

1. THE OWNER OF RECORD OF THE PROPERTY IS WELD, LLC BY DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 33768 PAGE 286 AND BOOK 34816 PAGE 291.
2. TOTAL AREA OF THE PARCEL IS APPROXIMATELY 11.4 ACRES.
3. PARCEL TAX MAP REFERENCE: TOWN OF WINDHAM ASSESSORS MAP 9, LOT 27K.
4. PLAN REFERENCES
A) "BOUNDARY SURVEY OF SWETT ROAD AND ROUTE 202, WINDHAM, MAINE" FOR HOLMAN DEVELOPMENT CORPORATION PREPARED BY SURVEY, INC. DATED THROUGH MAY 2018.
5. HORIZONTAL DATUM: MAINE STATE PLANE, WEST ZONE, NAD83, U.S. FEET.
6. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
7. BOUNDARY SHOWN HEREON IS BASED ON PLAN REFERENCE 4A.
8. TOPOGRAPHIC CONTOURS SHOWN HEREON ARE BASED ON LIDAR CONTOURS OBTAINED FROM THE MAINE OFFICE OF GIS.
9. THE PROPERTY IS LOCATED IN THE FARM RESIDENTIAL DISTRICT AND RETIREMENT COMMUNITY AND CARE FACILITY OVERLAY DISTRICT.
10. SPACE AND BULK REQUIREMENTS:

	<u>FR DISTRICT</u>	<u>RCCOF DISTRICT</u>
MIN LOT SIZE:	50,000 S.F.	200,000 S.F.
NET RESIDENTIAL DENSITY	40,000 S.F.	5,000 S.F.
MIN STREET FRONTAGE:	150 FT	
MIN FRONT YARD:	30 FT	
MIN SIDE/REAR YARD:	10 FT	
MAX BUILDING HEIGHT:	35 FT	

DEDUCTIONS:	
1. RIGHT-OF-WAY	0 S.F.
2. STEEP SLOPES (OVER 25%)	0 S.F.
3. 100-YEAR FLOOD PLAIN	0 S.F.
4. RESOURCE PROTECTION DISTRICT	0 S.F.
5. VERY POORLY DRAINED SOILS	31,712 S.F.
6. SURFACE WATERBODIES	0 S.F.
7. SIGNIFICANT WILDLIFE HABITAT	0 S.F.
8. ENDANGERED BOTANICAL RESOURCES	0 S.F.

TOTAL NET AREA:	466,553 S.F.
REQUIRED NET AREA PER DWELLING:	5,000 S.F. (RCCFO DISTRICT
MAXIMUM ALLOWABLE DWELLINGS:	93
NUMBER OF UNITS PROPOSED:	14

EXISTING		PROPOSED	
---	---	---	---
---	PROPERTY LINE/R.O.W.	---	---
---	ABUTTER PROPERTY LINE	---	---
---	SETBACK	---	---
---	EASEMENT LINE	---	---
□	GRANITE MONUMENT	■	
○	IRON PIN/DRILL HOLE	●	
○	CENTERLINE		
---	BUILDING		
---	EDGE OF PAVEMENT/CURB	---	---
---	EDGE OF WETLANDS	---	---
200' --- 201'	CONTOUR LINE	---	200' --- 201'

SUBDIVISION UNIT ID	TAX MAP NUMBER	LOT NUMBER
1	9	27K-01
2	9	27K-02
3	9	27K-03
4	9	27K-04
5	9	27K-05
6	9	27K-06
7	9	27K-07
8	9	27K-08
9	9	27K-09
10	9	27K-10
11	9	27K-11
12	9	27K-12
13	9	27K-13
14	9	27K-14

APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION DATED _____ AS AMENDED.

APPROVAL SHALL BE GRANTED ORAL REPRESENTATION BY THE APPLICANT THAT HE/SHE HAS READ AND UNDERSTANDS ALL OF THE TERMS, CONDITIONS, LIMITATIONS AND AFFIRMED THE APPLICANT, AND CONDITIONS, IF ANY, IMPOSED BY THE PLANNING BOARD, AND ANY VARIATION FROM SUCH PLANS, PROPOSALS, AND SUPPORTING DOCUMENTS AND REQUIREMENTS OF THE TOWN OF FARMINGTON, CONNECTICUT, INCLUDING BUT NOT LIMITED TO, THE TOWN'S PLANNING BOARD ORDINANCES, AND THE ZONING REGULATIONS OF THE TOWN PLANNING IN ACCORDANCE WITH SECTION 93-1 OF THE LAND USE ORDINANCE.

