

MAINE CORRECTIONAL CENTER

MAINE CORRECTIONAL CENTER,
17 MALLISON FALLS ROAD
WINDHAM, MAINE 04062

APPLICANT:

STATE OF MAINE,
DEPT. OF
CORRECTIONS
MAINE CORRECTIONAL
CENTER, 17 MALLISON FALLS
ROAD
WINDHAM, MAINE 04062

ENGINEER/SURVEYOR/ LANDSCAPE ARCHITECT:

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

PROJECT ARCHITECT:

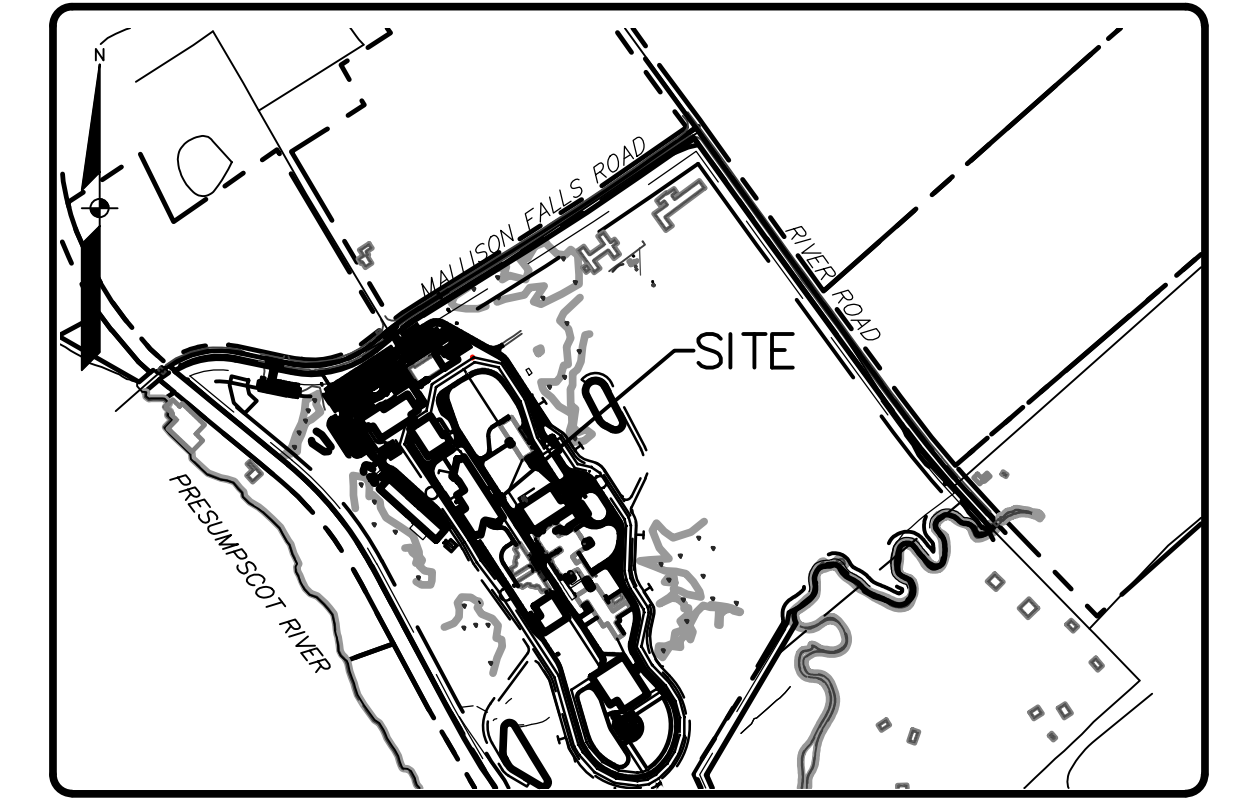
SMRT
144 FORE STREET P.O. BOX 618
PORTLAND, MAINE 04104

CONSTRUCTION MANAGER:

CIANBRO
101 CIANBRO SQUARE
PITTSFIELD, ME 04967



VICINITY PLAN
SCALE: 1" = 200'



LOCATION MAP

APPROVAL- TOWN OF WINDHAM PLANNING BOARD

DATE

CHAIRPERSON

Sheet List Table

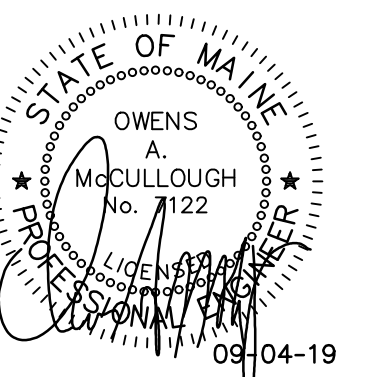
Sheet Number	Sheet Title
00CE001	COVER SHEET
00CE002	EXISTING CONDITIONS PLAN
00CE003	EXISTING CONDITIONS PLAN
00CE004	GENERAL NOTES & LEGEND
00CE201	OVERALL SITE PLAN
00CE202	SITE PLAN - SHEET 1
00CE203	SITE PLAN - SHEET 2
00CE204	SITE PLAN - SHEET 3
00CE205	SITE PLAN - SHEET 4
00CE206	SITE PLAN - SHEET 5
00CE207	SITE PLAN - SHEET 6
00CE208	SITE PLAN - SHEET 7
00CE209	SITE PLAN - SHEET 8
00CE210	SITE PLAN - SHEET 9
00CE301	OVERALL GRADING PLAN
00CE302	GRADING PLAN - SHEET 1
00CE303	GRADING PLAN - SHEET 2
00CE304	GRADING PLAN - SHEET 3

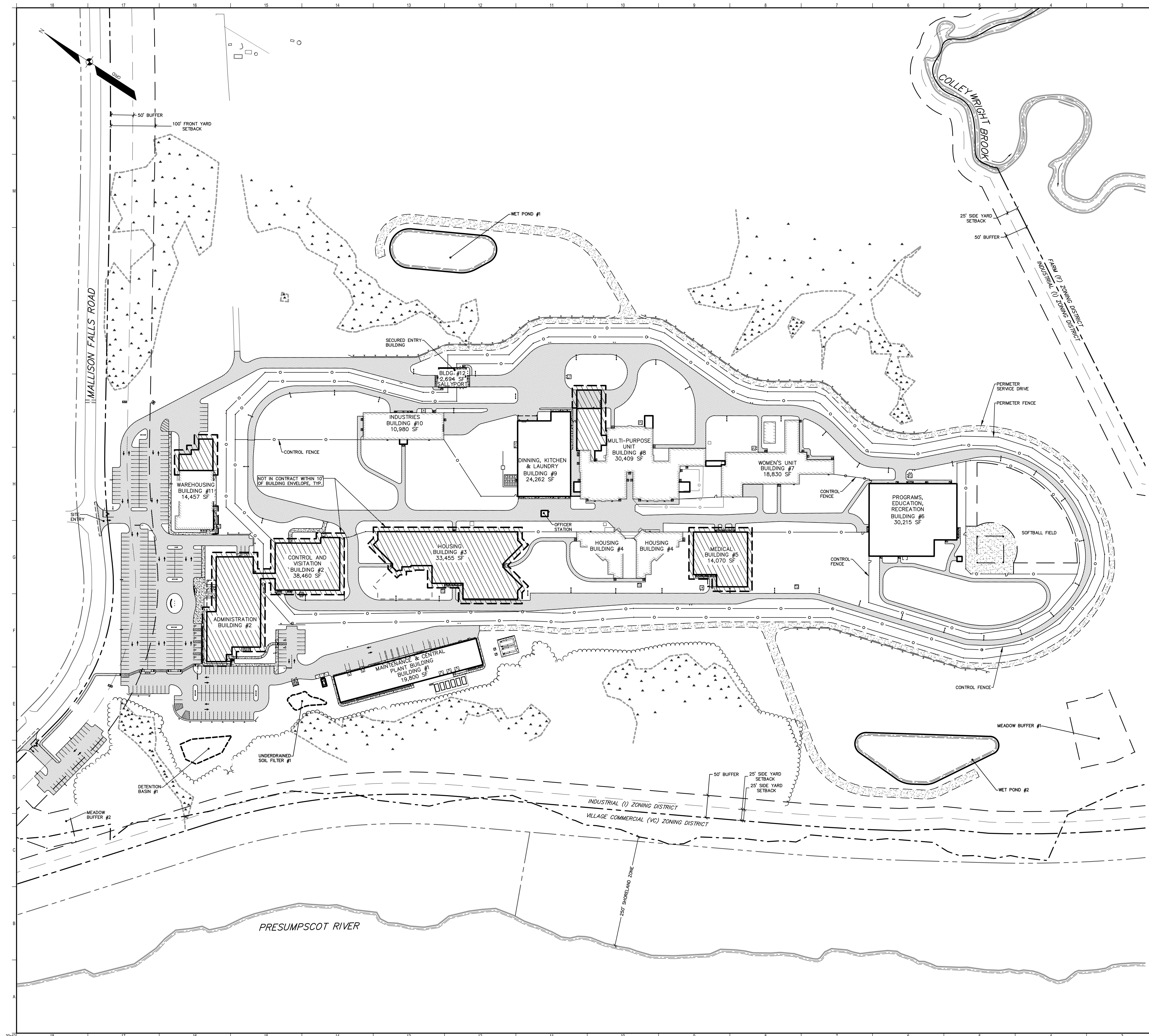
Sheet List Table

Sheet Number	Sheet Title
00CE305	GRADING PLAN - SHEET 4
00CE306	GRADING PLAN - SHEET 5
00CE307	GRADING PLAN - SHEET 6
00CE308	GRADING PLAN - SHEET 7
00CE309	GRADING PLAN - SHEET 8
00CE310	GRADING PLAN - SHEET 9
00CE401	OVERALL UTILITY PLAN
00CE402	UTILITY PLAN - SHEET 1
00CE403	UTILITY PLAN - SHEET 2
00CE404	UTILITY PLAN - SHEET 3
00CE405	UTILITY PLAN - SHEET 4
00CE406	UTILITY PLAN - SHEET 5
00CE407	UTILITY PLAN - SHEET 6
00CE408	UTILITY PLAN - SHEET 7
00CE409	UTILITY PLAN - SHEET 8
00CE410	UTILITY PLAN- SHEET 9 & STRUCTURES & PIPES SCHEDULE
00CE411	WET POND 1 PLAN & DETAILS

