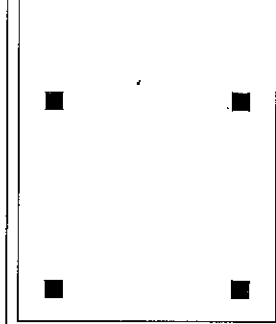


Five vertical scale bars are shown, each with a different scale:

- 1/16"=1' (Scale markings: 0, 1, 2, 3)
- 1/8"=1' (Scale markings: 0, 1, 2, 3)
- 1/4"=1' (Scale markings: 0, 1, 2, 3)
- 1/2"=1' (Scale markings: 0, 1, 2, 3)
- 3/4"=1' (Scale markings: 0, 1, 2, 3)

[illegible]

TITLE SHEET	
Project Number	21114
Date	July 15th, 2021
Drawn by	CR
Checked by	LAC

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.

ARCHITECT:
PORT CITY ARCHITECTURE, PA
65 NEWBURY STREET
PORTLAND, ME 04101
TEL: (207) 761-3000
CONTACT: ANDY HYLAND
E-MAIL: ANDY#PORTCITYARCH.COM
CONTACT: MARK CHALOUPECKY
E-MAIL: MARK#PORTCITYARCH.COM

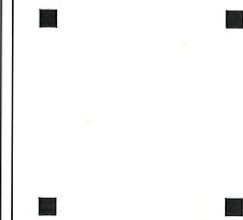
CONTRACTOR:
FOULIN CONSTRUCTION
40 JORDAN AVE
BRUNSWICK, ME 04011
TEL: (207) 725-4304
CONTACT: BRENT FOULIN
E-MAIL: FOULINBRENT#FOULINCONSTRUCTION.COM

Diagram illustrating various wall types and their corresponding symbols:

- DEMO WALL FINISH
- EXISTING WALL
- - - - - EXISTING WALL TO BE REMOVED
- NEW WALL

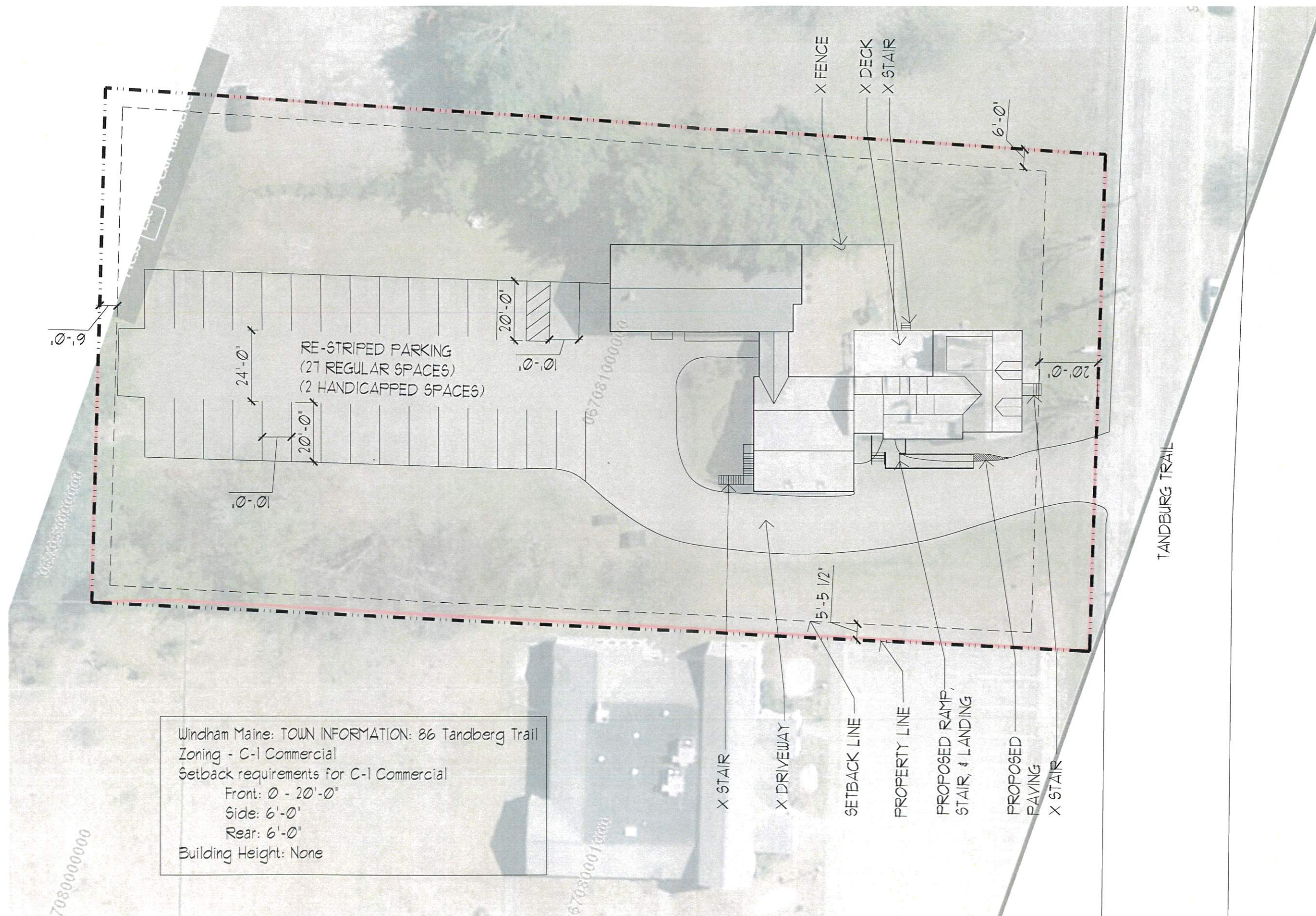
4 AND
ANG ANGLE
AT @
ADA AMERICAN DISABILITIES ACT
ADJ ADJUST OR ADJACENT
AFF ABOVE FINISH FLOOR
ALUM ALUMINUM
ARCH ARCHITECT OR ARCHITECTURAL
AVG AVERAGE
BD BOARD
BLDG BUILDING
BLKG BLOCKING
BM BEAM
BO BOTTOM OF
¢ CENTER LINE
CAB CABINET
CLG CEILING
CLR CLEAR
CMU CONCRETE MASONRY UNIT
CNTR COUNTER
COL COLUMN
CONC CONCRETE
CONT CONTINUOUS
COORD COORDINATE
COR CORNER
CPT CARPET
CW COLD WATER
DBL DOUBLE
DEG DEGREE
DHW DOMESTIC HOT WATER
DIA DIAMETER
DIM DIMENSION
DN DOWN
DR DOOR
DS DOWN SPOUT
DW DISH WASHER
DWG DRAWING
E EAST
EA EACH
EJ EXPANSION JOINT
ELEC ELECTRIC
ELEV ELEVATION
EMP EMPLOYEE
ENCL ENCLOSE
ENT ENTRY or ENTRANCE
EQ EQUAL
EQUIP EQUIPMENT
EWC ELECTRIC WATER COOLER
EXH EXHAUST
EXIST EXISTING
EXP EXPANSION
EXT EXTERIOR
FBO FURNISHED BY OWNER
FBN FOUNDATION
FF FINISH FLOOR
FFE FINISH FLOOR ELEVATION
FIN FINISH
FIXT FIXTURE
FLG FLOORING
FLR FLOOR
FLUOR FLUORESCENT
FT FOOT or FEET
GA GAUGE
GALV GALVANIZED
GC GENERAL CONTRACTOR
GL GLASS
GWB GYPSUM WALL BOARD
HGT HEIGHT
HM HOLLOW METAL
HORIZ HORIZONTAL
HR HOUR
HVAC HEATING, VENTILATION & AIR CONDITION

1. THESE DRAWINGS WERE PROVIDED AS A PORTION OF A DESIGN BUILD SET OF DOCUMENTS BEING COORDINATED BY THE CONTRACTOR WHERE MANY OF THE ITEMS BEING DESIGNED/PROVIDED BY THE CONTRACTOR. THIS SET DOES NOT CONTAIN ALL THE COMPONENTS REQUIRED FOR CONSTRUCTION INCLUDING MECHANICAL, CIVIL, PLUMBING, METAL BUILDING DESIGN, ALL THE ELECTRICAL, & SIMILAR.
2. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
3. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK.
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION 10. 10. AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS.
11. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL DOORS SHALL BE ADA COMPLIANT LEVER HANDLES.
14. NO EXPOSED PIPES, CONDUIT OR SIMILAR UNLESS INDICATED ON DRAWINGS OR PRIOR 14. WRITTEN APPROVAL.
15. THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF SUBMITTALS FOR APPROVAL BY THE ARCHITECT.

