



July 7, 2020

Jennifer Curtis, Town Planner
Town of Windham
8 School Road
Windham, ME 04062

**Re: Response to Review Comments and Supplemental Information
Woodside Condominium Retirement Community
WELD, LLC. – Applicant/Owner**

Dear Jennifer:

We received the review comments for the above referenced project from your office and offer the following response:

Comment 1: The one question/clarification that would be helpful is to indicate more clearly what infrastructure will be built as part of the amendment. The Amended Subdivision plan shows the 6 units, the road and a call-out for the leach fields, but there is no indication what stormwater infrastructure will be built as well as other road features such as the cross-walk from the sidewalk along Unity over to Conifer Drive. Will these items be part of the amended plan? Please clarify.

Response 1: Attached is a revised plan sheet GU-1 (Sheet 5 of 14) and plan sheet PP-2 (Sheet 10 of 14) that shows the phase line overlaid on the Grading and Utility Plan. The developer will construct all improvements shown within the Phase 1 area on these two plans, which includes the construction of the soil filter basin FB-4. The soil filter basin FB-4 was designed to provide water quality treatment and peak flow attenuation for all of the proposed improvements that will be moved from Phase 2 into Phase 1, as shown on the enclosed Watershed Map and depicted as subwatersheds 30 and 31.

Upon your review of this information, please let us know if you have any questions or require any additional information.

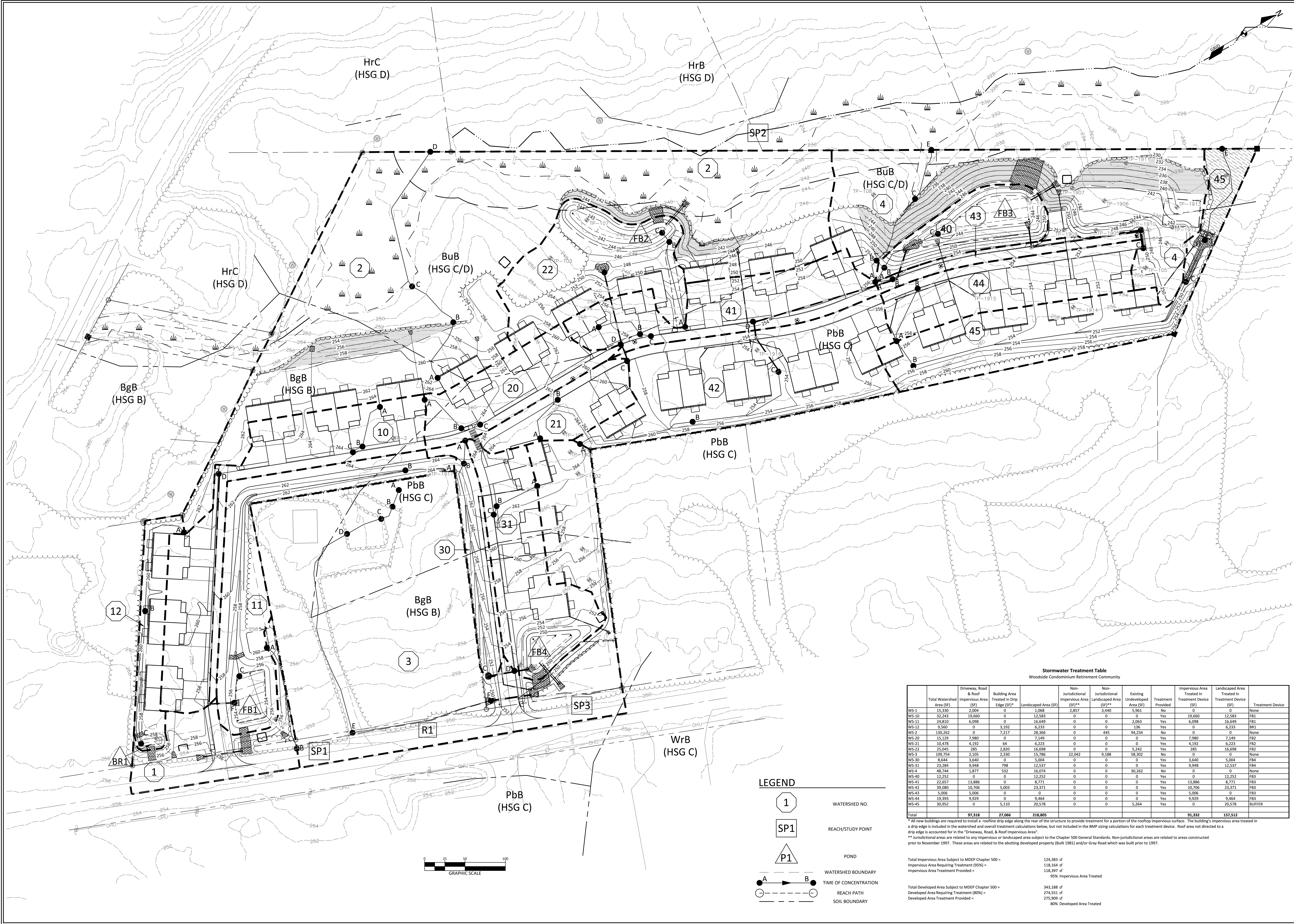
Sincerely,

DM ROMA CONSULTING ENGINEERS

A handwritten signature in black ink, appearing to read "Dustin M. Roma".