Sheet List Table

Sheet Number	Sheet Title
00CE412	WET POND 1 SECTIONS
00CE413	WET POND 2 PLAN & DETAILS
00CE414	WET POND 2 SECTIONS
00CE415	DETENTION BASIN PLAN & DETAILS
00CE501	LANDSCAPE PLAN - SHEET 1
00CE502	LANDSCAPE PLAN - SHEET 2
00CE601	EROSION & SEDIMENT CONTROL NOTES
00CE602	DETAILS
00CE603	DETAILS
00CE604	DETAILS
00CE605	DETAILS
00CE606	DETAILS
00CE607	DETAILS
00CE701	PRE DEVELOPMENT WATERSHED PLAN
00CE702	POST DEVELOPMENT WATERSHED PLAN
00CE703	STORMWATER REDEVELOPMENT CALCULATION TABLES
00CE704	STORMWATER TREATMENT PLAN





LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	PROPERTY LINE/R.O.W.	
	ABUTTER LINE/R.O.W.	
	ZONE LINE	
	ZONE LINE ON PL	
	SETBACK	
	BUILDING	
	EDGE WETLAND	
	WETLANDS	
	STREAM	
	EDGE PAVEMENT	
	PAVEMENT SAWCUT	
	EDGE CONCRETE	
	PAVEMENT PAINT	
	EDGE GRAVEL	
	CURB LINE	
	EDGE OF WATER	
	TREELINE	
	FENCE	
	GUARD RAIL	
	RETAINING WALL	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	BOLLARD	
	SIGN	
	SLIPFORM CURB	
		SFC

PROJECT SUMMARY

PROVIDED PARKING:	350 SPACES
BUILDING SQUARE FOOTAGE:	302,535 SF
NON-REVEGETATED SURFACE:	453,128 SF
DEVELOPMENT AREA:	755,663 SF
OPEN SPACE:	4,563,582 SF
TOTAL PARCEL AREA:	5,319,245 SF
RATIO OF OPEN SPACE TO BUILDING SQUARE FOOTAGE:	15:1

NOTE:

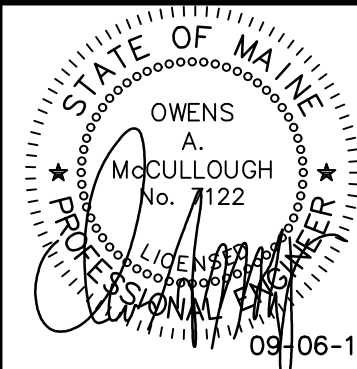
PROPERTY IS SHOWN AS LOT 5 ON THE TOWN
OF WINDHAM TAX MAP 3.



REV	DESCRIPTION	DATE
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ISSUED FOR CONSTRUCTION
09-06-19

CURRENT ISSUE STATUS:

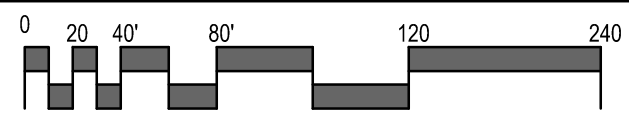


PROJECT NORTH:
SMRT Architects and Engineers
144 Fore Street
Portland, Maine 04104
1.877.700.7678
www.smrtinc.com

MAINE DEPARTMENT OF
CORRECTIONS
MAINE CORRECTIONAL CENTER
WINDHAM, ME

OVERALL SITE PLAN

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER:	OA
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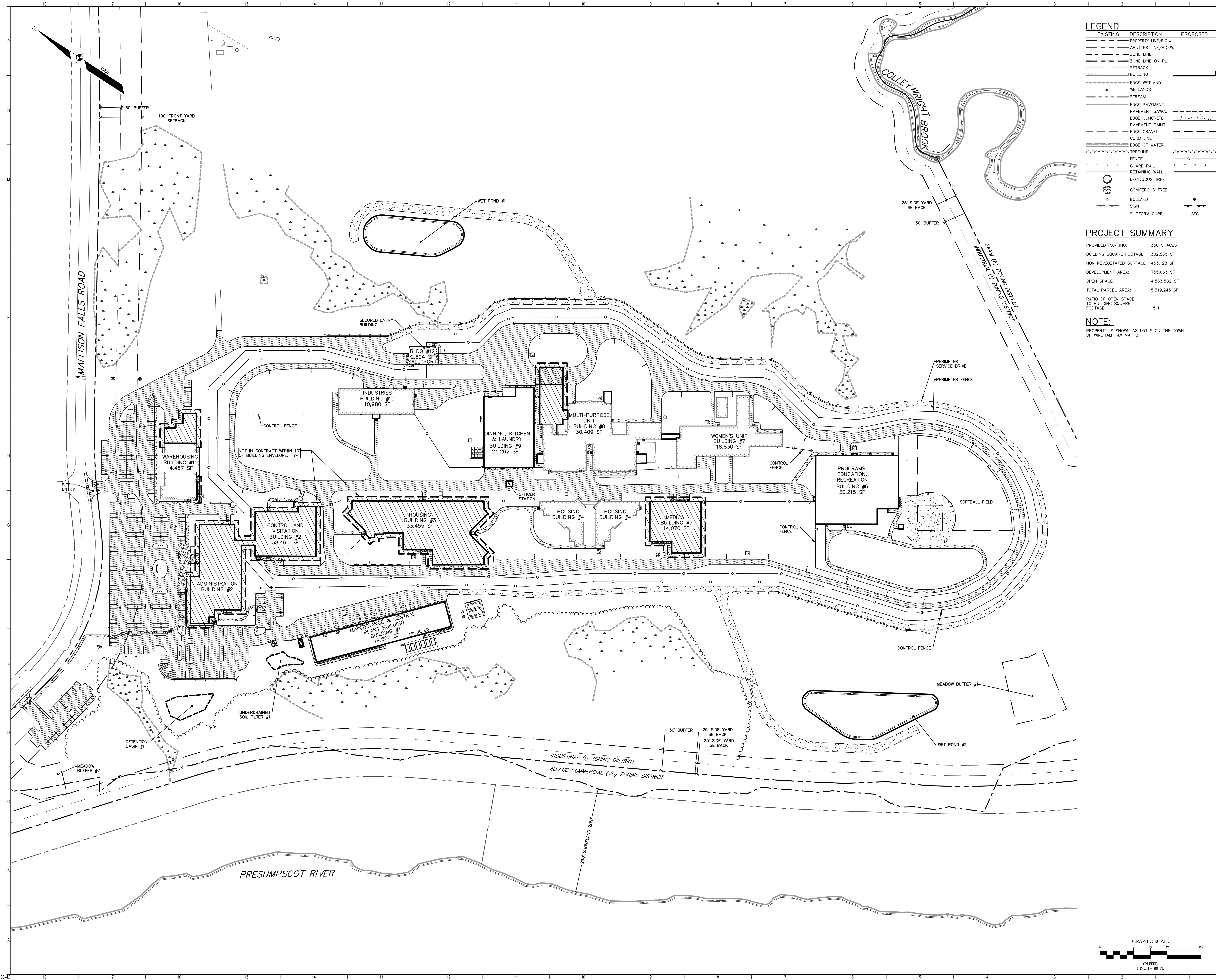
A/E OF RECORD:	OA
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JOB CAPTAIN:	BJ
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M	PROJECT NO:	1705
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00CE201

SMRT FILE: 00CE201-17052 SHEET No. COPYRIGHT 2016 SMRT



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE/R.O.W.	---
---	ABUTTER LINE/R.O.W.	---
---	ZONE LINE	---
---	ZONE LINE ON PL	---
---	SETBACK	---
---	BUILDING	---
---	EDGE WETLAND	---
---	WETLANDS	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	PAVEMENT SAWCUT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	EDGE GRAVEL	---
---	CURB LINE	---
---	EDGE OF WATER	---
---	TREELINE	---
---	FENCE	---
---	GUARD RAIL	---
---	RETAINING WALL	---
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NOTE:
PROPERTY IS SHOWN AS LOT 5 ON THE TOWN OF WINDHAM TAX MAP 3.

SEBAGO
TECHNICS
WWW.SEBAGOTECHNICS.COM
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

0	ISSUED FOR CONSTRUCTION	09-06-19
REV	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
09-06-19

CURRENT ISSUE STATUS:

STATE OF MAINE
OWENS
A
MCCULLOUGH
No. 1722
LICENSED PROFESSIONAL ENGINEER
09-06-19

PROJECT NORTH:
SMRT Architects and Engineers
144 Fore Street
Portland, Maine 04104
1.877.700.7678
www.smrtinc.com

MAINE DEPARTMENT OF
CORRECTIONS
MAINE CORRECTIONAL CENTER
WINDHAM, ME

OVERALL SITE PLAN

SHEET TITLE:

SCALE: AS NOTED

PROJECT MANAGER: OAM PROJECT NO: 17052

A/E OF RECORD: OAM

JOB CAPTAIN: BJB

DRAWN BY: MRS

SMRT FILE: 00CE201-17052 SHEET No. 00CE201

PLAN ORIENTATION IS GRID NORTH. MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE NAVD83, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.

2. THE PROPOSED SITE SHALL BE LOCATED ON LOT 5 OF THE TOWN OF WINDHAM TAX MAP 3 AND IS LOCATED IN THE INDUSTRIAL (I) DISTRICT.

3. SPACE AND BULK CRITERIA FOR THE INDUSTRIAL (I) DISTRICT ARE AS FOLLOWS:

MINIMUM LOT SIZE:	20,000 SQ.FT.
MINIMUM STREET FRONTAGE:	10'
MINIMUM FRONT YARD:	>10'
MINIMUM SIDE YARD:	>25'
MINIMUM REAR YARD:	>25'
MAXIMUM BUILDING HEIGHT:	NONE
MAXIMUM BUILDING COVERAGE:	NONE

SEE ORDINANCE FOR MORE PARTICULAR INFORMATION. ZONING DISTRICT BOUNDARY BUFFER IS SHOWN FROM ALL PROPERTY LINES ABOUT A RESIDENTIAL ZONING DISTRICTS.

4. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD AND UTILITY DELINEATION AS MARKED BY DIG-SMART OF MAINE. UTILITIES DEPICTED HEREON MAY NOT INDUSTRY REPRESENTATIVE INFORMATION AND MUST BE VERIFIED BY U.S. ARMY CORPS OF ENGINEERS. ALL WATER (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.