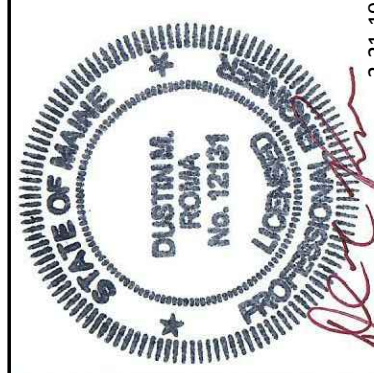
APPROVAL IS SUBJECT TO THE REQUIREMENTS OF THE POST-CONSTRUCTION STORMWATER ORDINANCE, CHAPTER 144. ANY PERSON OWNING, OPERATING, LEASING OR HAVING CONTROL OVER STORMWATER MANAGEMENT FACILITIES REQUIRED BY THE TOWN OF FARMINGTON SHALL MAINTAIN A CURRENT POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN ON FILE WITH THE TOWN OF FARMINGTON. THE TOWN OF FARMINGTON MAY ENGAGE THE SERVICES OF A QUALIFIED THIRD-PARTY INSPECTOR WHO MUST CERTIFY COMPLIANCE WITH THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN ON OR BY MAY 15TH OF EACH YEAR.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BRNG	CHORD LENGTH
C1	42.31'	200.00'	12° 07' 11"	S63° 02' 44"E	42.23'
C2	75.10'	200.00'	21° 30' 57"	N10° 08' 06"E	74.66'
C3	37.02'	175.00'	12° 07' 11"	N63° 02' 44"W	36.95'
C4	47.59'	225.00'	12° 07' 11"	N63° 02' 44"W	47.51'
C5	65.72'	175.00'	21° 30' 57"	N10° 08' 06"E	65.33'
C6	84.49'	225.00'	21° 30' 57"	N10° 08' 06"E	84.00'

[illegible]

FOR:
WELD, LLC
PO BOX 1361
WINNHAM MAINE 04062

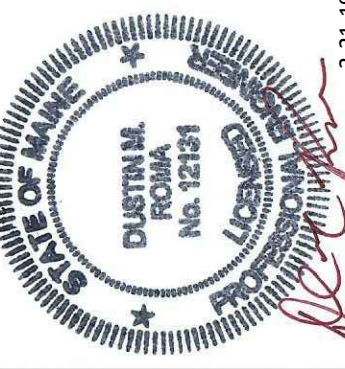
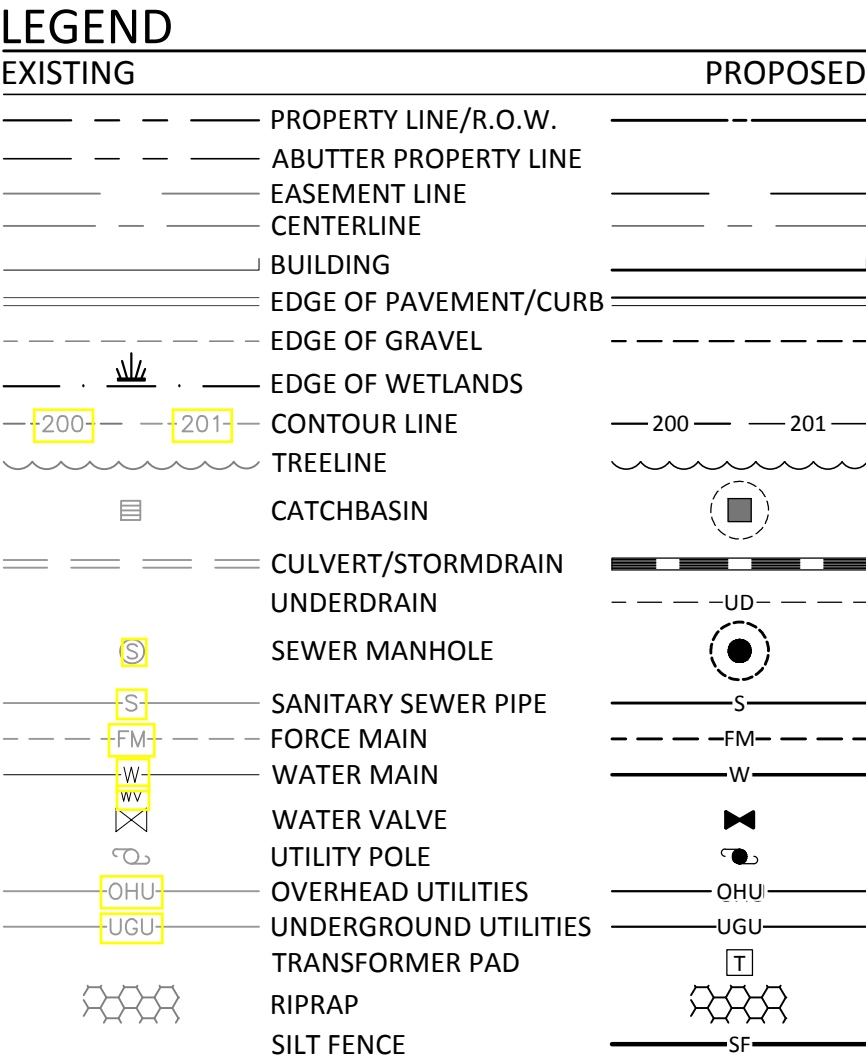
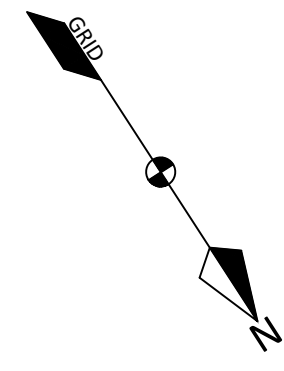
SB-1



