

Town of Windham

Planning Department
8 School Road
Windham, ME 04062

voice 207.894.5960 ext. 2

fax 207.892.1916

July 31, 2017

Big Mountain, LLC
c/o Kevin Bosworth
3 Olde Fort Road
Cape Elizabeth, ME 04107

Dear Mr. Bosworth:

I am writing to confirm that in accordance with Section 814.F. of the Town of Windham Land Use Ordinance, staff has approved the minor change from the approved JMC Self Storage Expansion Site Plan, located at 964 Roosevelt Trail, identified on Tax Map 21; Lot 2A-2, Zone: Commercial 1 (C-1).

Based on review of the letter dated July 24, 2017 from Dustin Roma, P.E. at DM Roma Consulting Engineers, the staff approval is for the combination of the 7,475 sf Building 3 and 7,425 Building 4 into a single building with a floor area of 14,950 square feet, moving the building and associated driveway aisles and grading away from the pipeline easement, and adjust the roofline to a pitch of 2:12 with cupolas separated by not more than 50 feet.

This change amends the approved plans for 17-07 Big Mountain, LLC – JMC Self Storage Expansion, approved by the Planning Board May 8, 2017 (an amendment to 16-21 Little Mountain Self Storage & Retail Major Site Plan approved on January 9, 2017). This approval is based on the Amended Site Plan S-1 and Grading and Utility Plan GU-1, Revised July 17, 2017, attached.

Sincerely,



Amanda Lessard
Planner

cc: Dustin Roma, PE, DM Roma Consulting Engineers
File

DM ROMA

CONSULTING ENGINEERS

July 24, 2017

Amanda Lessard, Town Planner
Town of Windham
8 School Road
Windham, ME 04062

**Re: Request for Minor Revision to Approved Site Plan
JMC Self Storage Facility Expansion
Big Mountain, LLC – Applicant**

Dear Amanda:

Due to unforeseen conditions encountered during construction related to the presence of ledge and a discrepancy in the proximity of the adjacent oil pipeline infrastructure and easement, we have proposed a minor change to the approved Site Plan for the JMC Self Storage Facility. The proposed changes are as follows, and are outlined in more detail on the attached plans:

- Combine buildings 3 and 4 into a single building with a floor area of 14,950 square feet. The building will include a firewall so that a sprinkler system is not required per the Town's fire protection ordinance.
- Move the climate controlled rear building and associated drive aisles and grading away from the pipeline easement so that no earthwork is proposed within the easement.
- Make minor adjustments to grades and drainage infrastructure to accommodate the new building layout design
- Adjust the roofline to a pitch of 2:12 on the new Building 3 and install five (5) cupolas spaced evenly and separated by not more than 50 feet.

Upon your review of this information, please let us know if you have any questions or require any additional information.

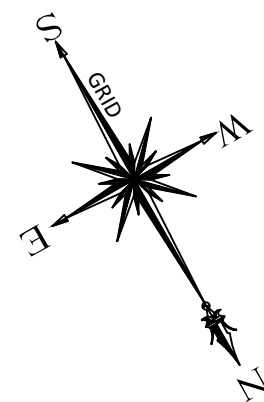
Sincerely,

DM ROMA CONSULTING ENGINEERS



Dustin M. Roma, P.E.
President

Cc: Kevin Bosworth – Big Mountain, LLC
Enc.



DRILL

PORTLAND PIPELINE CORPORATION EASEMENT

STORAGE
BUILDING
FFF=349.94'

STORAGE
BUILDING
FFE=347.84' INSTAL

BOLLARDS
AND KEYPAD

11

ANCE SIGHT
DISTANCE

ROOSEVELT TRAIL
(STATE ROUTE 302)

 $FE = 341.86'$

Year	Percentage of people who have ever been in a romantic relationship
1990	85
1995	86
2000	87
2005	88
2010	90

OHU

BUILDING 3
14,950 SF

Year	Percentage of Population Aged 65 and Over (%)
1950	7.5
1960	10.5
1970	10.2
1980	10.8
1990	11.2
2000	12.5

[illegible]

OHU

Condition	0 trials	1 trial	2 trials
0'	~50%	~40%	~30%
15'	~60%	~50%	~40%
30'	~70%	~60%	~50%

C1	145.74'	1392.69'	N56°29'22"W (N40°50'46"W)	145.67'
C2	19.54'	1382.69'	S51°22'44"E	19.54'

