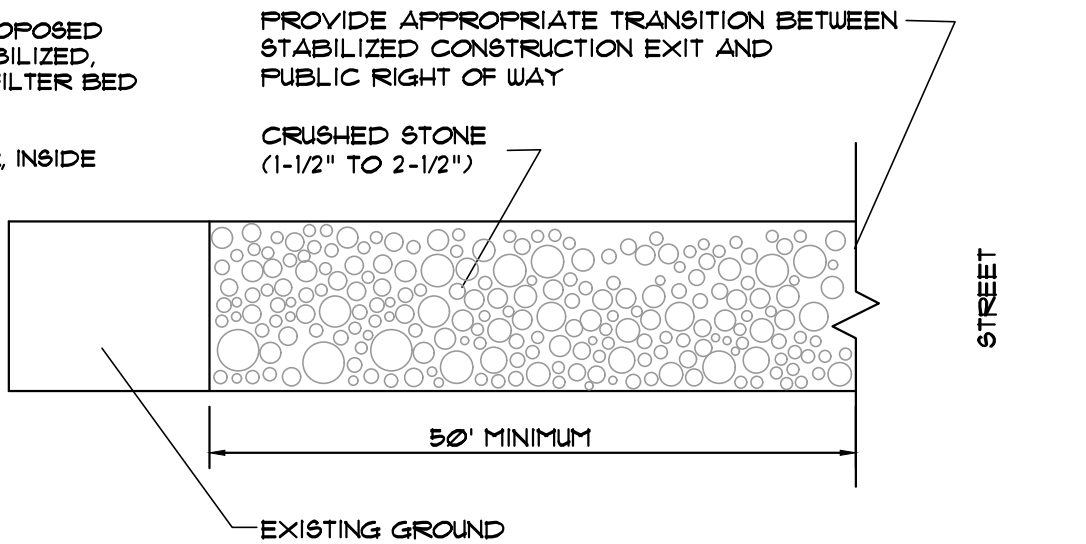
SOIL FILTER POND DETAIL

NOT TO SCALE



FILTER BASIN EMERGENCY SPILLWAY DETAIL

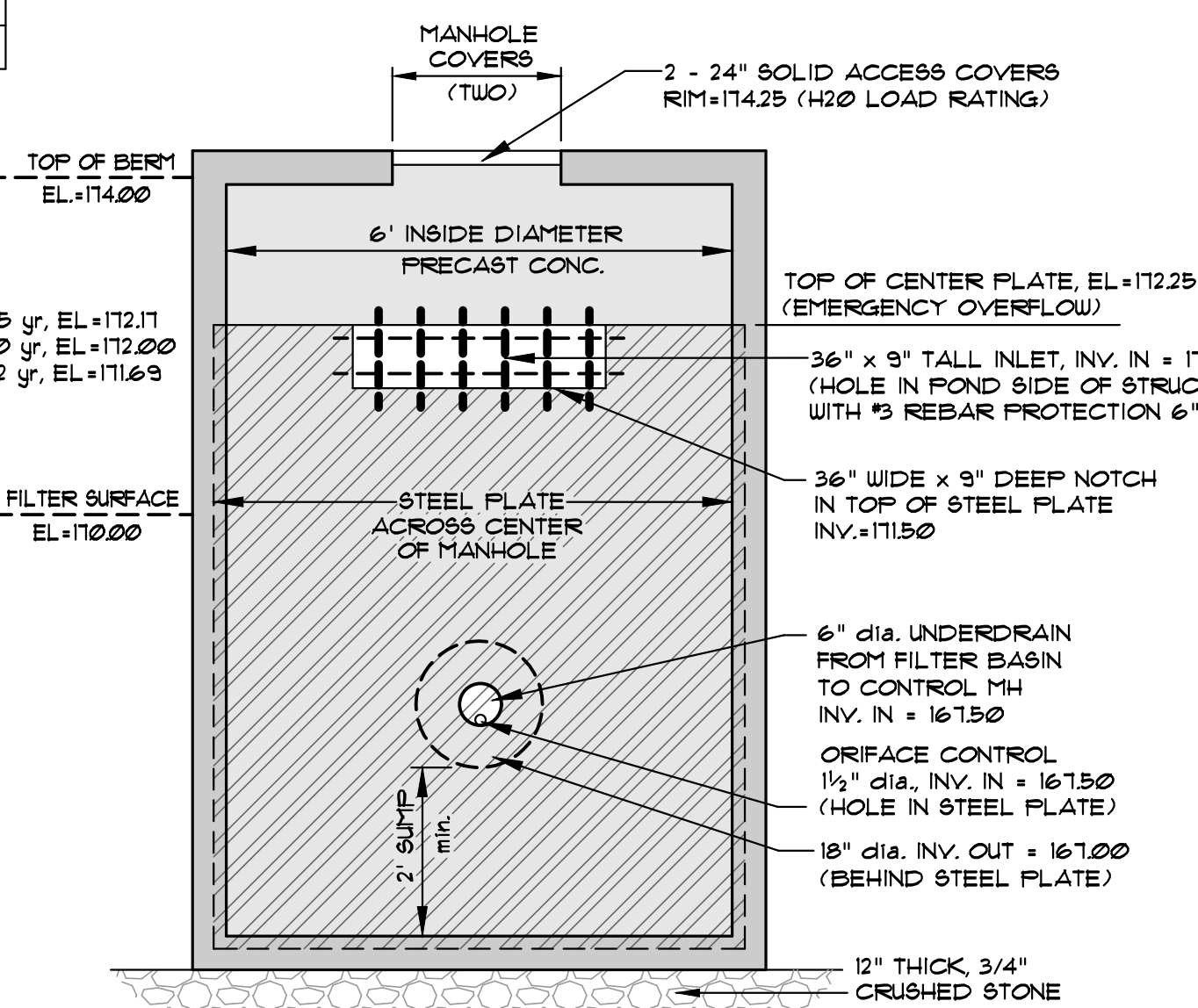
NOT TO SCALE



- STONE SIZE - AASHTO DESIGNATION M 43, SIZE 2" (2 1/2" - 1 1/2") USE CRUSHED STONE
- LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50'
- THICKNESS - NOT LESS THAN 6"
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT OF WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
- MAINTENANCE - THE STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOUING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USES TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION EXIT DETAIL