5. A BOUNDARY SURVEY WAS PERFORMED ON NOVEMBER 27, 2018 BY SEBAGO TECHNIQS, INC.

6. A WELL IDENTIFIED DELINEATION WAS PERFORMED ON THIS PROJECT SITE ON THE FALL OF 2019 BY GARY M. FULLERTON, A PROFESSIONAL SOIL SCIENTIST AT SEBAGO TECHNIQS, INC. HIS DELINEATION CONFORMS TO THE STANDARDS AND METHODS OUTLINED IN THE 1987 WETLANDS DELINEATION MANUAL AND NORTHEAST REGIONAL REQUIREMENTS. ANY EXISTING DELINEATION PULSED BY THE U.S. ARMY CORPS OF ENGINEERS, ALL WETLAND FLAGS WERE DEVELOPED USING GLOBAL POSITIONING SYSTEMS (GPS) TECHNOLOGY CAPABLE OF WITHIN FEET ACCURACY.

7. THE PROPOSED DEVELOPMENT WILL BE SERVED BY PUBLIC WATER, SEWER AND UNDERGROUND ELECTRIC AND TELECOMMUNICATION.

8. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.

9. ALL EXISTING CHUTE BASINS, MANHOLES, CONNECTIONS, CONDUIT AND PIPING SHALL BE CLEANED AND LEFT IN NEW OPERATING CONDITION AFTER CONSTRUCTION HAS BEEN COMPLETED. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.

10. ALL LAWN AREAS, WALKWAYS, AND DRIVEWAYS OUTSIDE THE WORK AREA, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE.

11. EXISTING PAVEMENT SHALL BE SAW CUT AND BUTTED TO THE NEW PAVEMENT. NO FEATHERING OF PAVEMENT WILL BE PERMITTED.

12. EXISTING DAMAGE TO STRUCTURAL STABILIZATION SHALL NOT BE DISTURBED UNLESS OTHERWISE NOTED IN THE DRAWINGS OR REQUESTED BY THE OWNER.

13. THE CONTRACTOR IS REQUIRED TO PROVIDE A SECURE PROJECT WORK AREA. ALL PIPE TRENCH EXCAVATIONS SHALL BE BACKFILLED AND "CLOSED" DURING CONSTRUCTION NON-WORKING HOURS INCLUDING WEEKEND DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE TAKEN BY THE OWNER TO SECURE OPEN EXCAVATION IN LIEU OF BACKFILLED AND "CLOSED." NOT ALLOWING A SECURE OPEN EXCAVATION SHALL NOT BE A BASIS FOR CLAIMS AGAINST THE OWNER.

14. CONTRACTOR SHALL COMPLETE WORK SPECIFIED ON EACH PLAN AND SHALL COORDINATE WORK WITH THE EXISTING PROJECT TEAM.

15. MDEP PERMIT PERMITS:

A.	L-015483-26-A-N
B.	L-015483-26-B-M
C.	L-15483-26-F-/J - L-15483-26-G-N
D.	L-15483-26-H-IH
E.	L-15483-26-F-/A/L-15483-26-T-G-N
F.	L-15483-26-A-I
G.	L-15483-26-B-JN

H. NAE-2019-0109 (USACE)

16. INSPECTION AND MAINTENANCE:

A. INSPECT DISTURBED AND IMPROVED AREAS, EROSION AND STORM WATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONE WEEK BEFORE AND AFTER A STORM EVENT, PRIOR TO THE COMPLETION OF CONSTRUCTION. QUALIFICATION OF THE PERSON PERFORMING THE INSPECTION, DATE AND TIME OF INSPECTIONS, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND DAMAGE TO EXISTING INFRASTRUCTURE SHALL BE DOCUMENTED IN THE LOG AND DATED. IF THE INSPECTION REVEALS THAT BMPs NEED TO BE MAINTAINED, LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVIDED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION, FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED, INCLUDING WHAT ACTION WAS TAKEN AND WHEN IT WAS COMPLETED.

B. AN OBSERVATION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE AND TIME OF INSPECTIONS, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND DAMAGE TO EXISTING INFRASTRUCTURE SHALL BE DOCUMENTED IN THE LOG AND DATED. IF THE INSPECTION REVEALS THAT BMPs NEED TO BE MAINTAINED, LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVIDED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION, FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED, INCLUDING WHAT ACTION WAS TAKEN AND WHEN IT WAS COMPLETED.

17. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DEVELOP DETAILING SECURITY AND CONSTRUCTION SEQUENCING PLAN. THE EXISTING PROJECT WILL REMAIN ACTIVE AND REQUIRE THE CONTRACTOR TO SECURE EACH WORK AREA IN ACCORDANCE WITH REQUIREMENTS AND DIRECTIONS GIVEN BY THE MAINE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION. THE EXISTING PROJECT IS PRELIMINARY AND PART OF AN ONGOING PLANNING AND DESIGN PROCESS FOR THE ENTIRE PROJECT. AS SUCH, THE CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (PROVIDED UNDER SEPARATE COVER) FOR GENERAL SUBSURFACE CONDITIONS. GIVEN THE AGE OF THE SITE, EXISTING UTILITIES WILL BE ENCOUNTERED (SOME THAT ARE MARKED AND SOME THAT ARE NOT). THE CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION TO REVIEW PROBABLE EXISTING UTILITIES. PROVIDE TEMPORARY SERVICES AS NEEDED TOGETHER WITH REMOVAL/ABANDONMENT OF UTILITIES.

18. DEMOLITION TO BE COORDINATED WITH OWNER BY CIAMBRIO, INC.

19. A SCHEDULED MAINTENANCE PROGRAM SHALL BE IN PLACE ON THE SITE SHALL ON OR BY MAY 1 OF EACH YEAR, PROVIDE A COMPLETED AND SIGNED CERTIFICATE TO THE ENFORCEMENT AUTHORITY IN A FORM IDENTICAL TO APPENDIX I OF THE TOWN OF WINDHAM'S POST CONSTRUCTION STORMWATER ORDINANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FACILITIES THAT THEY HAVE REQUIRED MAINTENANCE OR REPAIR. IF THE STORMWATER FACILITIES NEED MAINTENANCE OF REPAIR, THE CONTRACTOR SHALL PROVIDE A RECORD OF THE REQUIRED MAINTENANCE AND CORRECTIVE ACTIONS TAKEN.

1. SIDESLOPES SHALL NOT BE STEEPER THAN 3:1 (H:V); EXCEPT AS OTHERWISE IDENTIFIED ON THIS PLAN. ALL SIDESLOPES STEEPER THAN 3:1 (H:V) SHALL BE LINED WITH EROSION CONTROL BLANKET, OR ADDITIONAL MEASURES AS INDICATED.
2. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL PLAN MANUAL, PUBLISHED BY BUREAU OF LAND AND WATER QUALITY, DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES. REFER TO DETAILED EROSION CONTROL PLAN AND NOTES.
3. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDING PAVEMENTS, WALKS, ETC.) SHALL RECEIVE LOAM AND SEED PER DETAIL.
4. BUILDING TO BE CONSTRUCTED WITH MINIMUM 6" BETWEEN FINISH FLOOR AND PROPOSED EXTERIOR GRADE EXCEPT AT ENTRANCES. COORDINATE WITH DRAINAGE DRAWINGS.
5. REFER TO UTILITY DRAWINGS FOR STORM DRAINAGE PIPE AND STRUCTURE DATA.
6. BORINGS SHOWN ARE REFERENCED FROM A DESIGN REPORT, 13-08762.5 DATED DECEMBER 14, 2014, PRELIMINARY GEOTECHNICAL SERVICES, PROPOSED MAINE CORRECTIONAL CENTER, RIVER ROAD, AND MALLOTT FALLS ROAD, WINDHAM, MAINE. PREPARED BY S.W. COLE ENGINEERING SERVICES, INC. BY TERRY DUNCAN, GEOTECHNICAL ENGINEER, MAINE REG. #2963. REFER ALSO INCLUDES SUBSURFACE DATA AND NARRATIVE OF THE FINDINGS AND RECOMMENDATIONS.

1. THE CONTRACTOR SHALL MAINTAIN TRAFFIC IN A SAFE MANNER AT ALL TIMES DURING CONSTRUCTION. THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MANUAL FOR BOTH WORK ZONE AND TRAFFIC CONTROL REQUIREMENTS SHALL APPLY.
2. CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE DRIVEWAY ACCESS AT ALL TIMES. TEMPORARY INTERRUPTIONS MAY BE ALLOWED WITH PROPERTY OWNER AUTHORIZATION.
3. CONTRACTOR IS RESPONSIBLE FOR INVENTORING ALL SIGNS, MALXOBES, STONE WALLS, ETC. PRIOR TO CONSTRUCTION AND SHALL RESTORE ALL FEATURES TO PRE-CONSTRUCTION CONDITION.
4. EMERGENCY VEHICLE ACCESS EGRESS MUST BE MAINTAINED AT ALL TIMES.

1. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, RECORDS, DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH THE CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
4. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OTHER REQUIREMENTS, SPECIFICALLY OTHER SPECIFICATIONS INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
6. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC DUES DUE TO CONSTRUCTION.
7. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
8. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION CONTROL BEST MANAGEMENT PRACTICES" (BMP) REVISIONS OF LAND AND WATER QUALITY OF THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, OCTOBER 2016 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
10. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE CONTRACTOR SHALL NOT BE RELIED UPON AS BEING DATA OR COMPLETE. CONTRACTOR SHALL CONTACT DISA SAFE (811) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
11. CONTRACTOR SHALL BE AWARE THAT DISA SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USGS AND PRIVATE SYSTEMS.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRS. 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
13. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF URBAN TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
14. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
15. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
16. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
17. THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF THE GRANT. THE CONTRACTOR RESERVES THE RIGHT TO REMOVE NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE CLEARING LIMITS DURING CONSTRUCTION SHALL BE LIMITED TO THE MINIMUM NECESSARY FOR TREE REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
18. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
19. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND REPAIR OF ALL DAMAGED OR DESTROYED PUBLIC UTILITIES IN CONNECTION WITH THE CONSTRUCTION OF THE CONTRACT WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE AS DIRECTED BY THE OWNER AND SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE PROJECT.
20. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
21. WHERE THE TERMS "APPROVED EQUAL," "OTHER APPROVED," "EQUAL TO," "ACCEPTABLE" OR OTHER EQUIVALENTS ARE USED, THE CONTRACTOR SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHNICS, INC.
22. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
23. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE PROJECT SITE AT ALL TIMES.
24. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
25. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
26. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, AND CLEAR ALL EROSION CONTROL MEASUREMENTS FROM THE AREA WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND ORDERLY.
27. ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SHM'S, CDS, HYDRANTS, ETC., IN CONJUNCTION WITH DESIGN AND OR AS-BUILT VIDEOS SUPPLIED TO SEBAGO TECHNICS INC. BY OTHERS. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORING, OR DRILLING, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INFORMATION AND DATA FROM A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL UTILITIES SHOWN HEREON AND ALL OTHER UTILITIES LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.

1. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
2. ALL GRAVITY CONDUIT PIPES SHALL BE INSTALLED USING A PIPE LASER AND TARGET SYSTEM THROUGH THE ENTIRE LINE TO PIPE RUNS 50 FEET OR LESS. THE CONTRACTOR SHALL REQUEST ENGINEER'S APPROVAL TO USE A GROUND LASER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK BETWEEN DIFFERENT UTILITIES IN CLOSE PROXIMITY. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DEVIATION FROM THE DESIGN PLANS.
4. MAINTAIN MINIMUM 5'-6" OF COVER ABOVE TOP OF WATER SERVICE PIPE.
5. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND OTHER UTILITIES. MAINTAIN MINIMUM 12 INCHES VERTICAL SEPARATION BETWEEN WATER SERVICES AND OTHER UTILITIES.
6. LOWER WATER SERVICES AS REQUIRED TO MAINTAIN MINIMUM 12 INCH VERTICAL SEPARATION FROM OTHER UTILITIES. WATER SERVICES CROSSING SEWERS SHALL BE PROVIDE 12 INCH MINIMUM SEPARATION BETWEEN THE BOTTOM OF WATER LINE AND TOP OF SEWER UNLESS NOTED OTHERWISE ON THE PLANS.
7. PIPE:
 - SEWER PIPE SHALL BE SDR 35 PVC OR APPROVED EQUAL.
 - STORMDRAIN SHALL BE ADS N-12 DUAL WALL HOPE EQUAL PIPE WITH SMOOTH-WALLED INTERIOR OR ADS N-12 DUAL WALL HOPE EQUAL OTHERWISE ON THE UTILITY PLANS.
 - FIRE WATER SERVICE PIPE AND FITTINGS SHALL CONFORM TO MAINE WATER PIPING SPECIFICATIONS. MAIN WATER SERVICE PIPE SHALL BE DUCTILE IRON, CLASS 52 PUSH-ON PIPE MEETING THE REQUIREMENTS OF AWWA/C100 AND AWWA C-111/A21 (LATEST REVISION). PIPE SHALL BE CEMENT-LINED AWWA/ANSI C104/A214 WITH LINING TWICE THE THICKNESS SPECIFIED, AND COATED TWICE WITH A BITUMINOUS SLAT COATING. INSTALL THROUST BLOCKS AT ALL WATER SERVICE BENDS.
 - LOWER WATER SERVICE (4" OR SMALLER) SHALL BE PVC (SDR-21) PIPE WITH MINIMUM WORKING PRESSURE RATING OF 200 PSI. THE PIPE SHALL CONFORM TO STANDARD ASTM 2241.
 - REFER TO TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. COORDINATE FOUNDATION UNDERDRAIN LOCATIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
9. COORDINATE UTILITY INVERTS AT BUILDING WITH ARCHITECTURAL, STRUCTURAL AND PLUMBING DRAWINGS.
10. COORDINATE LOCATIONS OF SEWER, WATER AND GAS INVERTS AT THE BUILDING WITH ARCHITECTURAL DRAWINGS.
11. COORDINATE ALL WATER RELATED WORK WITH PORTLAND WATER DISTRICT. WATER SERVICE ENTRANCE DESIGNS TO INCLUDE METERS AND BACKFLOW PREVENTOR TO MEET ALL STANDARDS AND REQUIREMENTS OF THE PORTLAND WATER DISTRICT.
12. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY GRACE CHANGES THAT WILL IMPACT STORM DRAINAGE INFRASTRUCTURE OR OTHER UTILITIES.
13. UTILITIES WITHIN 5 FEET FROM FACE OF BUILDING SHALL BE COORDINATED WITH RELEVANT M.E.P. DRAWINGS. CONTRACTOR SHALL COORDINATE INVERTS, CONNECTIONS AND MATERIALS WITH ALL DRAWINGS.
14. CONTRACTOR OWNS TRENCHING, MATERIALS AND BACKFILL FOR ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR TIMING AND COORDINATION WITH UTILITIES AND DRAWINGS. COORDINATE WITH ELECTRICAL DRAWINGS FOR CONDUIT SCHEDULE, TYPE AND SIZES.
15. COORDINATE LIGHT POLE AND WALL MOUNTED LIGHT LOCATIONS WITH THE PHOTOMETRIC PLAN AND CONSTRUCTION LAGER. THE CONTRACTOR SHALL EXTEND SECONDARY ELECTRIC TO ALL LIGHT POLES IN COORDINATE WITH THE CONSTRUCTION MANAGER.
16. CONTRACTOR SHALL COORDINATE EXTENTS AND PHASING OF UTILITY LINES TO BUILDINGS WITH THE CONSTRUCTION MANAGER.

EXISTING	PROPOSED
	PROPERTY LINE/R.O.W.
	ABUTTER LINE/R.O.W.
	ZONE LINE ON PL
	DEED LINE/R.O.W.
	TIE LINE
	SETBACK
	EASEMENT
	BUFFER
	FLOODPLAIN
	FLOODWAY
	CENTERLINE
	MONUMENT
	IRON PIPE/ROD
	DRILL HOLE
	DEED CALL
	CURVE/LINE NO.
	SOILS
	ZONE LINE
	ZONE LINE ON PL
	BENCHMARK
	SURVEY CONTROL
	TEST PIT
	MONITORING WELL
	BORING
	BUILDING
	DECK/STEPS/OVERHANG
	EDGE WETLAND
	WETLANDS
	UPLANDS
	STREAM
	LEDGE
	EDGE PAVEMENT
	PAVEMENT SAWCUT
	EDGE CONCRETE
	PAVEMENT PAINT
	EDGE GRAVEL
	CURB LINE
	EDGE OF WATER
	TREELINE
	CONTOURS
	SPOT GRADE
	CHAIN WIRE FENCE
	BARB WIRE FENCE
	STOCKADE FENCE
	GUARD RAIL
	STONE WALL
	RETAINING WALL
	DECIDUOUS TREE
	CONIFEROUS TREE
	MULCH LINE
	BOLLARD
	SIGN
	RAILROAD
	GAS
	GAS GATE VALVE
	GAS METER
	GAS MANHOLE
	WATER
	WATER GATE VALVE
	WATER SHUT OFF
	HYDRANT
	WATER MANHOLE
	WELL
	SANITARY SEWER
	FORCE MAIN
	SANITARY MANHOLE
	STORM DRAIN
	UNDER DRAIN
	DRAINAGE MANHOLE
	CATCH BASIN
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	TRANSFORMER PAD
	ELECTRICAL MANHOLE
	ELECTRIC METER
	HVAC UNIT
	TELEPHONE MANHOLE
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	ELECTRICAL HANDHOLE
	DRAINAGE DITCH
	EROSION CONTROL BLANKET
	FILTER BARRIER
	RIPPRAP
	CHECK DAM
	INLET PROTECTION

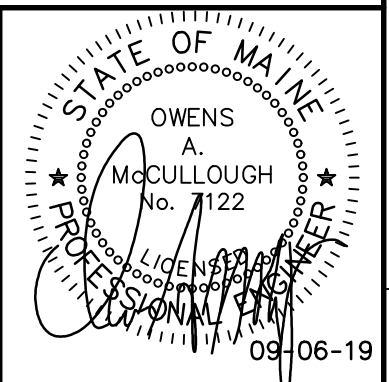
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ISSUED FOR CONSTRUCTION
09-06-19

CURRENT ISSUE STATUS:

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1000



PROJECT NORTH:
SMKT Architects and Engineers
144 Fore Street
Portland, Maine 04104
1.877.700.7678
www.smrinc.com

ARCHITECTURE | ENGINEERING | PLANNING | INTERIORS | ENERGY

MAINE DEPARTMENT OF

CORRECTIONS

MAINE CORRECTIONAL CEN

WINDHAM, ME

GENERAL NOTES & LEGEND

SHEET TITLE:

[illegible]

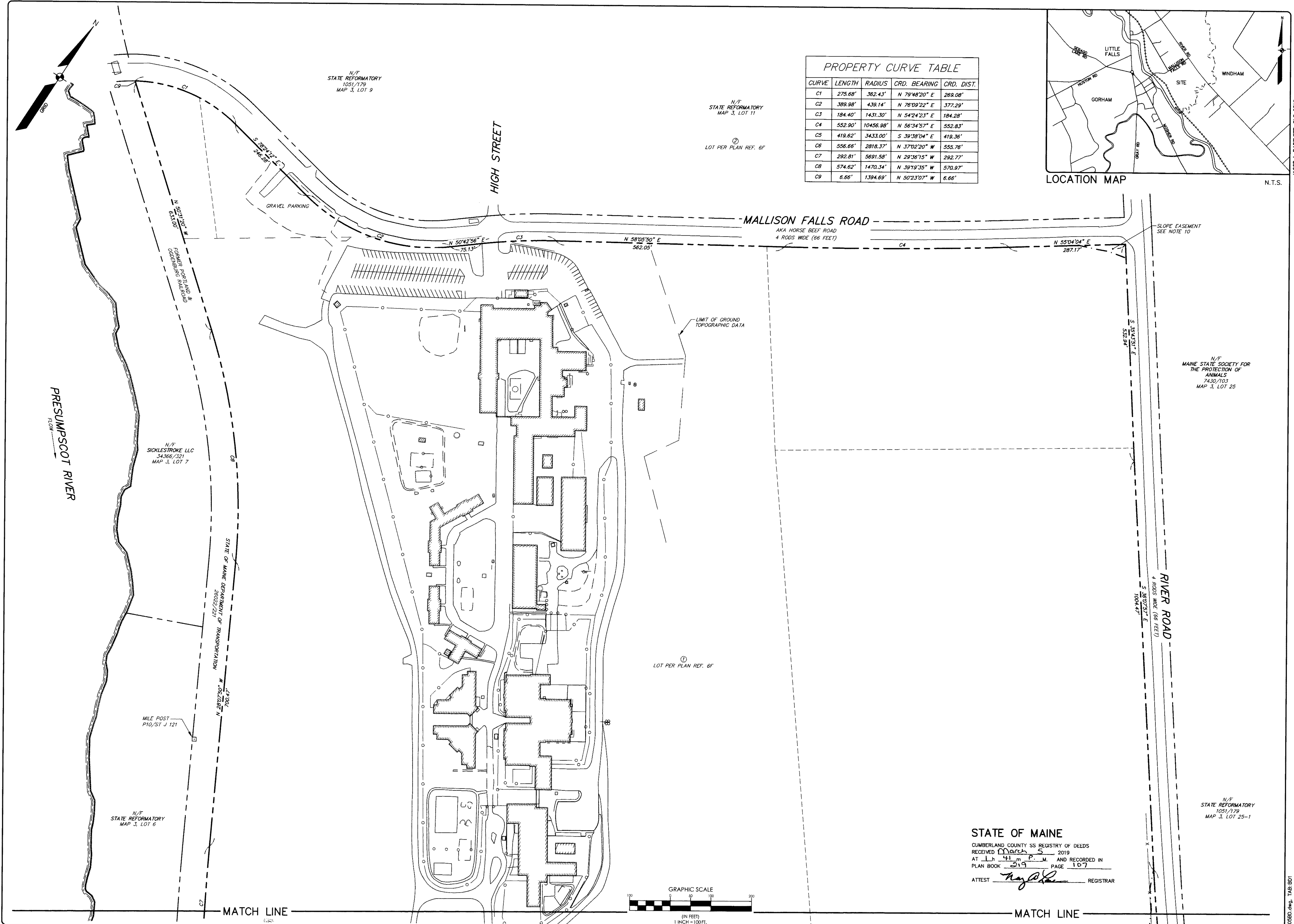
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PROJECT MANAGER:	OAM	PROJECT NO:	1111
A/E OF RECORD:	OAM		