DM ROMA
CONSULTING ENGINEERS

REV	DATE	BY	DESCRIPTION
A	7-23-18	DMR	ISSUED TO TOWN FOR PRELIMINARY REVIEW
B	9-4-18	DMR	REVISED PER TOWN REVIEW
C	10-29-18	DMR	ISSUED TO CLIENT FOR REVIEW
D	11-19-18	DMR	RE-ISSUED FOR PRELIMINARY SUBDIVISION REVIEW
E	2-4-19	DMR	ISSUED FOR FINAL SUBDIVISION REVIEW
F	2-21-19	DMR	REVISED PER REVIEW COMMENTS

SUBDIVISION PLAN



DM ROMA
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P.O. BOX 11116
WINDHAM, ME 04062
(207) 310 - 0506

REV	DATE	BY	DESCRIPTION
A	7-23-18	DMR	ISSUED TO TOWN FOR PRELIMINARY REVIEW
B	9-4-18	DMR	REVISED PER TOWN REVIEW
C	11-19-18	DMR	RE-ISSUED FOR PRELIMINARY SUBDIVISION REVIEW
D	1-2-19	DMR	REVISED PER PWD REVIEW
E	2-4-19	DMR	ISSUED FOR FINAL SUBDIVISION REVIEW
F	2-21-19	DMR	REVISED PER REVIEW COMMENTS

PLAN & PROFILE
WOODSIDE CONDOMINIUM RETIREMENT COMMUNITY
WINDHAM, MAINE
FOR: **WELD, LLC**
PO BOX 1361
WINDHAM, MAINE 04997