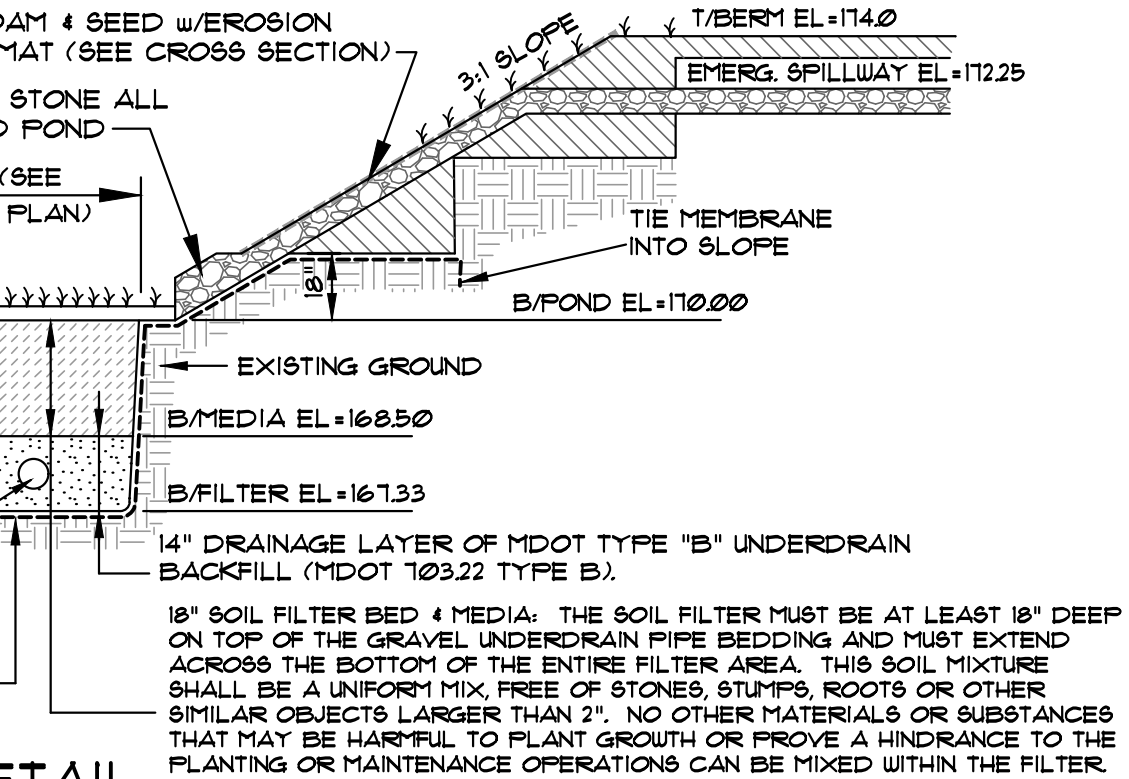
NOT TO SCALE



ELEVATION VIEW FROM INLET SIDE OF STRUCTURE

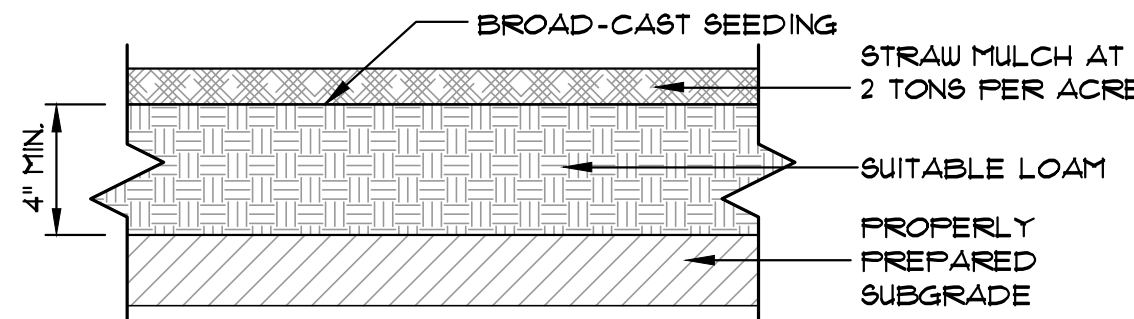
VEGETATION: THE SOIL FILTER SURFACE MUST BE PLANTED WITH 2" SANDY LOAM & SEEDS WITH MIXTURE SHOWN BELOW:
CREEPING RED FESCUE - 15 lbs/acre
BIRDSFOOT TREFOIL - 8 lbs/acre
REDTOP OR CLOVER - 5 lbs/acre
TOTAL - 48 lbs/acre

NOTE: SEEDS LAYER SHALL BE COVERED WITH A THIN LAYER OF STRAW/HAY. SEEDS AREA SHALL BE KEPT MOIST UNTIL VEGETATION IS WELL ESTABLISHED.