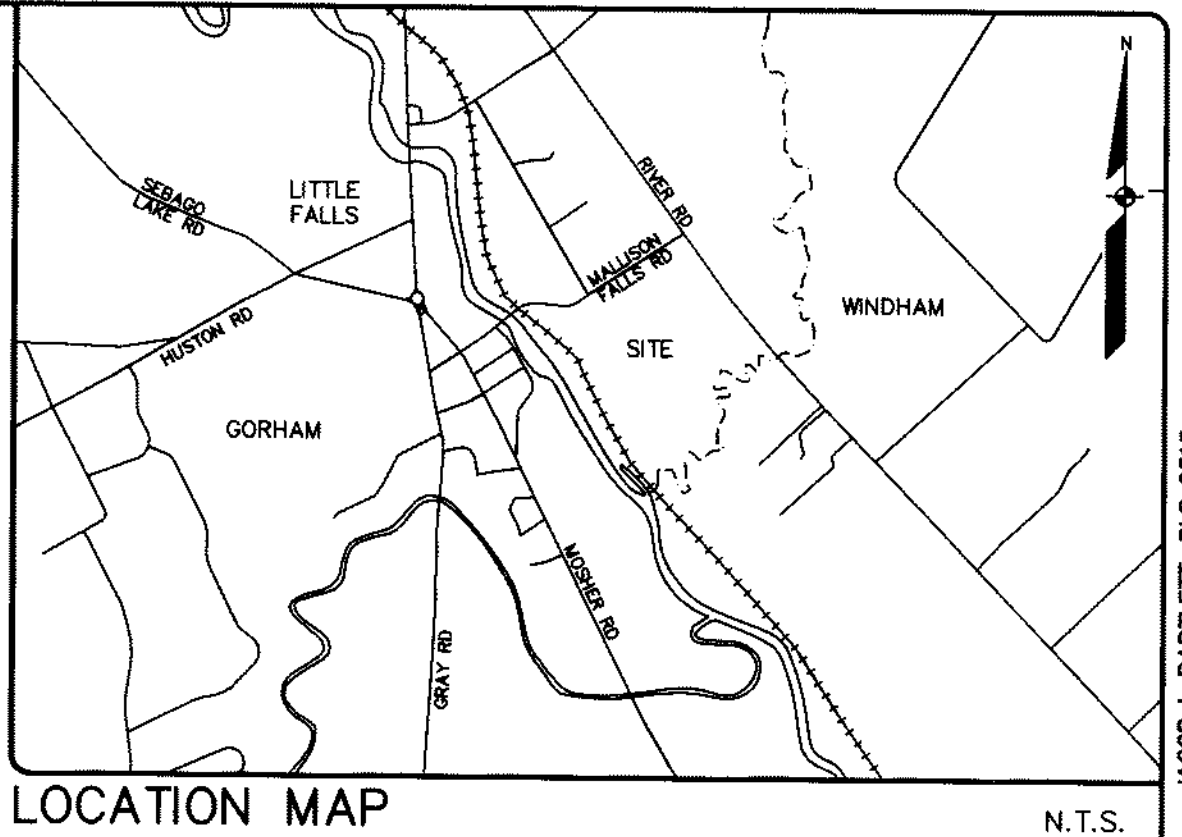
JOB CAPTAIN:	BJB	00C5004
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DRAWN BY:	MRS	00CE004
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SMRT FILE: 00CE004-17052	SHEET No.	© COPYRIGHT 2010 SMRT INC.
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PROPERTY CURVE TABLE				
CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	275.68'	362.43'	N 79°48'20" E	269.08'
C2	389.98'	439.14'	N 76°09'22" E	377.29'
C3	184.40'	1431.30'	N 54°24'23" E	184.28'
C4	552.90'	10456.98'	N 56°34'57" E	552.83'
C5	419.62'	3433.00'	S 39°38'04" E	419.36'
C6	556.66'	2818.37'	N 37°02'20" W	555.76'
C7	292.81'	5691.58'	N 29°36'15" W	292.77'
C8	574.62'	1470.34'	N 39°19'35" W	570.97'
C9	6.66'	1394.69'	N 50°23'07" W	6.66'



JACOB I. BARTLETT, PLS 2513

DRAWN		CHECKED	
TSL/JIB		CDM	
JIB 02-19-19 REVISED FOR RECORDING		JIB 02-04-19 ISSUED TO CLIENT FOR REVIEW	
REV. BY: JIB		DATE: 02-04-19	
STATUS: REVISED		THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.	

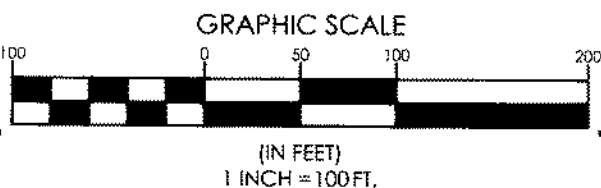
TECHNICS
75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

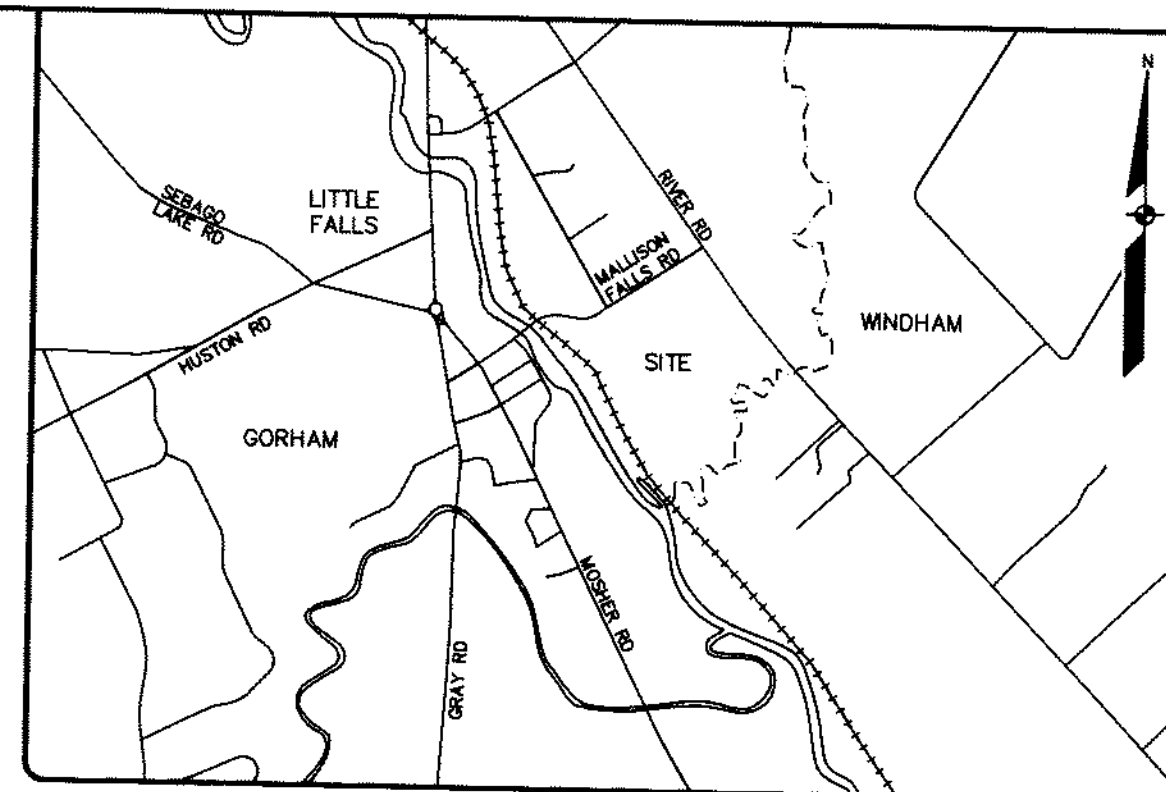
BOUNDARY PLAN
OF:
MAINE CORRECTIONAL CENTER
17 MOLLISON FALLS ROAD
WINDHAM, MAINE
FOR RECORD OWNER:
STATE OF MAINE
17 MOLLISON FALLS ROAD
WINDHAM, MAINE 04062

PROJECT NO. 16405
SCALE 1" = 100'

SHEET 1 OF 2

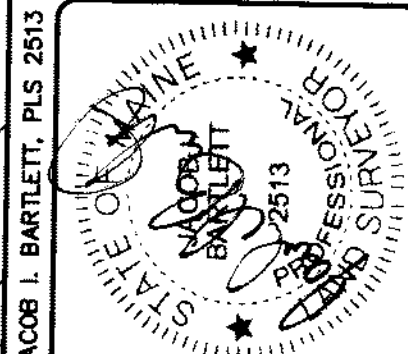
STATE OF MAINE
CUMBERLAND COUNTY SS REGISTRY OF DEEDS
RECEIVED March 5 2019
AT 11:41 P.M. AND RECORDED IN
PLAN BOOK 219 PAGE 107
ATTEST REGISTRAR





LOCATION MAP

N.T.S



JACOB I. BARTLETT, PLS 2513

DRAWN	CHECKED
TSL/JIB	CDM
B	JIB
02-19-19	REVISED FOR RECORDING
A	JIB
02-04-19	ISSUED TO CLIENT FOR REVIEW
BY:	DATE: STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SCS&O. TECHNIQUES AND ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SCS&O. ETC.	