17070
JOB NUMBER:

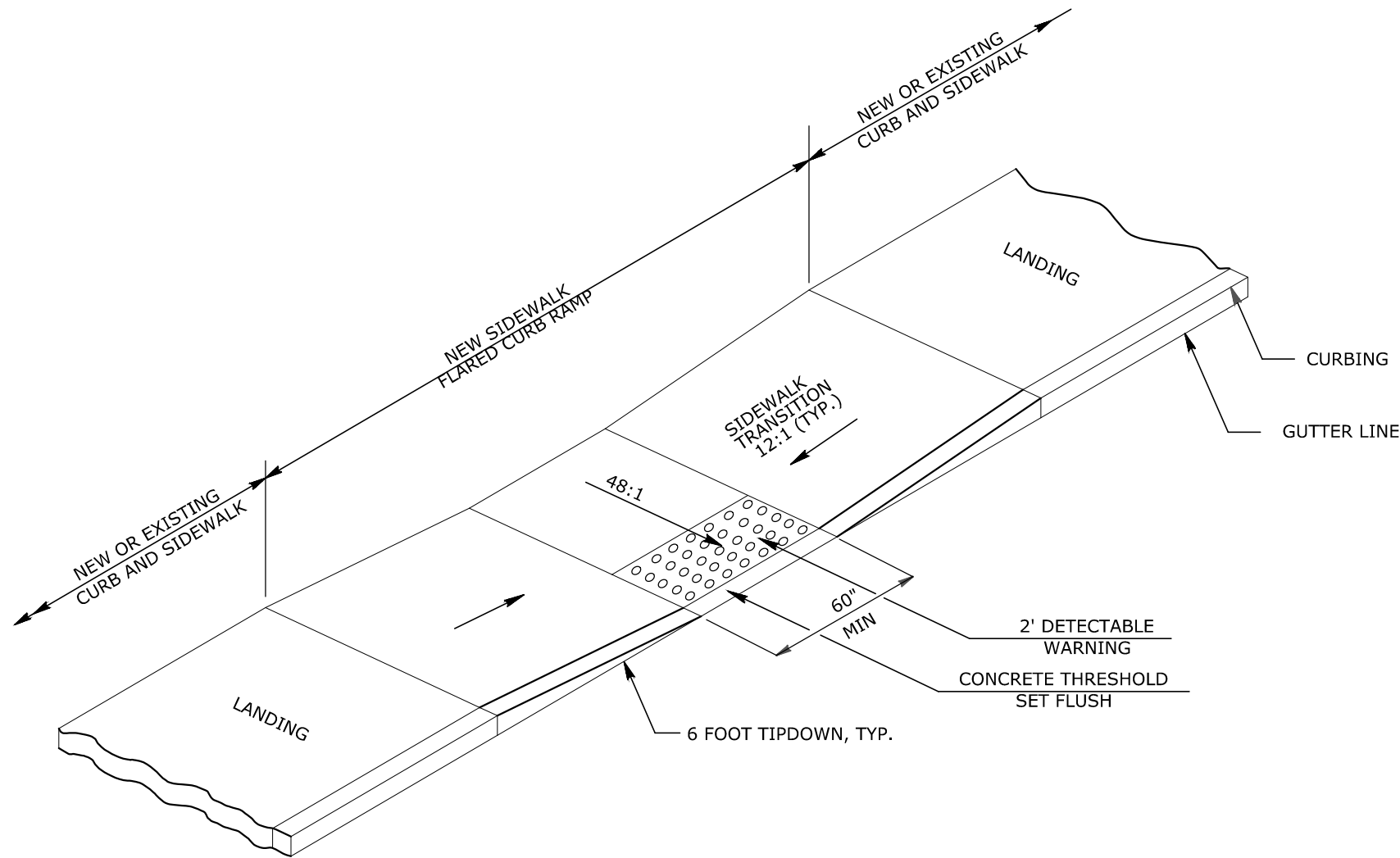
AS NOTED
SCALE:

2-21-2019
DATE:

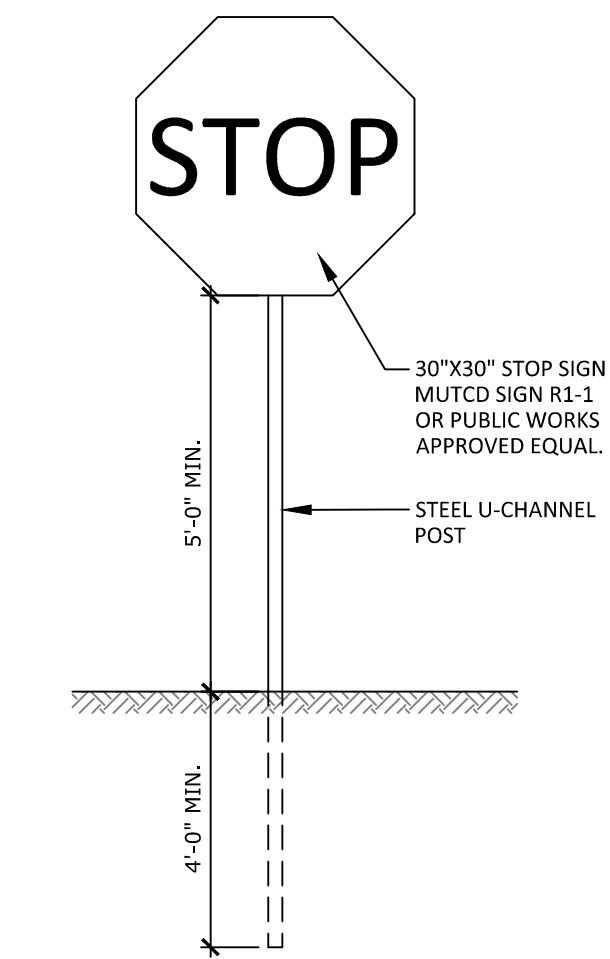
SHEET 4 OF 9

PP-1

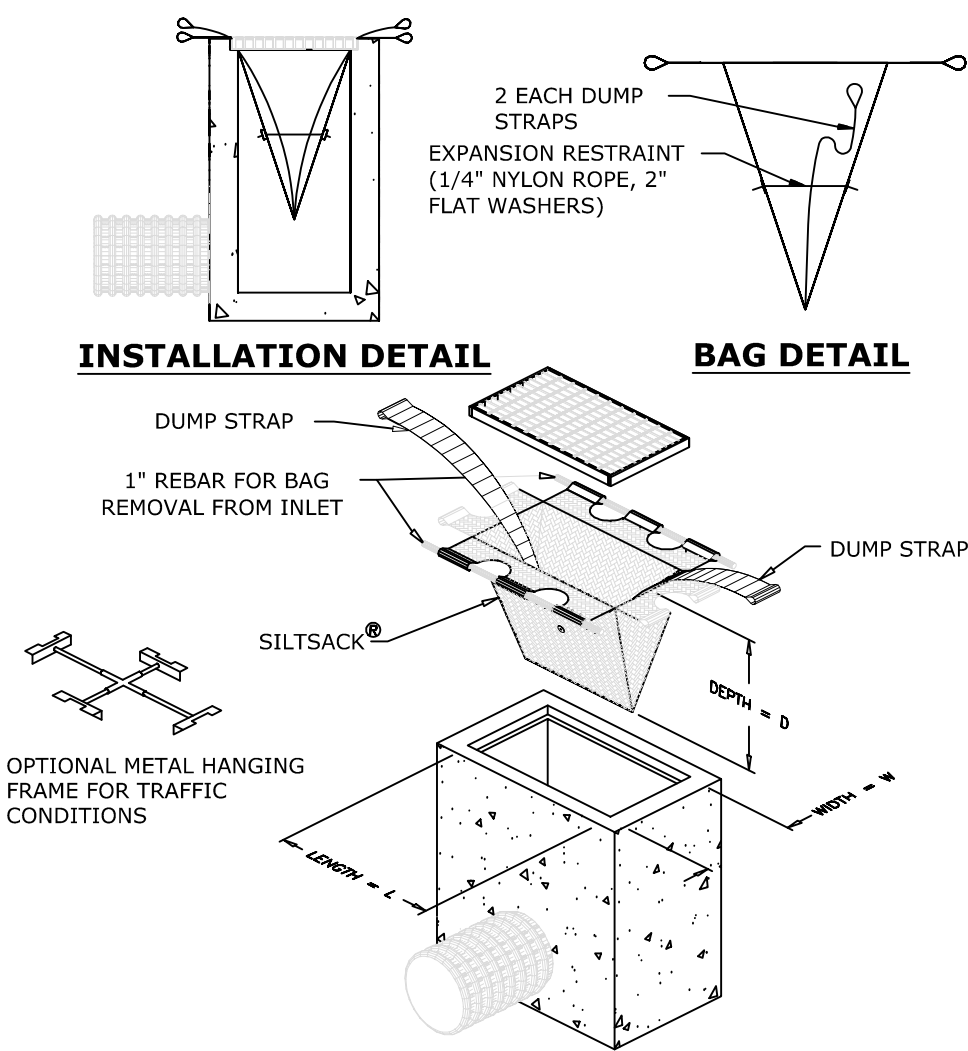
17070 JOB NUMBER:
AS NOTED SCALE:
2-21-2019 DATE:
SHEET 5 OF 9
PP-2