STONE DRIFT EDGE DETAIL

NOT TO SCALE

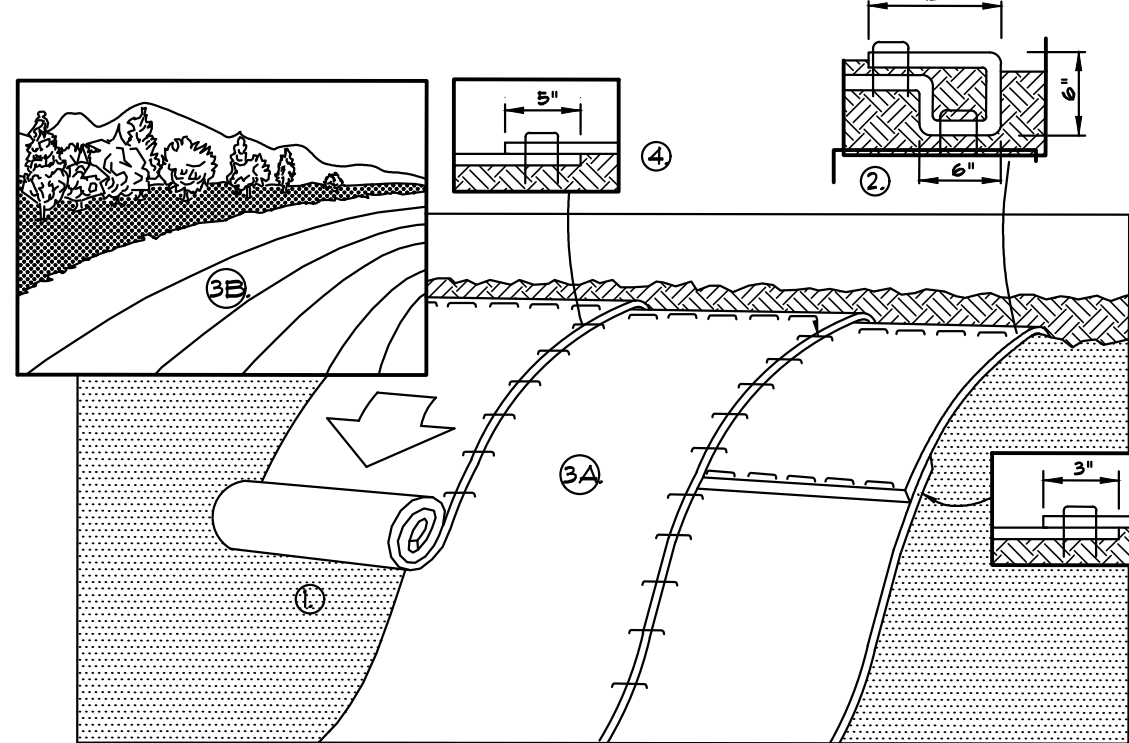


PLACE LOAM & SEED ON ALL DISTURBED AREAS NOT TO BE RIP RAFFED OR GRAVELED

PERMANENT SEED MIX	APPLICATION RATE
KENTUCKY BLUEGRASS	46
CREEPING RED FESCUE	46
PERENNIAL RYEGRASS	11
TOTAL SEED RATE	103

LOAM & SEED DETAIL

NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND HOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-8" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROX. 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