[illegible]

SITE PLAN

Project Number	21114
Date	July 15th, 2021
Drawn by	CR





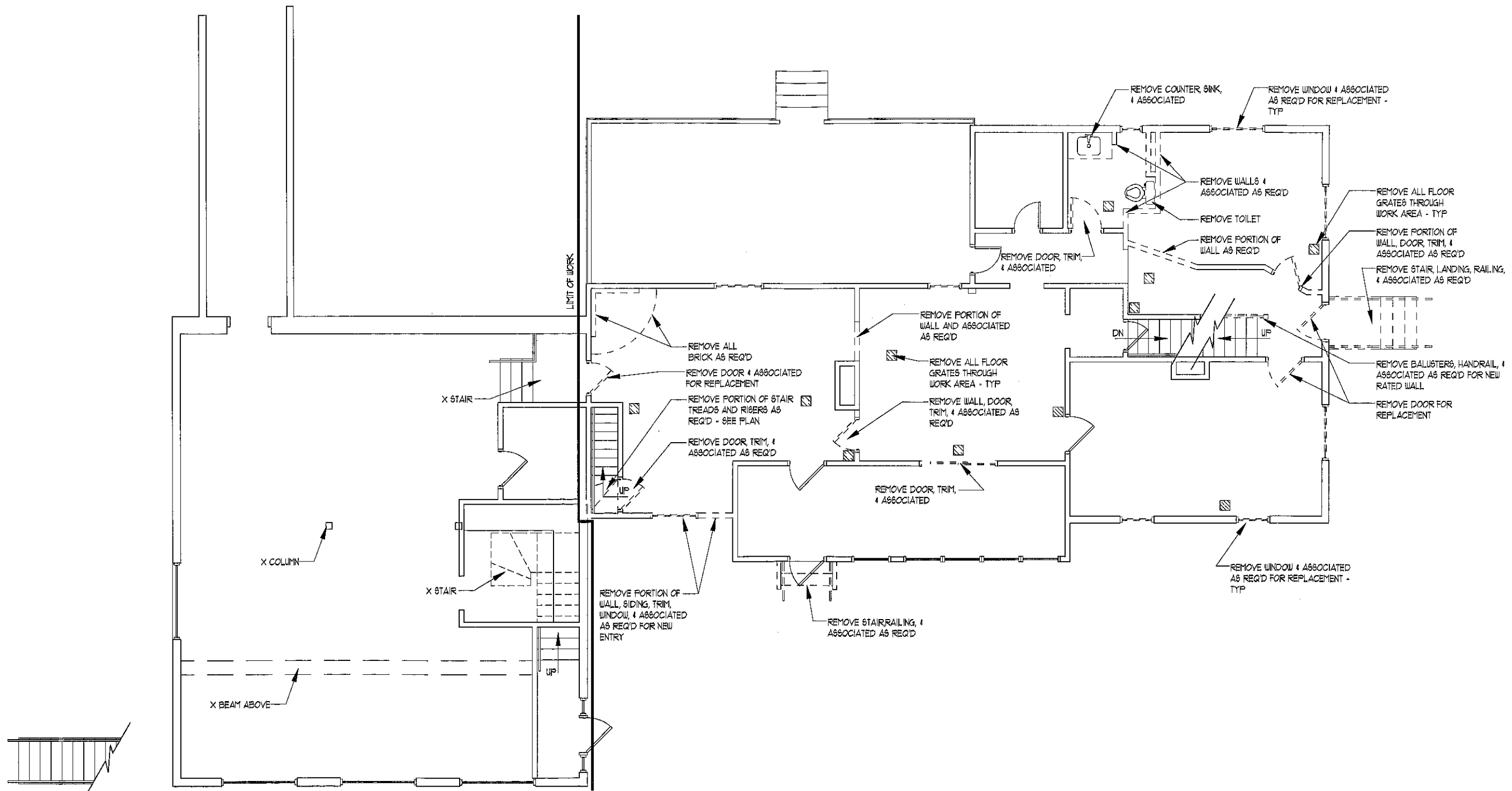
ZONING BOARD SET

DAY ONE

Maine

DEMO PLANS

Project Number	21114
Date	July 15th, 2021
Drawn by	CR