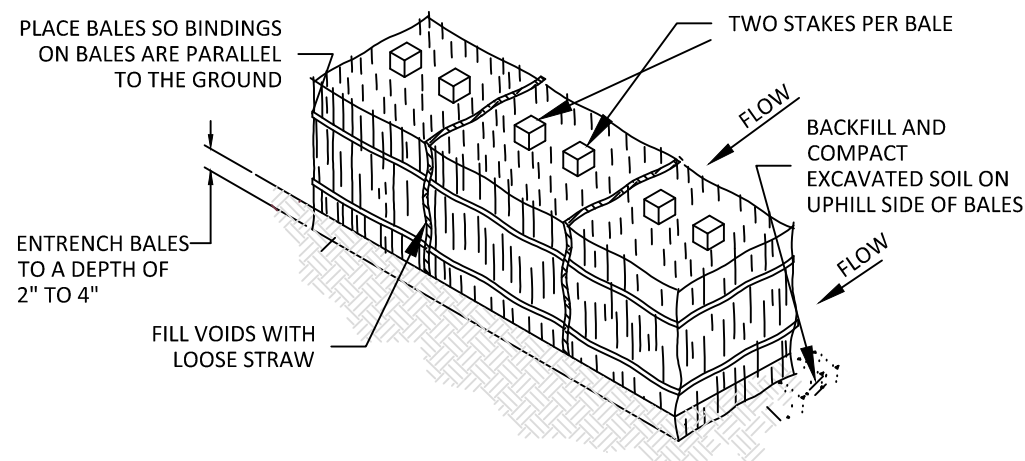
TYPICAL SIDEWALK RAMP DETAIL
NOT TO SCALE