EROSION CONTROL BLANKET DETAIL

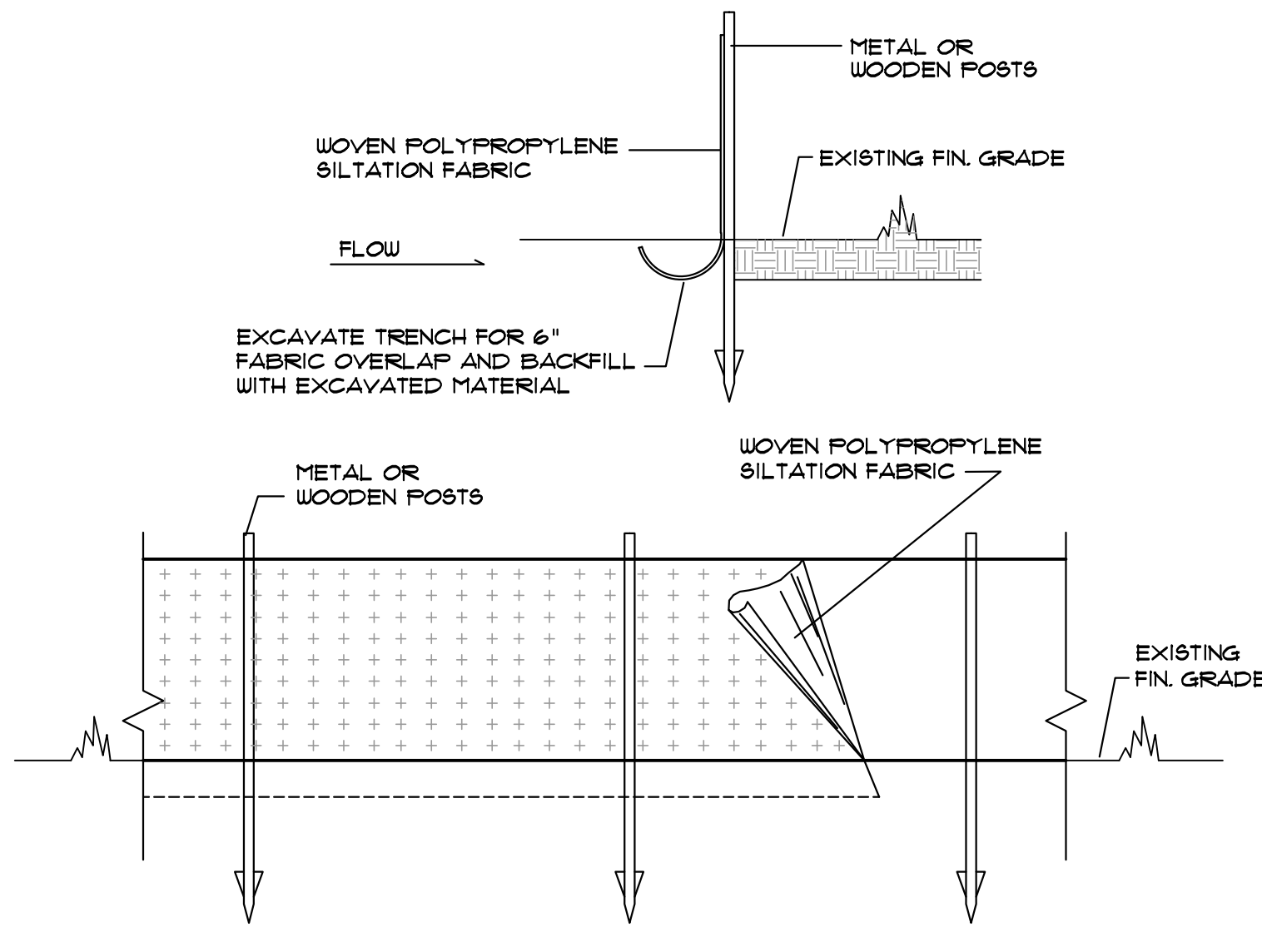
NOT TO SCALE

GENERAL NOTES

- SEE SHEETS 1 & 2 FOR SITE SPECIFIC NOTES.
- THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
- ALL CONSTRUCTION WITHIN THE TOWN OF WINDHAM RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN OF WINDHAM PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF WINDHAM AND/OR MEDOT REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (811) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN TEN FEET, THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCRoACHING ON THIS REQUIREMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY THE TOWN OF WINDHAM CEO. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE, MAINTAIN AND PROTECT TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROL PERSONNEL. THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE TOWN. PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH MEDOT SPECIFICATIONS. TWELVE INCH (12") WIDE STOP BAR AND FOUR INCH (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT MATERIALS AND COMPACTION TESTING AT NO COST TO THE OWNER. RESULTS OF THE TESTING ARE TO BE SUPPLIED TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.
- ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- THE CONTRACTOR SHALL FURNISH ELECTRICAL POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE SHOULD THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.
- WORK MAY PROGRESS MONDAY THROUGH FRIDAY 7:00 AM TO 5:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE TOWN OF WINDHAM. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN THE CITY LAND USE ORDINANCE REGULATIONS.
- THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION, THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
- PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/ FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULES BASED UPON PLAN REVIEW. SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING THE WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MEDOT STANDARD SPECIFICATIONS, LATEST EDITION.

LAYOUT NOTES

- ALL STREET RELATED SIGNS TO BE INSTALLED ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MEDOT AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PROPERTY LINE AND RIGHT OF WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTORS EXPENSE BY A MAINE PROFESSIONAL LAND SURVEYOR.

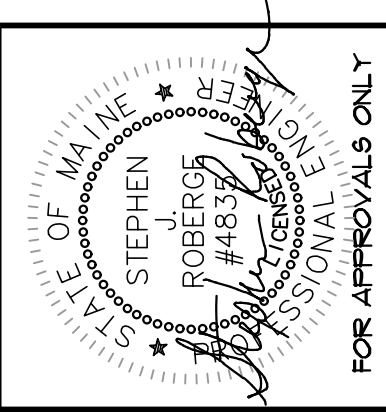


NOTES

REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL:

SILT FENCE DETAIL

NOT TO SCALE



DATE	3/27/2024	PROJECT	2024-05
DRAWN BY	SJR	SCALE	1" = 40'
REV.	BY: DATE: CHANGES:		
2	SJR	4-25-24	SUBDIVISION NAME - TITLE BLOCK
1	SJR	4-16-24	ADD DRIP EDGE DETAIL

