

From: Owens McCullough <omccullough@sebagotechnics.com>
Sent: Friday, November 09, 2018 10:41 AM
To: Jonathan R. Earle; Amanda L. Lessard
Cc: 'gary.laplante@maine.gov'; Gretchen A. Anderson; Christopher S. Hanson; Dennis Morin
Subject: RE: 18-35 Maine Corrections Center - Maintenance & Central Plant Building
Attachments: 16405OAS-OAS.pdf

Good Morning Jon and Amanda,

Attached is the site plan with note number 19 (Inspection and Maintenance) added to the plan. For consistency, we used the same note from the Women's Pre-release Center Project.

Thank you, Owens

From: Owens McCullough
Sent: Thursday, November 8, 2018 5:31 PM
To: 'Jonathan R. Earle' <jrearle@windhammaine.us>; Amanda L. Lessard <allessard@windhammaine.us>
Cc: 'gary.laplante@maine.gov' <gary.laplante@maine.gov>; Gretchen A. Anderson <gaanderson@windhammaine.us>; Christopher S. Hanson <cshanson@windhammaine.us>
Subject: RE: 18-35 Maine Corrections Center - Maintenance & Central Plant Building

Good afternoon Jon and Amanda,

Thank you for the quick follow-up on the submittal and review. Below next to each question is some follow-up information I hope will help clarify the items mentioned. Thank you, Owens

From: Jonathan R. Earle <jrearle@windhammaine.us>
Sent: Thursday, November 8, 2018 1:38 PM
To: Amanda L. Lessard <allessard@windhammaine.us>; Owens McCullough <omccullough@sebagotechnics.com>
Cc: 'gary.laplante@maine.gov' <gary.laplante@maine.gov>; Gretchen A. Anderson <gaanderson@windhammaine.us>; Christopher S. Hanson <cshanson@windhammaine.us>
Subject: 18-35 Maine Corrections Center - Maintenance & Central Plant Building

Amanda & Owens,

Below are my additional comments regarding the final site plan submission for the project:

1. A site work estimate was included for the project that is reasonable for the scope of work being proposed. An inspection escrow shall be provided for the project that is 3% of the estimated cost of the site work prior to the start of construction. It should be noted that for site plan projects, the cost of paving does not need to be included in the calculation of the construction observation escrow. I will coordinate with the owner to post the escrow amount. If I am reading it correctly the amount the 3% will be based upon is \$521,135 less \$47,500 (paving) or \$473,635.00. Applying 3% would be an inspection escrow amount of \$14,209.05. Let me know if that sounds correct and I can have MCC provide the fee.