DATE: _____

LEGEND

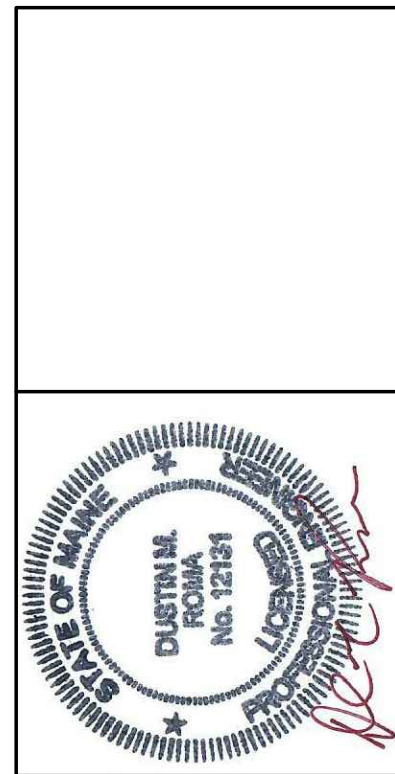
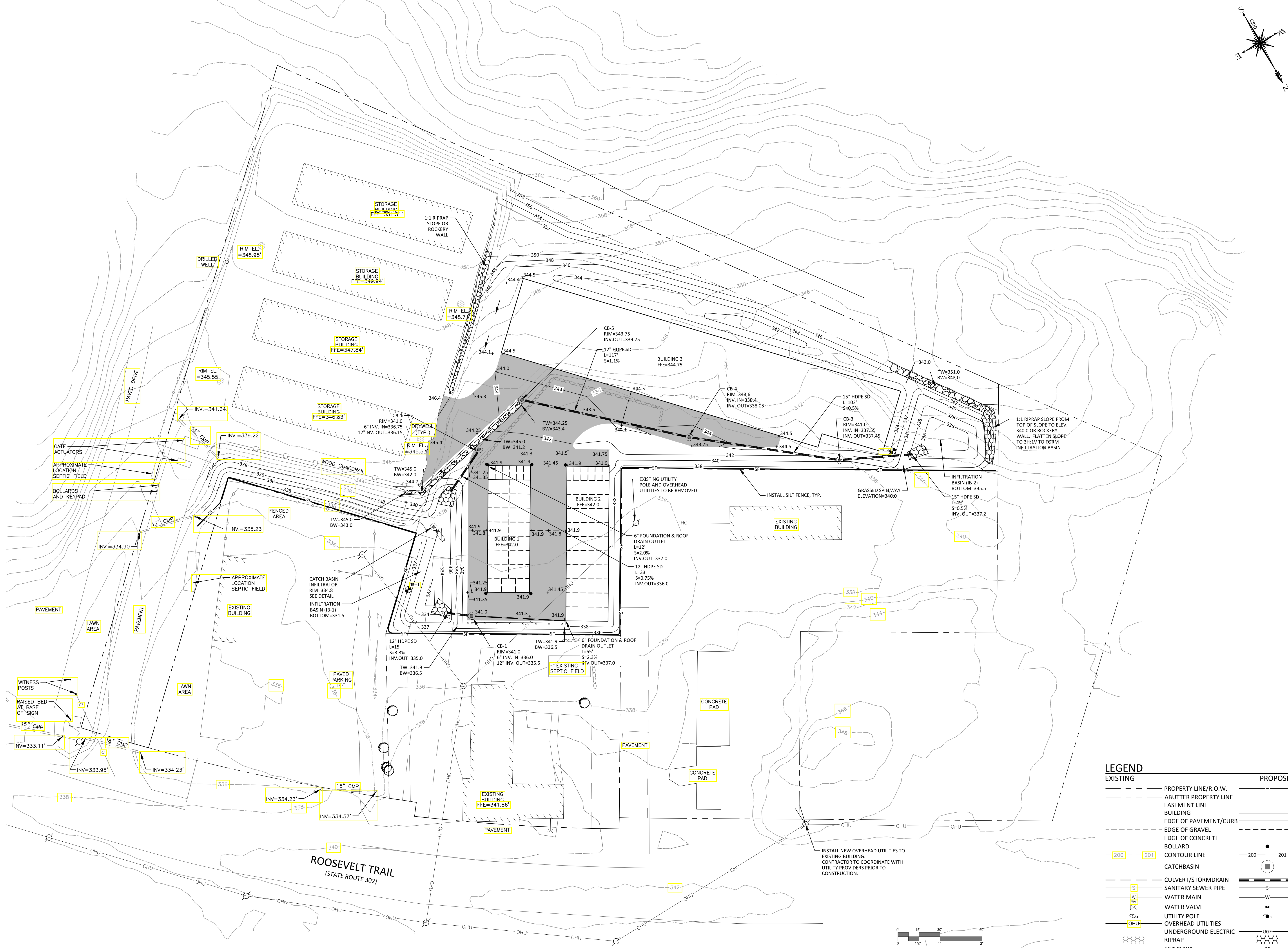
EXISTING	PROPOSED
----------	----------

N00°00'00"E
BEARING (GRID NORTH)

- - - - - EDGE OF GRAVEL - - - - -
 _____ EDGE OF CONCRETE
 [] []
 CONCRETE BASE

WATER VALVE
 UTILITY POLE

15021
JOB NUMBER:
1" = 30'
SCALE:
7-17-2017
DATE:
SHEET 3 OF 6
S-1



DM ROMA
CONSULTING ENGINEERS
59 HARVEST HILL RD
WINDHAM, ME 04062
(207) 310-0506

REV	DATE	BY	DESCRIPTION
A	3-5-17	DMR	ISSUED TO TOWN FOR REVIEW
B	4-9-17	DMR	REVISED PER TOWN REVIEW
C	6-26-17	DMR	ISSUED FOR CONSTRUCTION
D	7-17-17	DMR	REVISED BASED ON EXISTING SITE CONSTRAINTS

GRADING AND UTILITY PLAN
JMC SELF STORAGE EXPANSION
WINDHAM, MAINE
FOR: **BIG MOUNTAIN, LLC**
3 OLD FORT ROAD, WINDHAM, MAINE 04097

15021
JOB NUMBER:
1" = 30'
SCALE:
7-17-2017
DATE:
SHEET 4 OF 6
GU-1