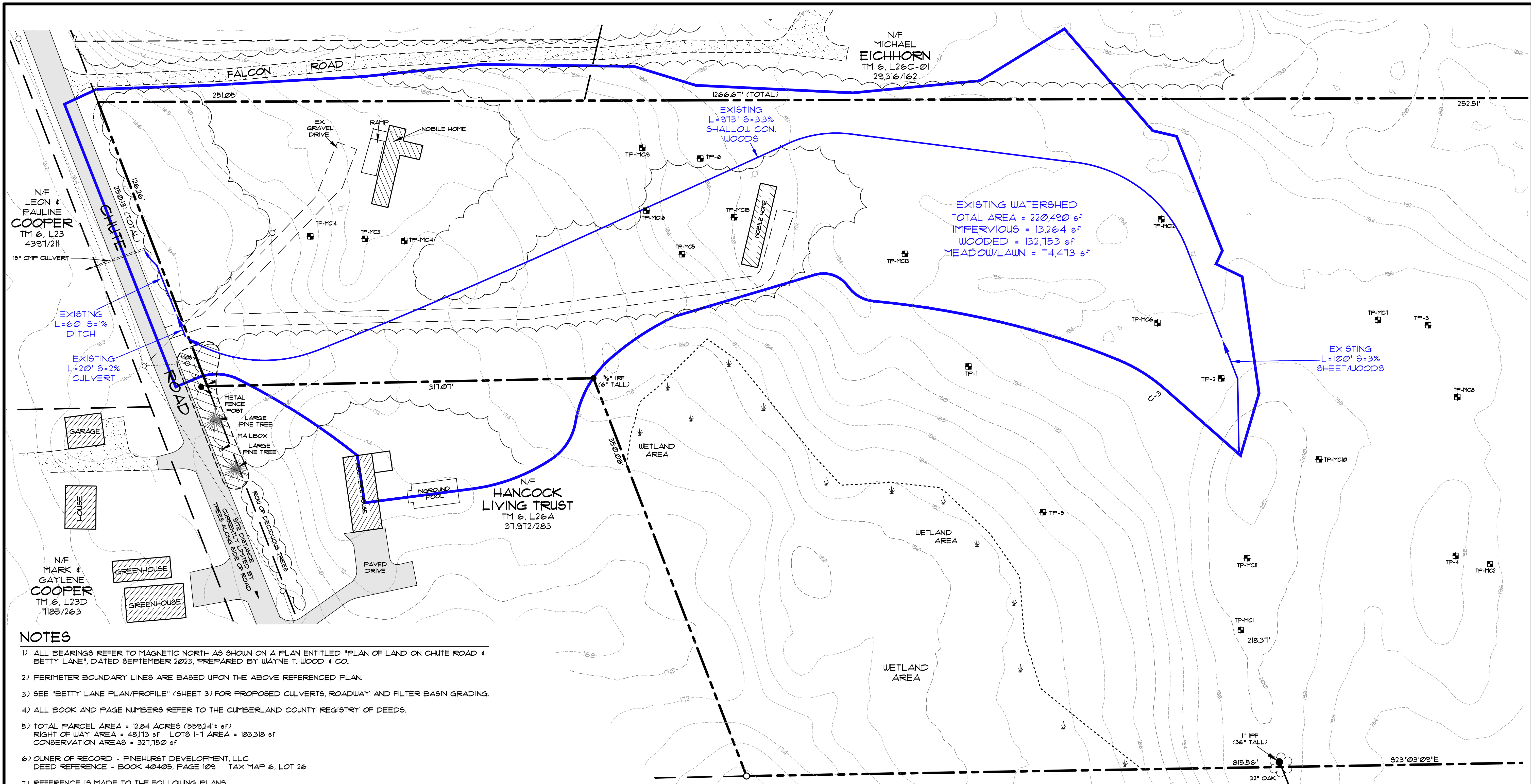
SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONTMOUTH, MAINE 04259
(207) 242-6243 tel
steve@sjeeng.com

SJR ENGINEERING

CONSTRUCTION NOTES & DETAILS
EDGEWATER ESTATES
BETTY LANE - WINDHAM, MAINE
PREPARED FOR
RCL, LLC
366 ROUTE 11 - FALMOUTH, MAINE 04105

DATE	3/27/2024	PROJECT	2024-05
DRAWN BY	SJR	SCALE	1" = 40'