Dustin M. Roma, P.E.
President

GU-1



Stormwater Treatment Table											
Woodside Condominium Retirement Community											
	Total Watershed Area (SF)	Driveway, Road & Roof Impervious Area (SF)**	Building Area Treated in Drip Edge (SF)**	Landscaped Area (SF)	Non-Jurisdictional Impervious Area (SF)**	Non-Jurisdictional Landscaped Area (SF)**	Existing Undeveloped Area (SF)	Treatment Provided	Impervious Area Treated in Treatment Device (SF)	Landscaped Area Treated in Treatment Device (SF)	Treatment Device
WS-1	15,330	2,004	0	1,068	2,857	3,440	5,961	No	0	0	None
WS-10	32,243	19,660	0	12,583	0	0	0	Yes	19,660	12,583	FB1
WS-11	24,810	6,098	0	16,649	0	0	2,063	Yes	6,098	16,649	FB1
WS-12	4,560	0	2,192	6,233	0	0	126	Yes	0	6,233	BR1
WS-2	130,262	0	7,217	28,366	0	445	94,234	No	0	0	None
WS-20	15,129	7,980	0	7,149	0	0	0	Yes	7,980	7,149	FB2
WS-21	10,478	4,192	84	6,233	0	0	0	Yes	4,192	6,233	FB2
WS-22	25,045	285	2,820	16,698	0	5,242	285	Yes	285	16,698	FB2
WS-3	109,754	2,105	2,330	15,786	22,042	9,188	58,302	No	0	0	None
WS-30	8,644	3,640	0	5,004	0	0	0	Yes	3,640	5,004	FB4
WS-31	23,284	9,948	798	12,537	0	0	9,948	Yes	9,948	12,537	FB4
WS-4	46,744	1,877	532	16,074	0	0	30,262	No	0	0	None
WS-40	12,252	0	0	12,252	0	0	0	Yes	0	12,252	FB3
WS-41	22,657	13,886	0	8,771	0	0	0	Yes	13,886	8,771	FB3
WS-42	39,080	10,706	5,003	23,371	0	0	0	Yes	10,706	23,371	FB3
WS-43	5,006	5,006	0	0	0	0	0	Yes	5,006	0	FB3
WS-44	19,393	9,929	0	9,464	0	0	0	Yes	9,929	9,464	FB3
WS-45	30,952	0	5,110	20,578	0	0	5,264	Yes	0	20,578	BUFFER
Total	97,318	27,066	218,805				91,332		157,512		

* All new buildings are required to install a roofline drip edge along the rear of the structure to provide treatment for a portion of the rooftop impervious surface. The building's impervious area treated in a drip edge is included in the watershed and overall treatment calculations below, but not included in the BMP sizing calculations for each treatment device. Roof area not directed to a drip edge is accounted for in the "Driveway, Road, & Roof Impervious Area".

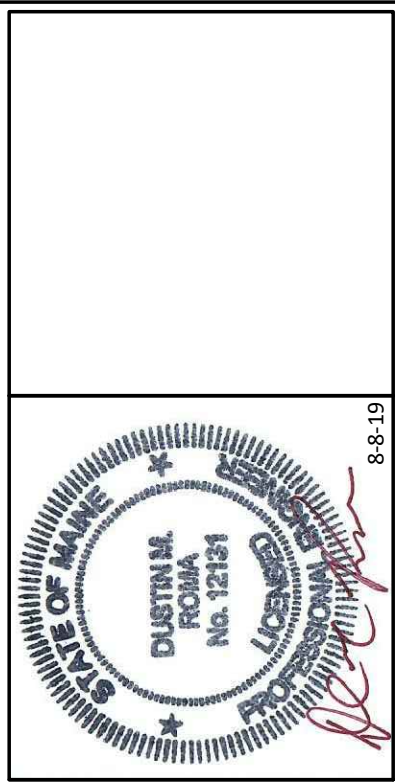
** Jurisdictional areas are related to any impervious or landscaped area subject to the Chapter 500 General Standards. Non-jurisdictional areas are related to areas constructed prior to November 1997. These areas are related to the abutting developed property (Built 1981) and/or Gray Road which was built prior to 1997.

Total Impervious Area Subject to MDEP Chapter 500 =
Impervious Area Requiring Treatment (95%) =
Impervious Area Treatment Provided =

124,383 sf
118,164 sf
118,397 sf
95% Impervious Area Treated

Total Developed Area Subject to MDEP Chapter 500 =
Developed Area Requiring Treatment (80%) =
Developed Area Treatment Provided =

343,188 sf
274,551 sf
275,909 sf
80% Developed Area Treated



DM ROMA
CONSULTING ENGINEERS
P.O. BOX 1116
WINDHAM, ME 04062
(207) 310-0506

REV.	DATE	BY	DESCRIPTION
A	4-22-19	DMR	ISSUED TO TOWN FOR PRELIMINARY REVIEW
B	5-8-19	DMR	ISSUED FOR MDEP PERMIT REVIEW
C	5-10-19	DMR	REVISED PER PEER REVIEW COMMENTS
D	8-8-19	DMR	REVISED PER MDEP REVIEW

POST-DEVELOPMENT WATERSHED MAP
WOODSIDE CONDOMINIUM RETIREMENT COMMUNITY - PHASE 2
WINDHAM, MAINE
FOR: **WELD, LLC**
P.O. BOX 1391
WINDHAM, MAINE 04062

17070
JOB NUMBER:
1" = 50'
SCALE:
8-8-2019
DATE:
SHEET 2 OF 2
SWP-2