STOP SIGN INSTALLATION
NOT TO SCALE

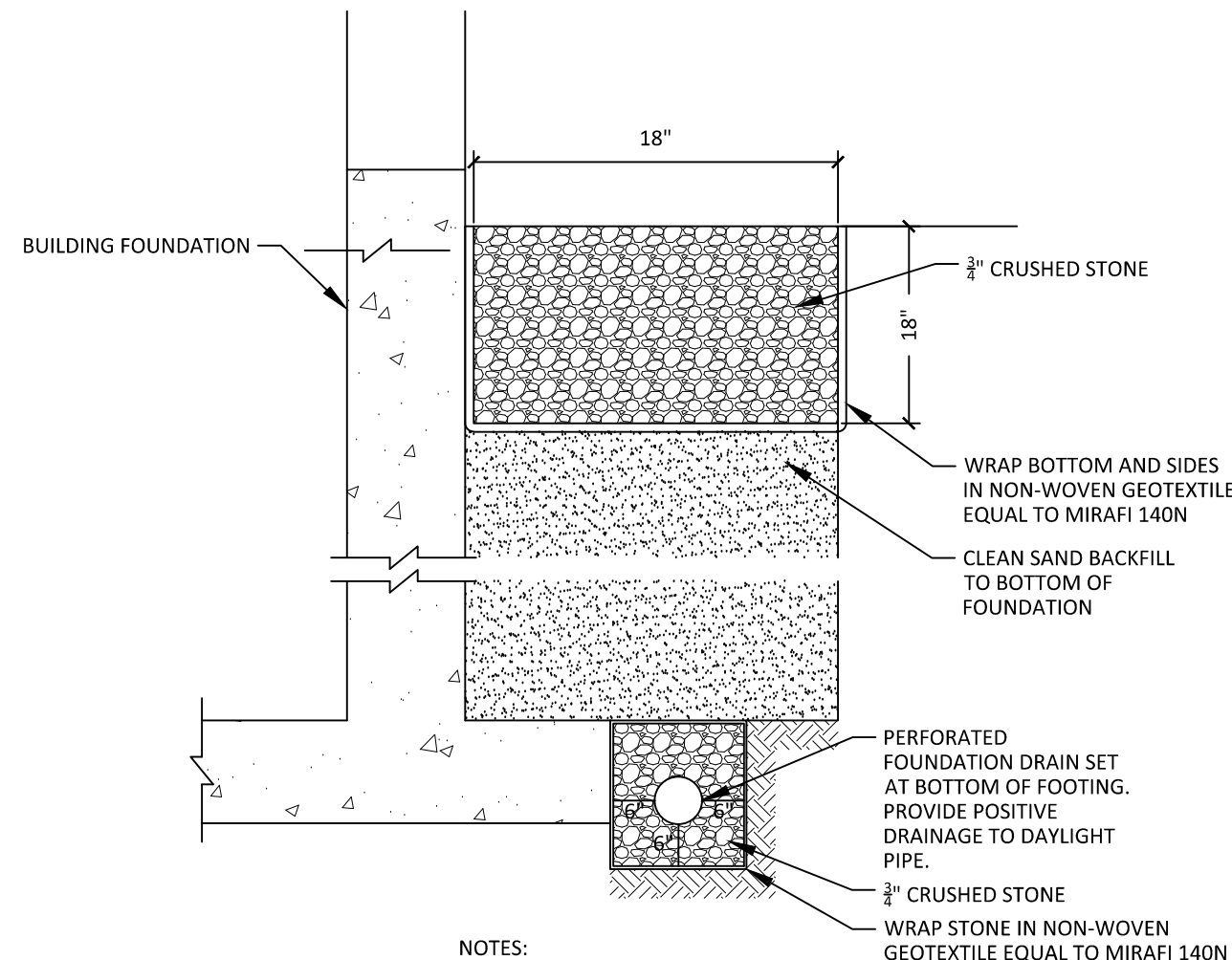


INLET PROTECTION (IP)
NOT TO SCALE



1. IDEALLY, BALES SHOULD BE ENTRENCHED 2 TO 4 INCHES AND TIGHTLY BUTTED TOGETHER. BALES CAN BE SUCCESSFULLY PLACED WITHOUT A TRENCH IF GOOD GROUND CONTACT IS MADE. REMOVE HEAVY BRUSH AND FILL ALL VOIDS WITH LOOSE STRAW.
2. BALES SHALL BE ONLY USED AS A TEMPORARY BARRIER AND FOR NO LONGER THAN 60 DAYS.
3. WHEN SEDIMENTATION DEPOSITS REACH WITHIN 3" OF THE TOP OF BALES, REMOVE SEDIMENTATION OR ADD ADDITIONAL BALES ON SEDIMENTATION DIRECTLY BEHIND FIRST ROW OF BALES AS DIRECTED BY THE ENGINEER.
4. UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS AND WHEN DIRECTED BY THE ENGINEER, HAY BALES WILL BE RELOCATED AND USED AS MULCH. ANY SEDIMENTATION WILL BE THINLY SPREAD UPON ESTABLISHED GROUND COVER.

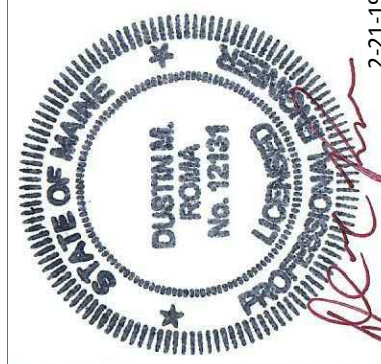
STAKED HAYBALES (HB)
NOT TO SCALE



NOTES:

1. ALL NEW BUILDINGS REQUIRE ROOF DRIP EDGES

ROOF DRIP EDGE
NOT TO SCALE



DM ROMA
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WINDHAM, ME 04062
(207) 310-0506

REV	DATE	BY	DESCRIPTION
A	7-23-18	DMR	ISSUED TO TOWN FOR PRELIMINARY REVIEW
B	9-4-18	DMR	REVISED PER TOWN REVIEW
C	11-19-18	DMR	RE-ISSUED FOR PRELIMINARY SUBDIVISION REVIEW
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E	2-21-19	DMR	REVISED PER TOWN REVIEW

DETAILS
WOODSIDE CONDOMINIUM RETIREMENT COMMUNITY
WINDHAM, MAINE
FOR: **WELD, LLC**
PO BOX 1351
WINDHAM, MAINE 04092

17070 JOB NUMBER:
AS NOTED SCALE:
2-21-2019 DATE:
SHEET 9 OF 9
D-4