SHEET 4



NOTES

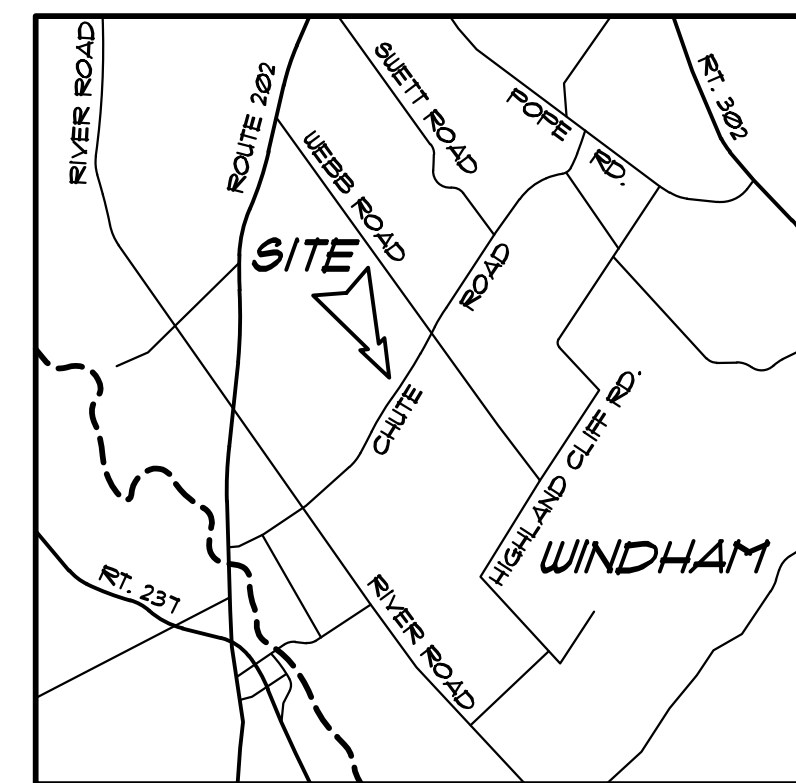
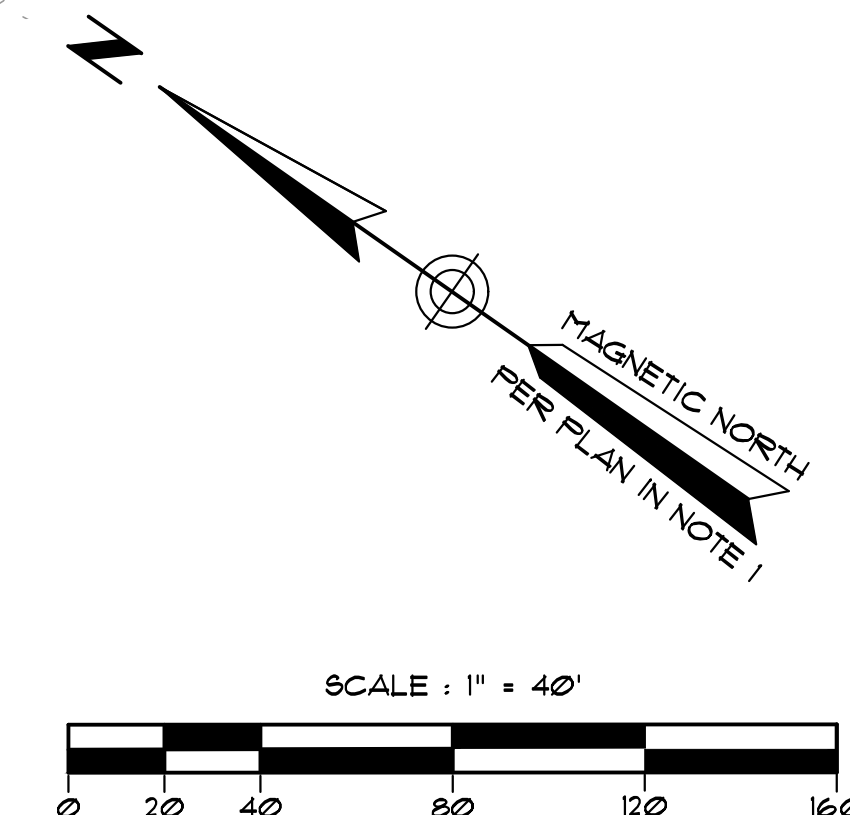
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- PERIMETER BOUNDARY LINES ARE BASED UPON THE ABOVE REFERENCED PLAN.
- SEE "BETTY LANE PLAN/PROFILE" (SHEET 3) FOR PROPOSED CULVERTS, ROADWAY AND FILTER BASIN GRADING.
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- TOTAL PARCEL AREA = 12.84 ACRES (559,241± sf)
RIGHT OF WAY AREA = 48,113 sf
LOTS 1-7 AREA = 183,318 sf
CONSERVATION AREAS = 321,750 sf
- OWNER OF RECORD - PINEHURST DEVELOPMENT, LLC
DEED REFERENCE - BOOK 40409, PAGE 109 TAX MAP 6, LOT 26
- REFERENCE IS MADE TO THE FOLLOWING PLANS
A) "PLAN OF PROPERTY FOR PETER KLUCHNIK", DATED JANUARY 19, 1911, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 22.
B) "PROPERTY PLAN MADE FOR KENNETH JORDAN", DATED APRIL 22, 1980, RECORDED AT SAID REGISTRY IN PLAN BOOK 126, PAGE 31.
C) "PLAN FOR DIVISION OF LAND OF DOROTHY DURANT", DATED APRIL 4, 1911, RECORDED AT SAID REGISTRY IN PLAN BOOK 116, PAGE 17.
- THE PREMISES IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 230189 0030 B, DATED SEPTEMBER 2, 1981.

THE PARCEL IS LOCATED IN THE FARM ZONING DISTRICT.
MINIMUM CONSERVATION LOT SIZE = 30,000 sf
MINIMUM CONSERVATION LOT STREET FRONTAGE = 100' (50' ON CUL-DE-SAC)
MINIMUM CONSERVATION LOT FRONT SETBACK = 25'
MINIMUM CONSERVATION LOT SIDE & REAR SETBACK = 10'
SETBACK ALONG EXISTING ROAD = 100'
SETBACK FROM EXTERIOR (PERIMETER) LOT LINE = 50'
- WETLANDS WERE TAKEN FROM A PLAN ENTITLED "PRELIMINARY NATURAL RESOURCES SURVEY, BETTY LANE, WINDHAM", DATED FEBRUARY 8, 2023, PREPARED BY BASSWOOD ENVIRONMENTAL.
- LOTS ARE TO BE SERVICED BY PRIVATE WATER, PRIVATE SEPTIC SYSTEMS AND OVERHEAD AND UNDERGROUND UTILITIES.
- ALL NEW PRINCIPAL STRUCTURES WILL BE LOCATED WITHIN THE BUILDING ENVELOPES. NO MULTIPLE DWELLING UNITS SHALL BE PLACED ON ANY LOT.
- BETTY LANE SHALL REMAIN PRIVATE AND TO BE MAINTAINED BY THE DEVELOPER OR THE LOT OWNERS AND SHALL NOT BE ACCEPTED OR MAINTAINED BY THE TOWN. A ROAD OWNERS ASSOCIATION SHALL BE DEVELOPED TO ESTABLISH AND DETERMINE THE ALLOWABLE USES AND RESPONSIBILITIES OF EACH LOT OWNER WITH REGARDS TO UPKEEP, MAINTENANCE AND REPAIR OF SAID ROAD.
- TEST PITS 1-6 WERE PERFORMED BY BASSWOOD ENVIRONMENTAL IN FEBRUARY 2024. TEST PITS MC1-MC14 WERE PERFORMED BY MARC CENSI GEOLOGIC, INC. IN MARCH 2024.
- APPROXIMATE WELL EXCLUSION AREAS ARE SHOWN AS BEING 100' FROM THE TEST PITS. ACTUAL LOCATION WILL BE 100' FROM THE EDGES OF THE SEPTIC SYSTEMS ONCE THEY ARE CONSTRUCTED.