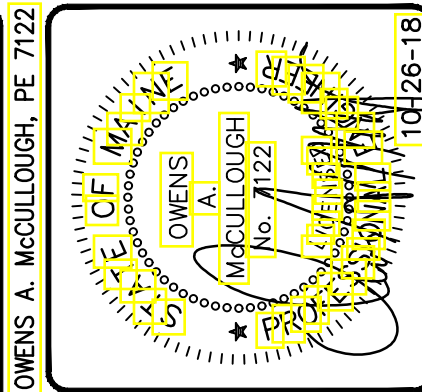
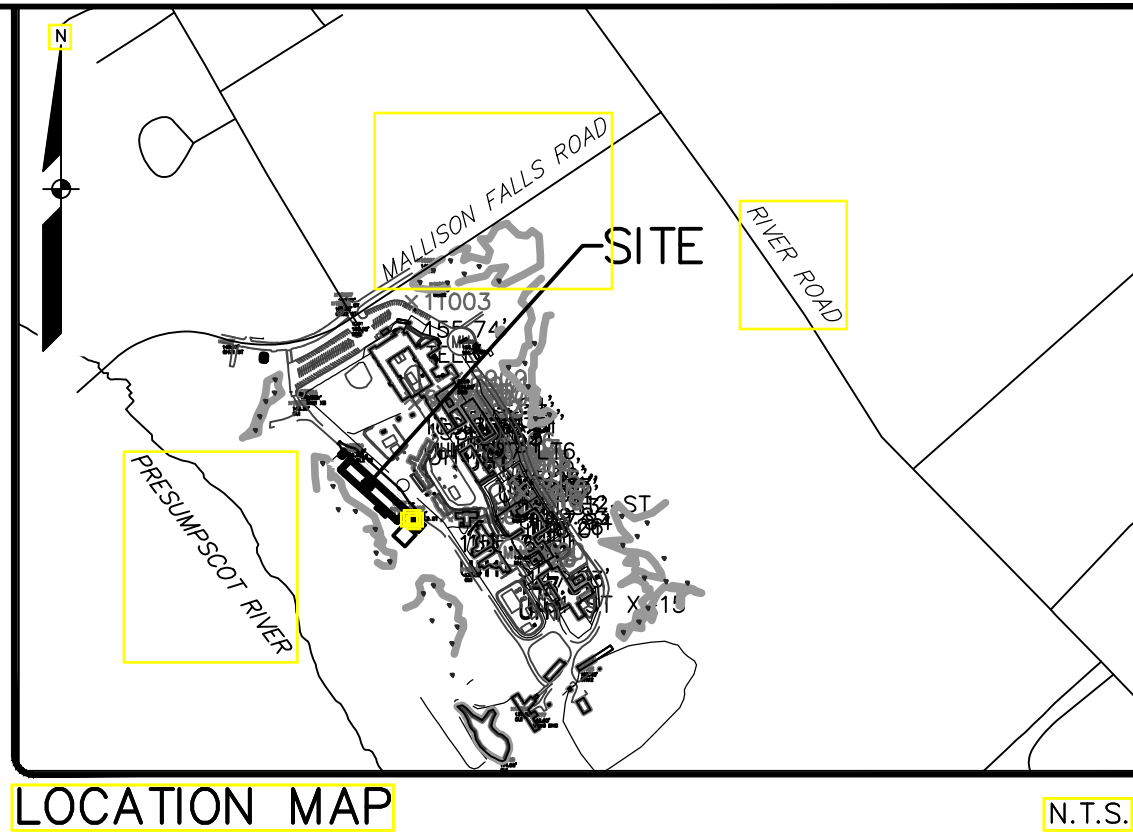
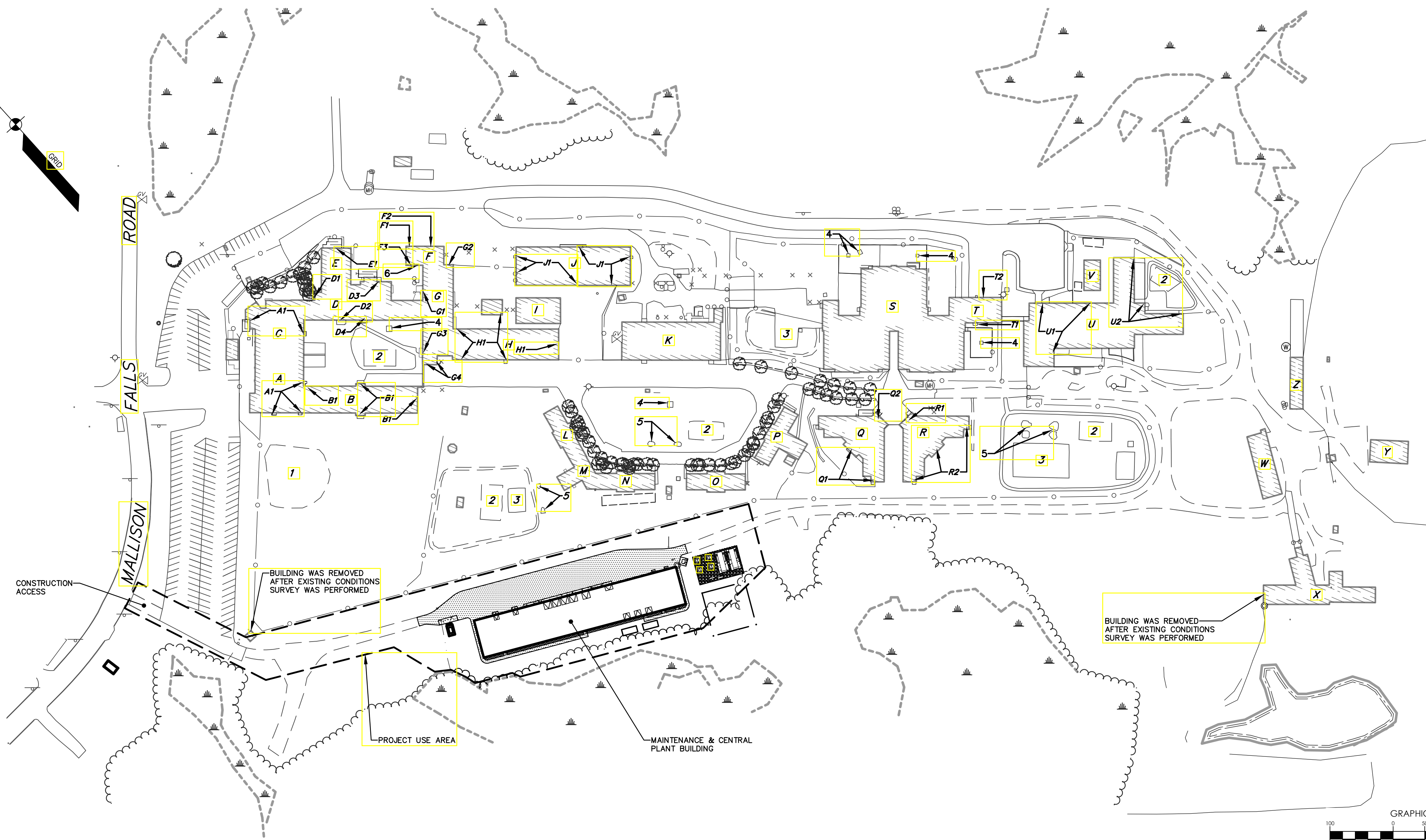
2. Sheet 7 of 13 shows a 1,000 gallon temporary holding tank being installed in front of the building. Does this need to be permitted and a HHE-200 approved by the Town's CEO? At what stage of the project will the PVC sewer service caps be removed and tied into the public sewer system? We agree an HHE-200 for the holding tank will be needed for the CEO submittal. Our LSE will be preparing the documents and will be submitting to the CEO for approval prior to the start of construction. The holding tank will be a temporary condition for construction offices in the building until the sewer system planning is completed for the entire re-development. We would ask for a condition of approval that an HHE-200 be obtained from the CEO prior to occupancy and that the building be connected to the facility sewer system as part of the modernization project for the entire jail which is expected to be underway within a year.
3. Landscaping Waiver – The narrative indicates that site landscaping will be complete in a future phase of the larger prison modifications. However, a landscaping plan is required for major site plan approval and a waiver should be provide with the justification that this will be addressed at a later time. We are requesting a waiver due to the location of the new building. The building will be located interior to the project site with forest lands to the west, existing on property site buildings to the east and north and that the building will be located approximately 500 feet from Malison Falls Road. As a result, landscaping for this building will have no practicable benefit. As part of the full facility permitting (to be submitted in the coming months) will include an integrated landscape plan tailored to the complete masterplan improvement project.
4. The Utility Plan (Sheet 8 of 13) shows a testable dual check valve backflow device. Has this been approved by PWD? Typically the District requires a testable RPZ backflow device for non-residential applications. As part of the design and planning process we have met with the PWD and provided them with our plans. The 12' by 20' building shown on sheet 8 of 13 will include a meter pit, testable backflow preventer valve and check valve for ease of access by the PWD. This was a requirement of the PWD as they prefer the meter and RPZ to be above grade in an enclosure. Notation is provided on the plan accordingly.
5. Pre & Post development stormwater plans and calculations were reviewed. In agreement with the DEP approval, the project meets the Town's Chapter 500 requirement for the Basic, General, and Flooding standards.
6. The project is located within the Town's MS4 urbanized area and will be subject to post construction annual inspections. A note needs to be added to the approved plan indicating the post-construction inspection requirements (similar to the Women's Re-Entry Center project). Understood. We will add the note as requested.