REV: DT:	DATE:	STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.		

SEBAGO
TECHNICS

75 John Roberts Rd.
Suite 4A
South Portland, ME 04106
Tel. 207-200-2100

BOUNDARY PLAN
OF:
MAINE CORRECTIONAL CENTER
17 MALLISON FALLS ROAD
WINDHAM, MAINE
FOR RECORD OWNER:
STATE OF MAINE
17 MALLISON FALLS ROAD
WINDHAM, MAINE 04082

PROJECT NO.	SCALE
16405	1" = 100'

SHEET 2 OF 2

- MATCH LINE

- MATCH LINE

N/F
STATE REFORMATORY
MAP 3, LOT 6

POND

HOME LOTS
PER PLAN REF 65

12"x18" GRANITE MONUMENT
36" ABOVE GRADE
POINTED STONE-CENTER TOP

EASEMEN
NOTE 10

N/F
MICHAEL R. & PAMELA A
PATTEE
24270/220
MAP 3, LOT 26

PRESUMPSCOT RIVER
FLOW

1 1/2" FOUND IRON PIPE
15" ABOVE GRADE
PAINTED WHITE, LOCATED BASE

N 42°41'50" W

N 53°43'53" W—

N 42°41'50" W-

712.28'
45°15'04"
(DE LINE)

45°5'04"
(DE LINE)


(112 611)

5/8" REBAR
30" ABOVE GRADE
ILLEGIBLE YELLOW CAP
LOCATED BASE

1 3/4" FOUND IRON PIPE
15" ABOVE GRADE
PAINTED WHITE, HELD

5/8" REBAR
5" ABOVE GRADE
HP GRAY PLS

1 1/2" FOUND IRON PIPE
5" ABOVE GRADE
LOCATED AT BASE HELD




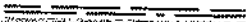








COLLEY WRIGHT BROOK
AKA DOLE BROOK

GENERAL NOTES:

1. THE RECORD OWNER OF THE PARCEL IS THE STATE OF MAINE BY DEEDS DATED MAY 18, 1920 IN BOOK 1051, PAGE 178, OCTOBER 19, 1924 IN BOOK 1186, PAGE 97 AND JULY 26, 1921 IN BOOK 1001, PAGE 230. THE DEEDS ARE RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. THE PROPERTY IS SHOWN AS LOT 5 ON THE TOWN OF WINDHAM TAX MAP 3 AND IS LOCATED IN THE INDUSTRIAL DISTRICT (I).
3. SPACE AND BULK CRITERIA FOR THE INDUSTRIAL DISTRICT (I) ARE AS FOLLOWS:
NET RESIDENTIAL DENSITY:
MINIMUM LOT SIZE: 20,000 S.F.
MINIMUM STREET FRONTAGE: 100 FEET
MINIMUM FRONT YARD: 100 FEET
MINIMUM SIDE YARD: 25 FEET
MINIMUM REAR YARD: 25 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET
MAXIMUM BUILDING COVERAGE: NONE
* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.
4. TOTAL AREA OF PARCEL IS APPROXIMATELY 122 ACRES.
5. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY PERFORMED BY SEBAGO TECHNIQS, INC. IN JANUARY OF 2019.
6. PLAN REFERENCES:
 - A. "MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 6, WINDHAM, CUMBERLAND COUNTY, MALLISON FALLS BRIDGE OVER PRESUMPSCOT RIVER S.H.C FILE NO. S-3-309", SHEET 2 OF 2, DATED JANUARY 1968, AND RECORDED AT CCRD IN PLAN BOOK 80, PAGE 11.
 - B. "RIGHT-OF-WAY AND TRACK MAP THE PORTLAND & OGDENSBURG RY. OPERATED BY THE MAINE CENTRAL RAILROAD COMPANY STATION 105+60 TO STATION 158+40", SHEET V.16/3, DATED JUNE 30, 1916, BY OFFICE OF CHIEF ENGINEER.
 - C. "SURVEY OF WATER POWER AT MALLISON FALLS, CUMBERLAND CO. POWER & LIGHT CO.", DATED DECEMBER 1, 1931, BY NEW ENGLAND PULP SERVICE CO. ENGINEERING DEPARTMENT, AND RECORDED AT CCRD IN PLAN BOOK 20, PAGE 47.
 - D. "PLAN SHOWING PROPOSED PORTLAND WATER DISTRICT RIGHT OF WAY, ACROSS LAND OF MAINE STATE REFORMATORY FOR MEN, SOUTH WINDHAM, MAINE", DATED JANUARY 19, 1955 AND RECORDED AT CCRD IN PLAN BOOK 44, PAGE 40A.
 - E. "BOUNDARY SURVEY BETWEEN-MAINE CORRECTIONAL CENTER AND RICHARD R. & NORMA L. BOULANGER FROM THE PORTLAND & OGDENSBURG RAILWAY TO RIVER ROAD-CUMBERLAND COUNTY-WINDHAM, MAINE", BY HERBERT P. GRAY, PLS #367, AND RECORDED AT CCRD IN PLAN BOOK 194, PAGE 264 AND 265.
 - F. "COPY OF OLD PLAN WINDHAM, ME" RECORDED AT THE CUMBERLAND COUNTY COMMISSIONER RECORDS IN PLAN BOOK 4, PAGE 39.
 - G. PRELIMINARY COPY OF "STATE AID HIGHWAY NO. 2, RIVER ROAD, WINDHAM, CUMBERLAND COUNTY, FEDERAL AID PROJECT NO. STP-1121(920)" DOT FILE NO 3-631, DATED 2018.
7. PLAN ORIENTATION IS GRID NORTH. MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE NAVD83, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.
8. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
9. THE LOCUS PROPERTY IS DEPICTED ON THE FLOOD INSURANCE RATE MAP FOR WINDHAM, MAINE, CUMBERLAND COUNTY, COMMUNITY-PANEL NUMBER 230189 0025 B, HAVING AN EFFECTIVE DATE OF SEPTEMBER 2, 1981. THE MAJORITY OF THE AREA OF THE LOCUS PROPERTY IS BLACKED OUT ON THE ABOVE LISTED FLOOD INSURANCE RATE MAP. OTHER PORTIONS OF THE LOCUS FALL WITHIN AN AREA IDENTIFIED AS ZONE A, AREAS OF 100 YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
10. THE SLOPE EASEMENTS SHOWN HEREON WERE TRACED FROM PLAN REFERENCE 6G, PROVIDED BY THE STATE OF MAINE DEPARTMENT OF TRANSPORTATION. NO DEED OR CONDEMNATION WAS FOUND FOR THIS.

LEGEND

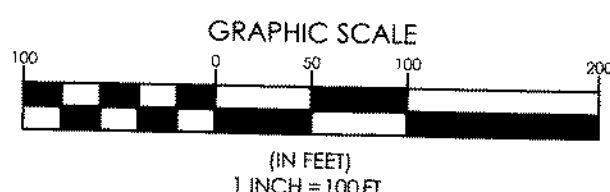
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----	ABUTTER LINE/R.O.W.	
----	DEED LINE/R.O.W.	
----	PROPRIETORS LINE	
----	TIE LINE	
----	EASEMENT	
	MONUMENT	
	IRON PIPE/ROD	
C1/L1	CURVE/LINE NO.	
	BUILDING	
----	DECK/STEPS/ OVERHANG	
----	EDGE PAVEMENT	
----	EDGE CONCRETE	
----	EDGE GRAVEL	
----	CURB LINE	
	EDGE OF WATER	
	CHAIN LINK FENCE	
	BARB WIRE FENCE	
	DECIDUOUS TREE	
OHU	OVERHEAD UTILITY	
UGU	UNDERGROUND UTILITY	
	LIGHT POLE	
	UTILITY POLE	
	QUY. WRF.	