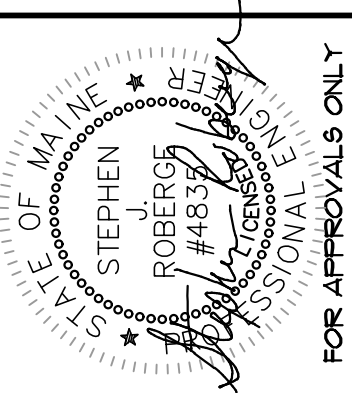
LEGEND

---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER PARCEL)
- - - -	BUILDING SETBACK
○	UTILITY POLE WITH OVERHEAD WIRES
●	IRON PIPE OR ROD FOUND (PER NOTE 2 ITEMS)
⊙	GRANITE MONUMENT TO BE SET
⦿	IRON ROD TO BE SET
⦿	IRON ROD SET ON CONSERVATION BUFFER
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
~~~~~	EXISTING TREELINE
~~~~~	NEW TREELINE
~~~~~	REMOVE TREELINE
~~~~~	NOW OR FORMERLY
~~~~~	BOOK AND PAGE NUMBER
~~~~~	TAX MAP AND LOT NUMBER
~~~~~	TEST PIT (SEE NOTE 13, SHEET 1)
~~~~~	PROPOSED BUILDING (SCHEMATIC)
~~~~~	EXISTING BUILDING
~~~~~	EXISTING PAVEMENT
~~~~~	PROPOSED ROAD/DRIVEWAY (SCHEMATIC)

N/F  
JANICE  
BOUCHER  
TM 6, L28  
26,441/194



LOCATION MAP

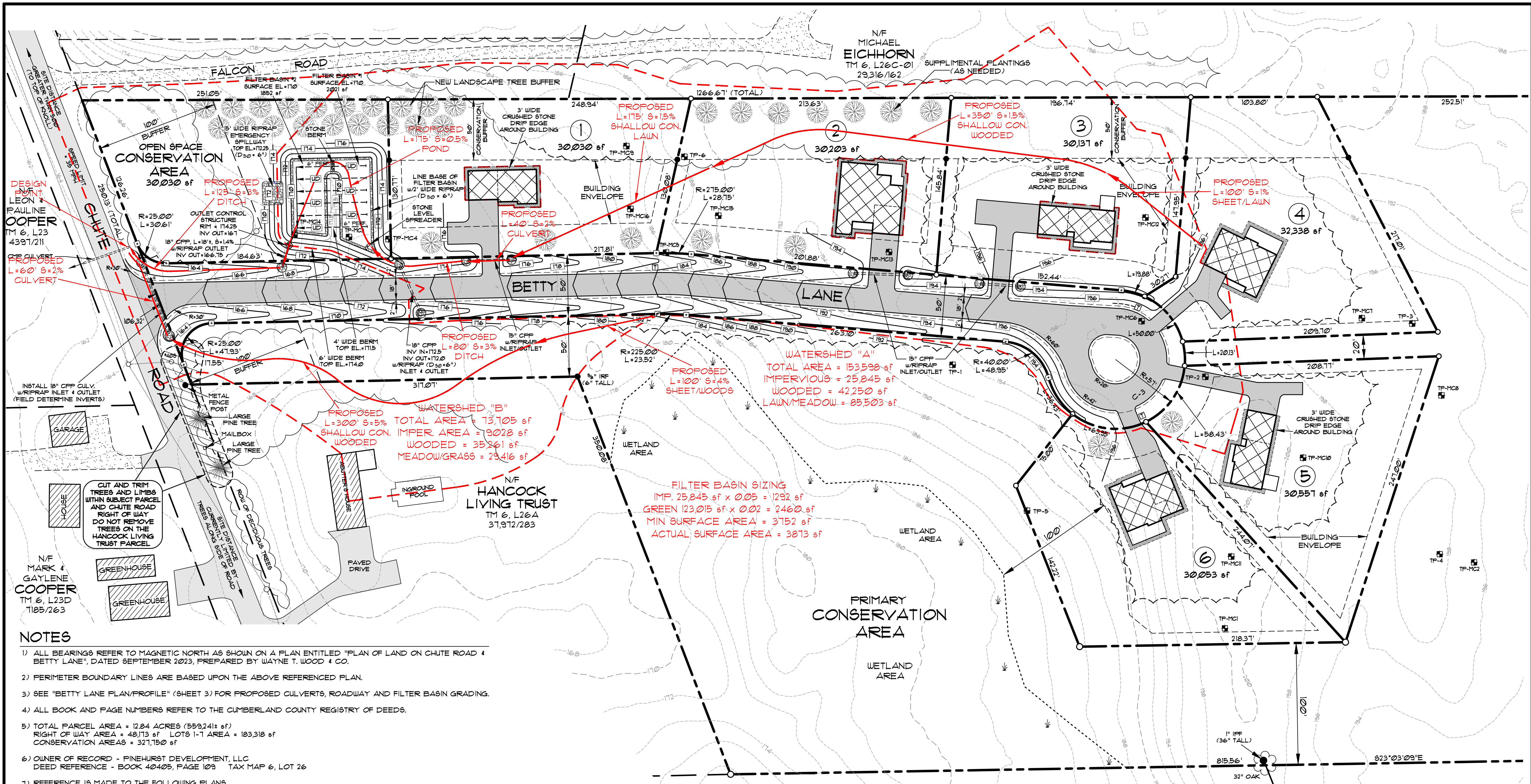


REV.	BY:	DATE:	CHANGES:
1	SJR	4-25-24	SUBDIVISION NAME - TITLE BLOCK

**SJR ENGINEERING, INC.**  
16 THURSTON DRIVE  
MONMOUTH, MAINE 04259  
(207) 242-6243 tel  
steve@sjeeng.com

**EXISTING WATERSHED PLAN**  
**EDGEWATER ESTATES**  
BETTY LANE - WINDHAM, MAINE  
PREPARED FOR  
**RCI, LLC**  
366 ROUTE 11 - FALMOUTH, MAINE 04105

DATE	PROJECT
APRIL 2024	2024-05
DRAWN BY	SCALE
SJR	1" = 40'

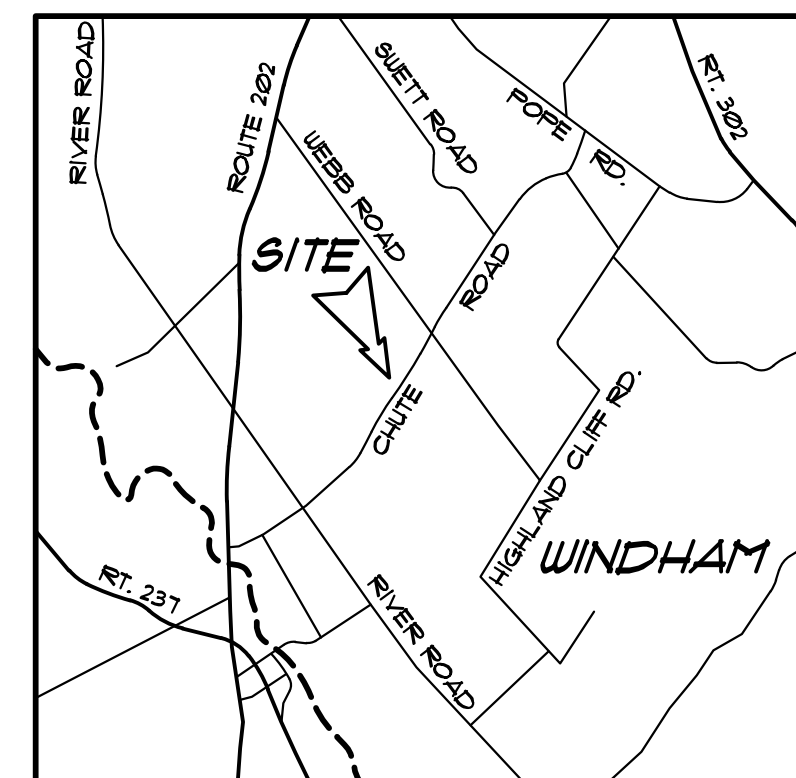


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MINIMUM CONSERVATION LOT STREET FRONTAGE = 100' (50' ON CUL-DE-SAC)  
MINIMUM CONSERVATION LOT FRONT SETBACK = 25'  
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- LOTS ARE TO BE SERVICED BY PRIVATE WATER, PRIVATE SEPTIC SYSTEMS AND OVERHEAD AND UNDERGROUND UTILITIES.
- ALL NEW PRINCIPAL STRUCTURES WILL BE LOCATED WITHIN THE BUILDING ENVELOPES. NO MULTIPLE DWELLING UNITS SHALL BE PLACED ON ANY LOT.