Please let me know if you have any questions or would like to further discuss.

Jon

Jon Earle, PE
Town Engineer
Town of Windham

Office: (207) 894-5900, ext. 6124
Cell: (207) 212-1802
www.windhammaine.us



DESIGNED	CHECKED
CAB	OAM
E OAM 10-26-18 ISSUED FOR CONSTRUCTION	
D OAM 10-19-18 REISSUED TO MAINE DEP	
C OAM 10-12-18 100% OWNER REVIEW	
B OAM 10-11-18 ISSUED FOR TOWN SKETCH PLAN REVIEW	
A OAM 09-27-18 SUBMISSION TO MAINE DEP	
REV. BY:	DATE:
STATUS:	
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.	



GENERAL NOTES

- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE NAVD88, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD AND UTILITY DELINEATION AS MARKED BY DIG-SMART OF MAINE. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- A WETLAND DELINEATION WAS PERFORMED ON THIS PROJECT SITE IN THE FALL OF 2017 BY GARY M. FULLERTON, CERTIFIED SOIL SCIENTIST OF SEBAGO TECHNICS, INC. THIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AND NORTHEAST REGIONAL SUPPLEMENT AUTHORED AND PUBLISHED BY THE U.S. ARMY CORPS OF ENGINEERS. ALL WETLAND FLAGS WERE LOCATED USING GLOBAL POSITIONING SYSTEMS (GPS) TECHNOLOGY CAPABLE OF DECIMETER ACCURACY.
- THE PROPOSED DEVELOPMENT WILL BE SERVED BY PUBLIC WATER AND UNDERGROUND ELECTRIC AND TELECOMMUNICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS ON THE PROJECT WHICH ARE NOT TO BE REMOVED. CLEAR TREES AS SHOWN ON THE PLANS HEREON.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- ALL EXISTING CATCH BASINS, MANHOLES, CONNECTIONS, CONDUIT AND PIPING SHALL BE CLEANED AND LEFT IN SATISFACTORY OPERATING CONDITION AFTER CONSTRUCTION HAS BEEN COMPLETED. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- ALL LAWN AREAS, WALKWAYS, AND DRIVEWAYS OUTSIDE THE WORK AREA, DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE.
- EXISTING PAVEMENT SHALL BE SAW CUT AND BUTTED TO THE NEW PAVEMENT. NO FEATHERING OF PAVEMENT WILL BE PERMITTED.
- EXISTING DRAINAGE STRUCTURES SHALL NOT BE DISTURBED UNLESS OTHERWISE NOTED IN THE DRAWINGS OR APPROVED BY THE ENGINEER.
- THE CONTRACTOR IS REQUIRED TO PROVIDE A SECURE PROJECT WORK AREA. ALL PIPE TRENCH EXCAVATIONS SHALL BE BACKFILLED AND "CLOSED" DURING CONTRACTOR NON-WORKING HOURS INCLUDING NIGHTS, HOLIDAYS AND WEEKENDS. THE CONTRACTOR MAY REQUEST IN WRITING TO THE ENGINEER AND OWNER TO SECURE OPEN EXCAVATION IN LIEU OF BACKFILLED AND "CLOSED." NOT ALLOWING A SECURE OPEN EXCAVATION SHALL NOT BE A BASIS FOR CLAIMS AGAINST THE OWNER.
- CONTRACTOR SHALL COMPLETE WORK SPECIFIED ON EACH PLAN AND SHALL COORDINATE WORK WITH ENTIRE PROJECT PLAN SET.
- WDEP PRIOR PERMITS:
 - A. L-015483-26-A-N
 - B. L-015483-26-B-M
 - C. L-15483-26-F-A/ L-15483-TA-G-N
- INSPECTION AND MAINTENANCE:
 - INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORM WATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE A WEEK AND BEFORE AND AFTER A STORM EVENT, PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORM WATER CONTROLS, INCLUDING THE STANDARDS IN THE MAINE CONSTRUCTION GENERAL PERMIT AND ANY DEP OR MUNICIPAL COMPANION DOCUMENTS, MUST CONDUCT THE INSPECTION. THIS PERSON MUST BE IDENTIFIED IN THE INSPECTION LOG. IF BEST MANAGEMENT PRACTICES (BMPs) NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.
 - AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES. MAJOR OBSERVATIONS MUST INCLUDE: BMPs THAT NEED TO BE MAINTAINED, LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION. FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED, INCLUDING WHAT ACTION WAS TAKEN AND WHEN.