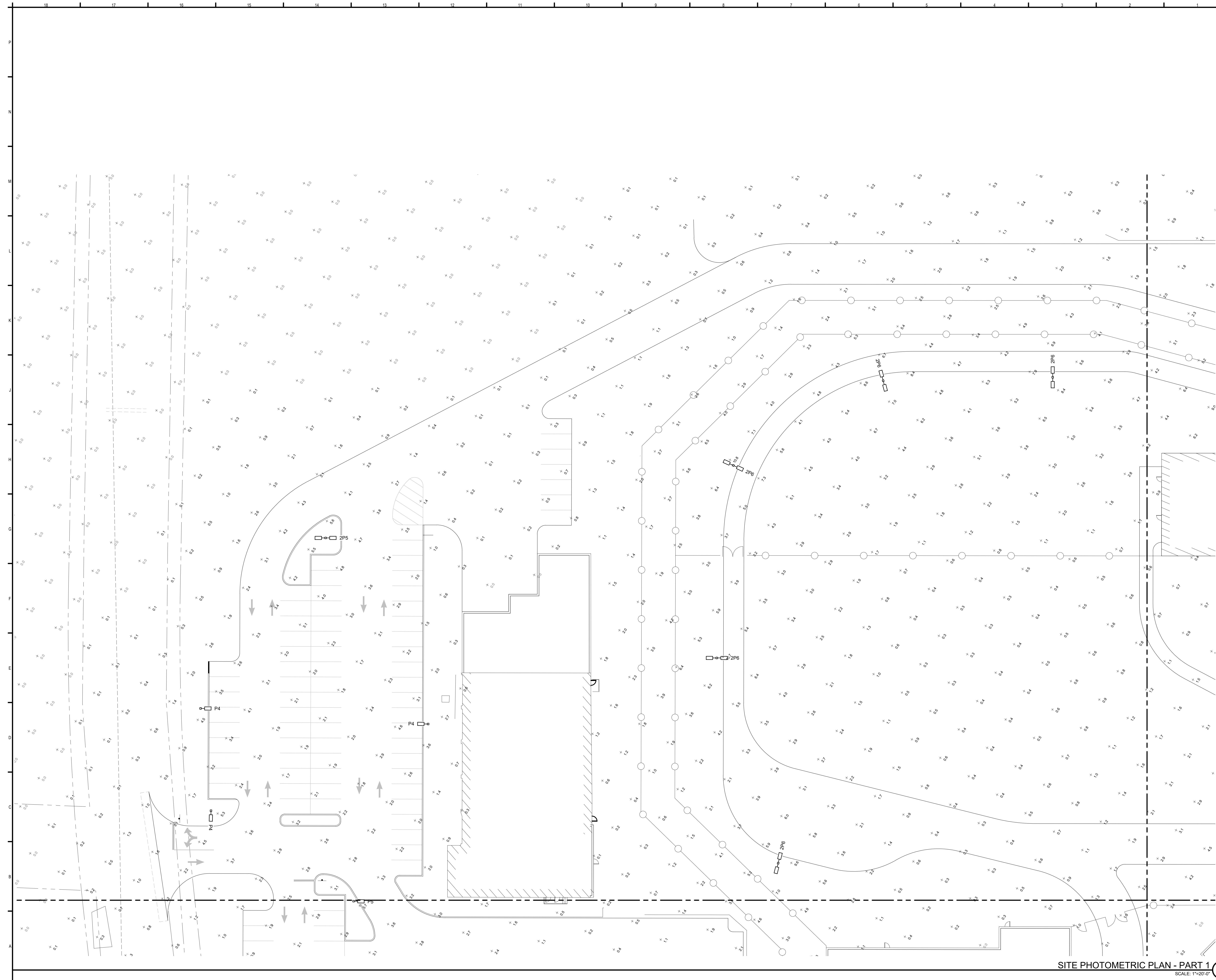
SURVEYOR'S STATEMENT

THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT WAS DONE IN ACCORDANCE WITH CHAPTER 90, PART 1 (PROFESSIONAL STANDARDS OF PRACTICE) AND PART 2 (TECHNICAL STANDARDS OF PRACTICE) OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS.

JACOB T. BARTLETT, PLS 251.







FEBRUARY 4, 2019

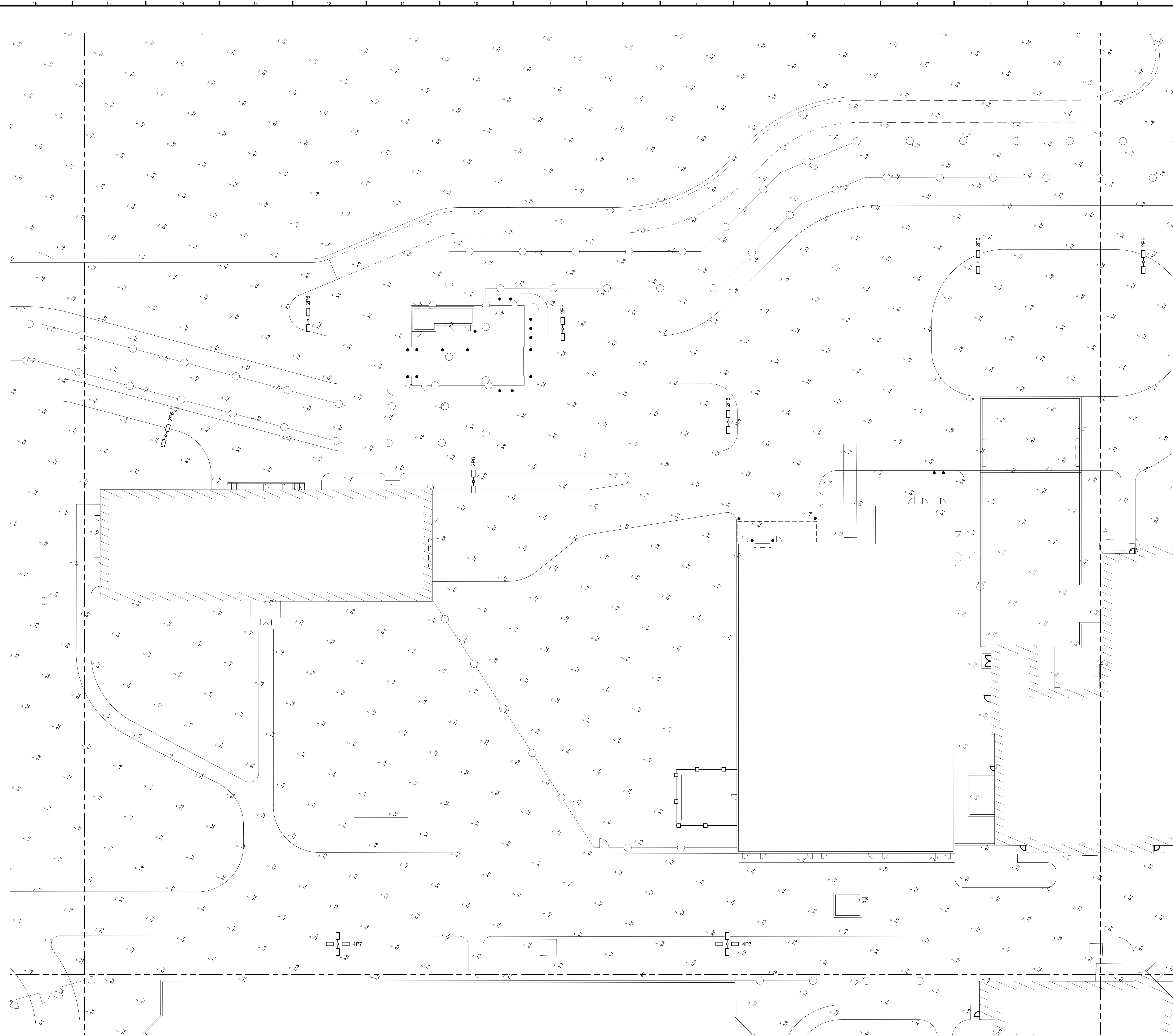




SITE PHOTOMETRIC PLAN - PART 1
SCALE: 1"=20'-0"

SCALE: 1"=20'-0"

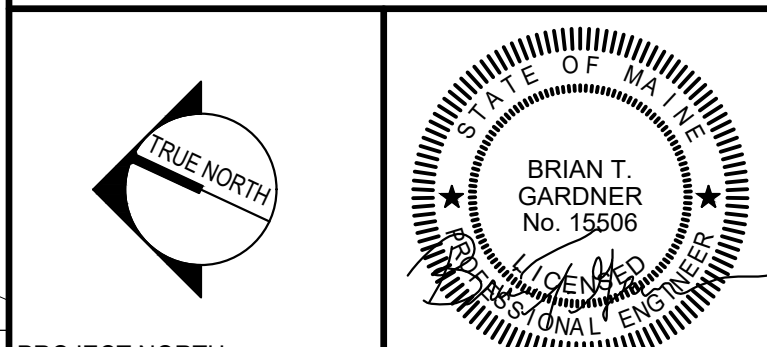
 Allied Engineering Structural Mechanical Electrical Commissioning 		160 Veranda Street Portland, Maine 04103 T: 207.221.2248 F: 207.221.2260 Web: www.allied-eng.com
REV	DESCRIPTION	DATE
<h2>TOWN SITE PLAN REVIEW</h2> <h3>06-03-19</h3> <p>CURRENT ISSUE STATUS:</p>		
 PROJECT NORTH:		
SMART Architects and Engineers 144 Fore Street/P.O. Box 618 Portland, Maine 04104		
ARCHITECTURE ENGINEERING PLANNING INTERIORS ENERGY		
		
<h1>MAINE DEPARTMENT OF CORRECTIONS</h1> <h2>MAINE CORRECTIONAL CENTER</h2>		
WINDHAM, ME		CIVIL
<h1>SITE PHOTOMETRIC PLAN ~ PART 1</h1>		
SHEET TITLE:		
		
SCALE: AS NOTED		
PROJECT MANAGER:	WPF	PROJECT NO:
A/E OF RECORD:	BTG	
JOB CAPTAIN:	PD	
DRAWN BY:	GMC	
SMART FILE:	00SL101-17052	SHEET No.
		00SL101
		©Copyright 2017 Smart

[illegible]

REV	DESCRIPTION	DATE
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TOWN SITE PLAN REVIEW
06-03-19

CURRENT ISSUE STATUS:



PROJECT NORTH:

SMRT Architects and Engineers
144 Fore Street/P.O. Box 618
Portland, Maine 04104

ARCHITECTURE | ENGINEERING | PLANNING | INTERIORS | ENERGY **SMART**

MAINE DEPARTMENT OF
CORRECTIONS
MAINE CORRECTIONAL CENTER
WINNAPUSSE

WINDHAM, ME CIVIL
SITE PHOTOMETRIC PLAN ~ PART
2

SHEET TITLE:



SCALE: AS NOTED

PROJECT MANAGER:	WPF	PROJECT NO:	17052
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A/E OF RECORD:	BTG
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JOB CAPTAIN:	PD	00SI 102
TRAINING	010	

SMRT FILE: 00SI 103-17052 SHEET No. 1

STREET NAME: _____ STREET NO.: _____ COPYRIGHT 2017 SMART INK

SITE PHOTOMETRIC PLAN - PART 2

SCALE: 1"=20'-0"

00SL102



A1

SCALE: 1"=20'-0"

00SL103

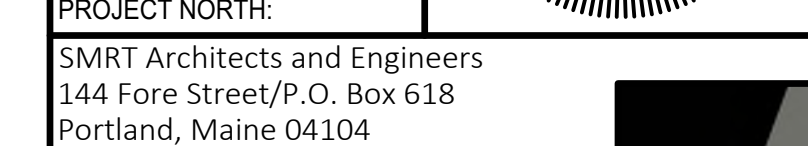
SMRT FILE: 00SL103-17052 SHEET No. ©COPYRIGHT 2017 SMRT INC.