- BETTY LANE SHALL REMAIN PRIVATE AND TO BE MAINTAINED BY THE DEVELOPER OR THE LOT OWNERS AND SHALL NOT BE ACCEPTED OR MAINTAINED BY THE TOWN. A ROAD OWNERS ASSOCIATION SHALL BE DEVELOPED TO ESTABLISH AND DETERMINE THE ALLOWABLE USES AND RESPONSIBILITIES OF EACH LOT OWNER WITH REGARDS TO UPKEEP, MAINTENANCE AND REPAIR OF SAID ROAD.
- TEST PITS 1-6 WERE PERFORMED BY BASSWOOD ENVIRONMENTAL IN FEBRUARY 2024. TEST PITS MC1-MC14 WERE PERFORMED BY MARC CENSI GEOLOGIC, INC. IN MARCH 2024.
- APPROXIMATE WELL EXCLUSION AREAS ARE SHOWN AS BEING 100' FROM THE TEST PITS. ACTUAL LOCATION WILL BE 100' FROM THE EDGES OF THE SEPTIC SYSTEMS ONCE THEY ARE CONSTRUCTED.

### LEGEND

---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER PARCEL)
---	BUILDING SETBACK
○	UTILITY POLE WITH OVERHEAD WIRES
●	IRON PIPE OR ROD FOUND (PER NOTE 2 ITEMS)
○	GRANITE MONUMENT TO BE SET
○	IRON ROD TO BE SET
○	IRON ROD SET ON CONSERVATION BUFFER
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING TREELINE
---	NEW TREELINE
---	REMOVE TREELINE
---	NOU OR FORMERLY
---	BOOK AND PAGE NUMBER
---	TAX MAP AND LOT NUMBER
---	TEST PIT (SEE NOTE 13, SHEET 1)
---	PROPOSED BUILDING (SCHEMATIC)
---	EXISTING BUILDING
---	EXISTING PAVEMENT
---	PROPOSED ROAD/DRIVEWAY (SCHEMATIC)



SJR ENGINEERING, INC.

16 THURSTON DRIVE  
MONTMOUTH, MAINE 04259  
(207) 242-6243 tel  
steve@sjeeng.com

PROPOSED WATERSHED PLAN  
EDGEWATER ESTATES

BETTY LANE - WINDHAM, MAINE  
PREPARED FOR  
RCI, LLC

366 ROUTE 11 - FALMOUTH, MAINE 04105

DATE	PROJECT
APRIL 2024	2024-05
DRAWN BY	SCALE
SJR	1" = 40'

SHEET W3-2



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