DEMOLITION NOTES

- PROTECT EXISTING BOUNDARY LINE MONUMENTATION. IF DISTURBED, EXISTING MONUMENTATION TO BE RESET BY A PROFESSIONAL LAND SURVEYOR.
- DEMOLITION OF UTILITIES REQUIRING TREE REMOVAL SHALL BE COORDINATED WITH THE OWNER AND IN ACCORDANCE WITH PROJECT PLANS.
- UTILITY DEMOLITION SHALL BE COMPLETED IN COORDINATION WITH NEW INFRASTRUCTURE. CONTRACTOR SHALL ENSURE EXISTING SURFACE DRAINAGE IS MAINTAINED DURING CONSTRUCTION.
- EXISTING STORM DRAINAGE INFRASTRUCTURE TO REMAIN ACTIVE DURING CONSTRUCTION AND UPON COMPLETION OF PROJECT. DEMOLITION/CONSTRUCTION ACTIVITIES SHALL NOT INTERFERE OR IMPEDE EXISTING FLOWS. CONTRACTOR SHALL PROVIDE BYPASS PUMPING AS REQUIRED DURING STORM DRAINAGE DEMOLITION AND NEW CONSTRUCTION. DAMAGE TO INFRASTRUCTURE SHALL BE REPAIRED BY CONTRACTOR AT THEIR EXPENSE.
- PROTECT EXISTING UTILITIES UNLESS NOTED OTHERWISE.
- DEMOLITION AND RELOCATION OF UTILITIES WILL BE REQUIRED AS PART OF CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. COORDINATE ALL DEMOLITION WORK WITH SITE AND BUILDING DRAWINGS.

TRAFFIC NOTES

- THE CONTRACTOR SHALL MAINTAIN TRAFFIC IN A SAFE MANNER AT ALL TIMES DURING CONSTRUCTION. THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MANUAL FOR BOTH WORK ZONE AND TRAFFIC CONTROL REQUIREMENTS SHALL APPLY.
- CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE DRIVEWAY ACCESS AT ALL TIMES. TEMPORARY INTERRUPTIONS MAY BE ALLOWED WITH PROPERTY OWNER AUTHORIZATION.
- CONTRACTOR IS RESPONSIBLE FOR INVENTORING ALL SIGNS, MAILBOXES, STONE WALLS, ETC. PRIOR TO CONSTRUCTION AND SHALL RESTORE ALL FEATURES TO PRE-CONSTRUCTION CONDITION.

MISCELLANEOUS ITEM	SCHEDULE
1	BASEBALL FIELD
2	VOLLEYBALL COURT
3	BASKETBALL COURT
4	WORKOUT EQUIPMENT
5	HORSESHOE PITS
6	PROPANE TANKS

BUILDING	SCHEDULE
A	GYM
B	SECURITY
C	CONTROL ADDITION
D	ADMINISTRATION
E	SECURITY EAST
F	BOILER ROOM
G	SCHOOL
H	VOCATIONAL
I	QUONSET
J	INDUSTRIES
K	DINING / KITCHEN
L	DORM 1
M	DORM 2 - TREATMENT
N	DORM 2
O	DORM 3
P	DORM 4
Q	DORM 5
R	DORM 6
S	MPU
T	RECEIVING
U	WOMAN'S CENTER
V	GREENHOUSE
W	POLE BARN
X	PIGGERY
Y	HOP HOUSE
Z	KENNEL

FINISH FLOOR ELEVATION	SCHEDULE
A1	164.03'
B1	162.07'
D1	161.80'
D2	163.27'
D3	162.04'
D4	166.64'
E1	155.87'
F1	156.42'
F2	155.31'
F3	161.18'
G1	166.41'
G2	154.84'
G3	166.51'
G4	160.31'
H1	158.85'
J1	157.80'
Q1	148.41'
Q2	152.49'
R1	152.49'
R2	148.45'
T1	148.45'
T2	147.73'
U1	148.63'
U2	143.96'
BUILDING I	156.99'
BUILDING K	157.70'
BUILDING L,M,N	157.13'
BUILDING O	156.75'
BUILDING P	156.80'
BUILDING S	148.49'
BUILDING V	148.10'

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE/R.O.W.	---
---	ABUTTER LINE/R.O.W.	---
---	SETBACK	---
---	BUILDING	---
---	EDGE WETLAND	---
---	WETLANDS	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	PAVEMENT SAWCUT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	EDGE GRAVEL	---
---	CURB LINE	---
---	EDGE OF WATER	---
---	TREELINE	---
---	FENCE	---
---	GUARD RAIL	---
---	RETAINING WALL	---
---	BOLLARD	---
---	SIGN	---

OVERALL SITE PLAN
OF:
MAINTENANCE & CENTRAL PLANT BUILDING
17 MALLISON FALLS ROAD
WINHAM, MAINE 04062
FOR:
STATE OF MAINE, DEPT. OF CORRECTIONS
MAINE CORRECTION CENTER, 17 MALLISON FALLS ROAD
WINHAM, MAINE 04062

PROJECT NO. 16405
SCALE 1" = 100'

SHEET 4 OF 13