REV	DESCRIPTION	DATE
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CURRENT ISSUE STATUS:

CURRENT ISSUE STATUS:



SMRT ENERGY

이러한

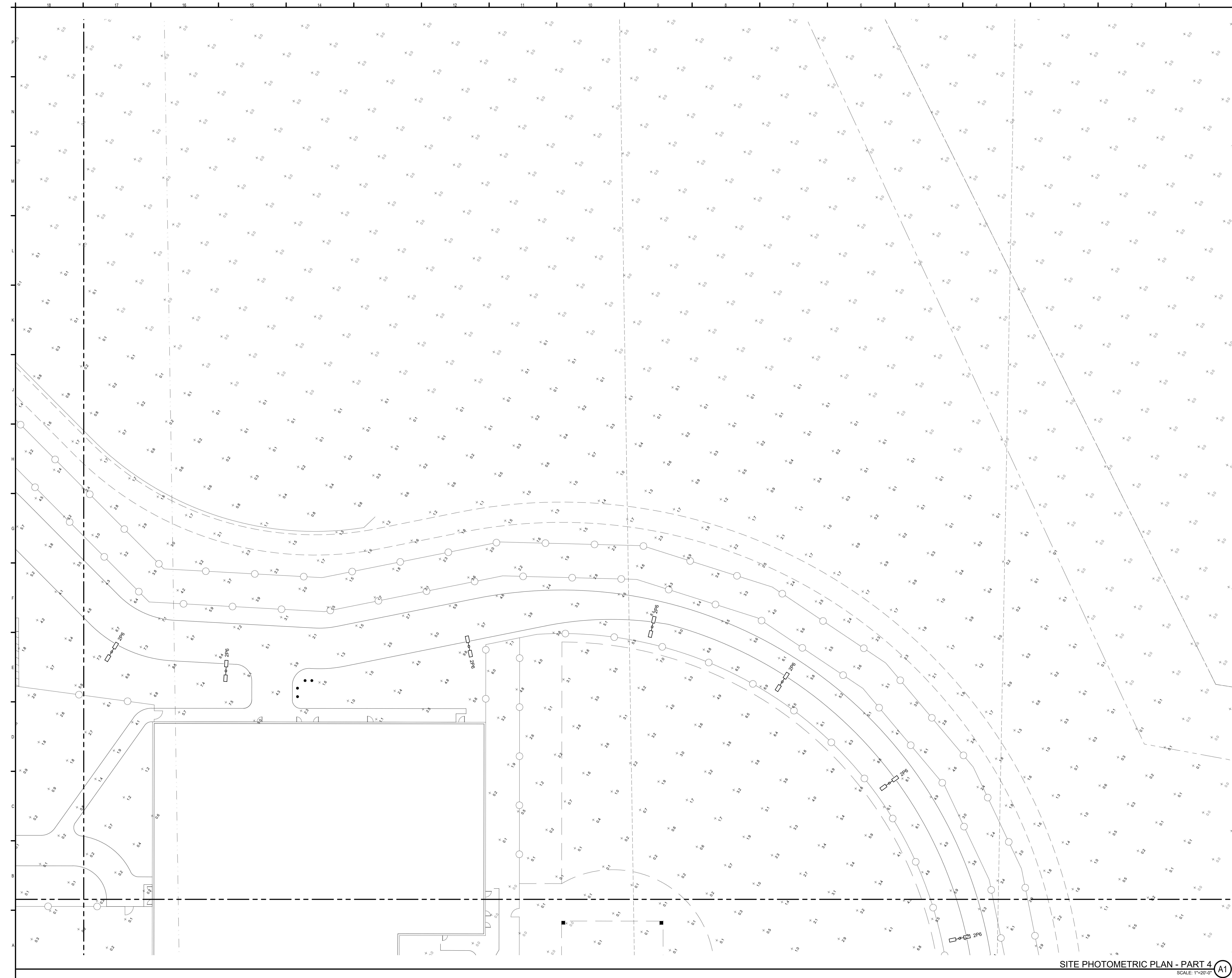


A/E OF RECORD:	BTG
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JOB CAPTAIN:	PD	00SI 103
SENIOR PM	PM	

SMRT FILE: 00SI 103-17052 SHEET No. 1

Sheet Title: 000100-17002 Sheet No. ©COPYRIGHT 2017 SMIT INC.



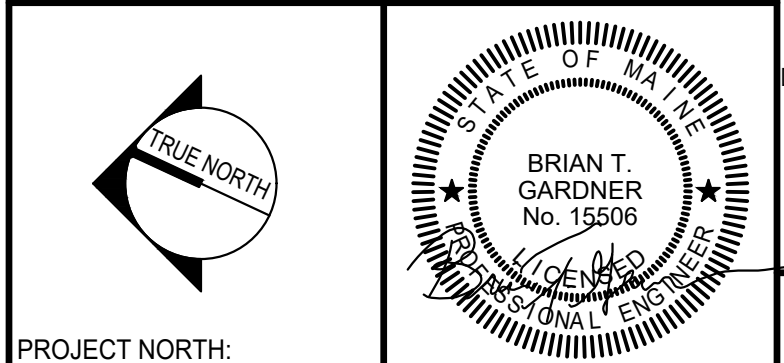
Allied Engineering
Structural Mechanical Electrical Commissioning

[illegible]

REV	DESCRIPTION	DATE
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TOWN SITE PLAN REVIEW
06-03-19

CURRENT ISSUE STATUS:



SMRT Architects and Engineers
144 Fore Street/P.O. Box 618
Portland, Maine 04104

ARCHITECTURE | ENGINEERING | PLANNING | INTERIORS | ENERGY **SMRT**

MAINE DEPARTMENT OF
CORRECTIONS
MAINE CORRECTIONAL CENTER
WINDHAM, ME

SITE PHOTOMETRIC PLAN ~ PART
4



SHEET TITLE:

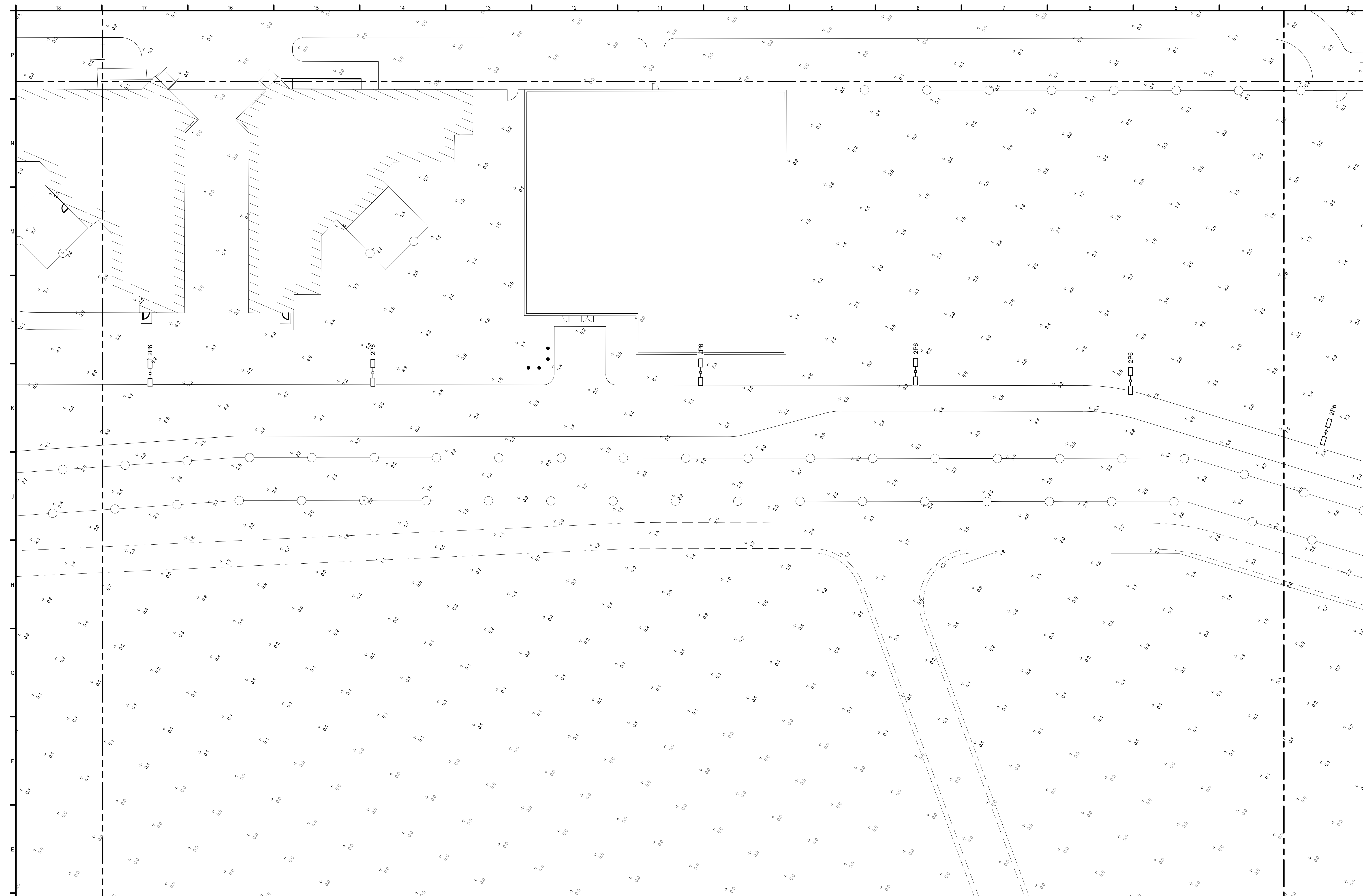
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SCALE: AS NOTED

PROJECT MANAGER:	WPF	PROJECT NO:	17052
A/E OF RECORD:	BTG	<div style="font-size: 48pt; text-align: center;">00SL104</div>	<div style="text-align: right;"> <small>© COPYRIGHT 2011 KIMT INC.</small> </div>
JOB CAPTAIN:	PD		
DRAWN BY:	GMC		
SMRT FILE:	00SL104-17052		
		SHEET No.	

SITE PHOTOMETRIC PLAN - PART 4

SCALE: 1"=20'-0"  SMRT FILE: 00SL104-17052 SHEET No. 



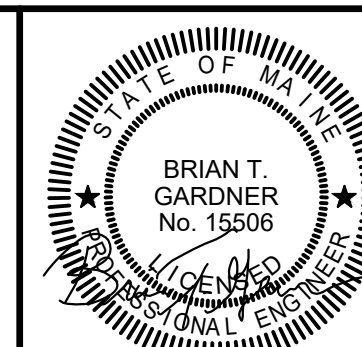
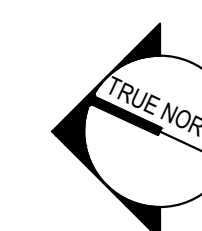
 **Allied Engineering**
Structural Mechanical Electrical Commissioning

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TOWN SITE PLAN REVIEW
06-03-19

CURRENT ISSUE STATUS



PROJECT NORTH:	
SMRT Architects and Engineers 144 Fore Street/P.O. Box 618 Portland, Maine 04104	



MAINE DEPARTMENT OF
CORRECTIONS
MAINE CORRECTIONAL CENTER
WINDHAM, ME

SITE PHOTOMETRIC PLAN ~ PART
7

SHEET TITLE



SCALE: AS NOTED

PROJECT MANAGER:	WPF	PROJECT NO:	1705
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A/E OF RECORD: BT

JOB CAPTAIN:	
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