1 DEMO FIRST FLOOR PLAN



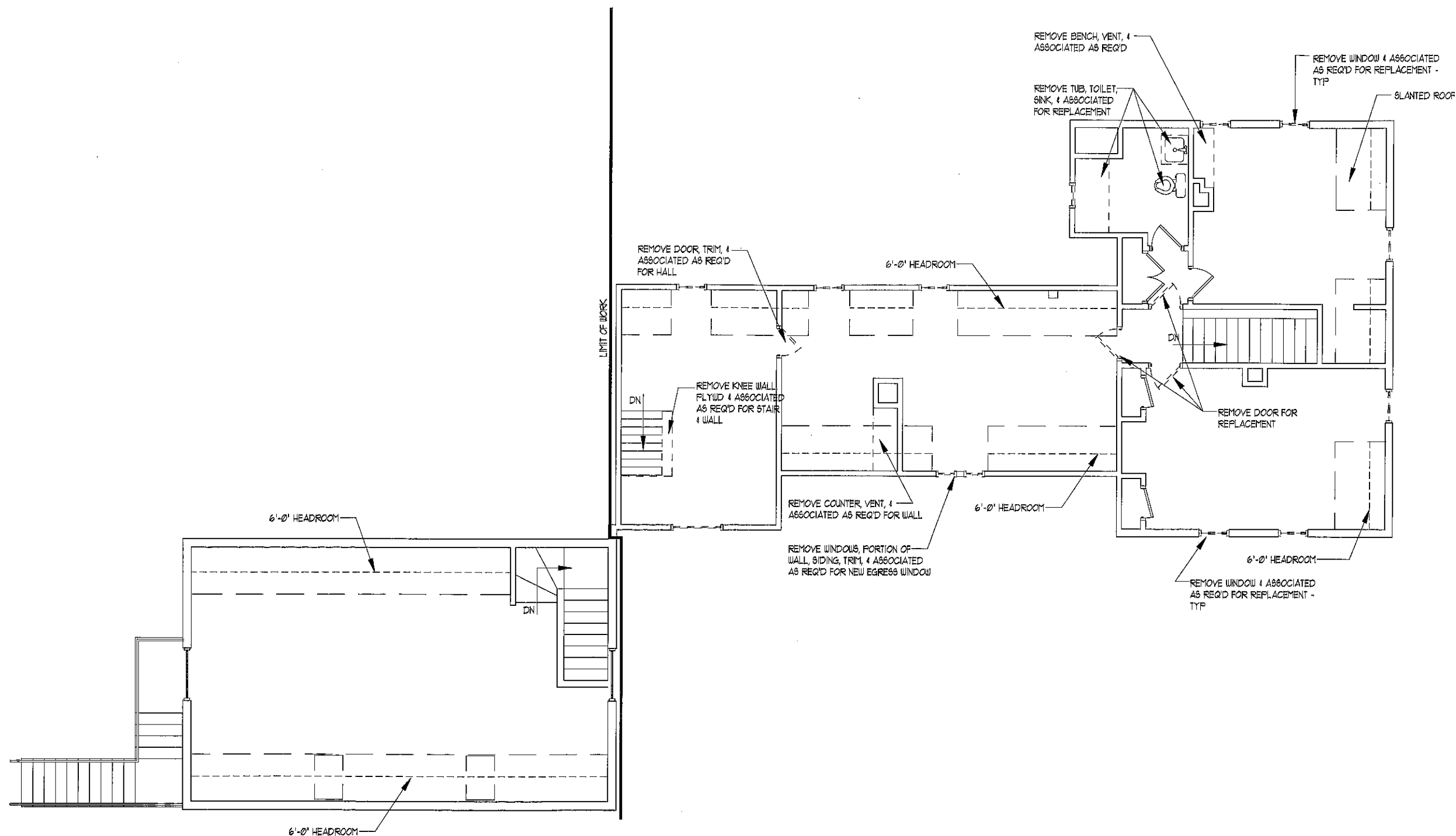
ZONING BOARD SET

DAY ONE

Maine

DEMO PLANS

Project Number	2111
Date	July 15th, 2021
Drawn by	CF





ZONING BOARD SET

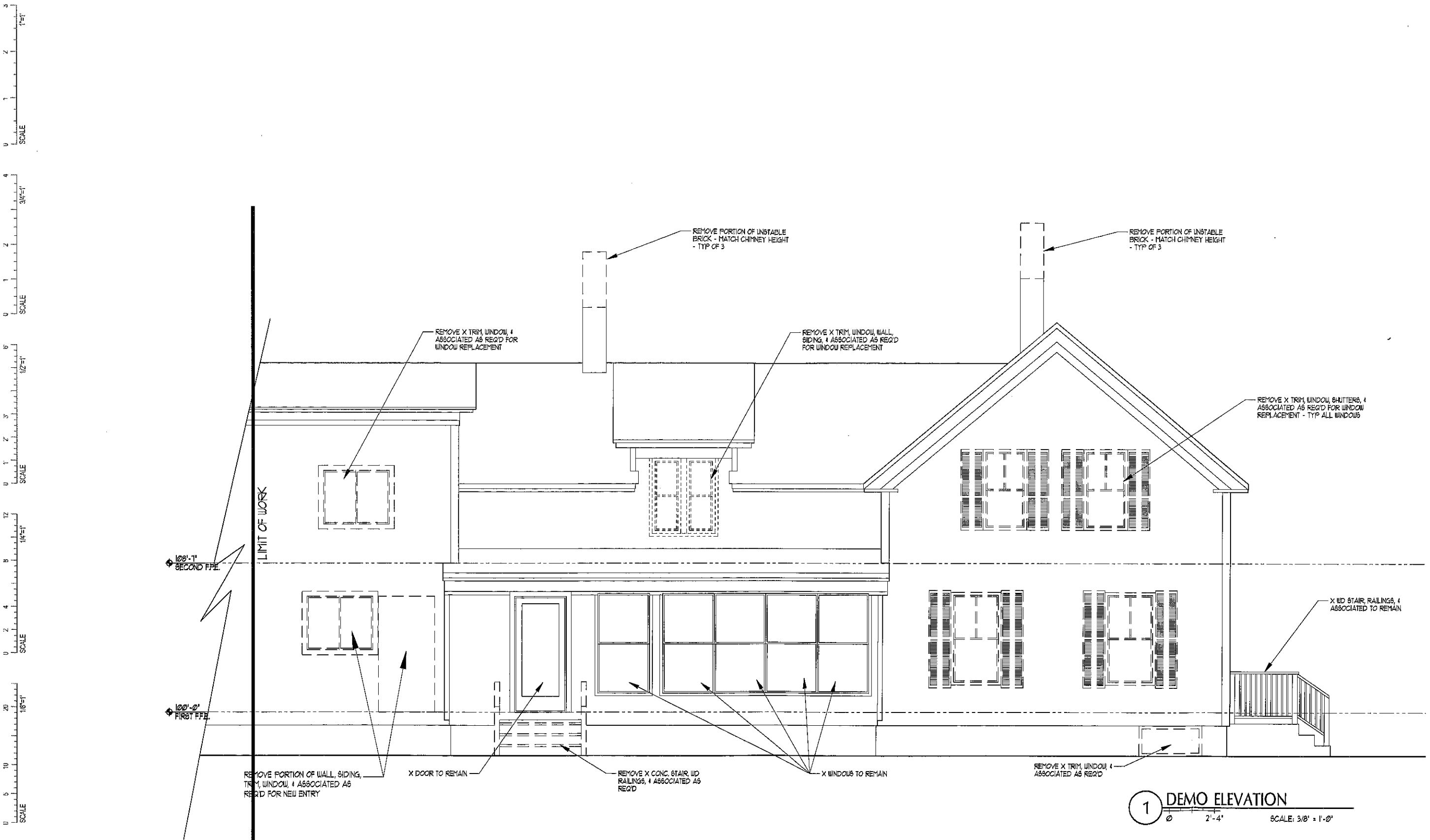
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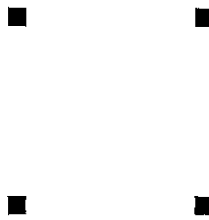
DAY ONE

Maine

DEMO ELEVATIONS

Project Number	21114
Date	July 15th, 2021
Drawn by	CR





ZONING BOARD SET

[illegible]

DAY ONE

Maine

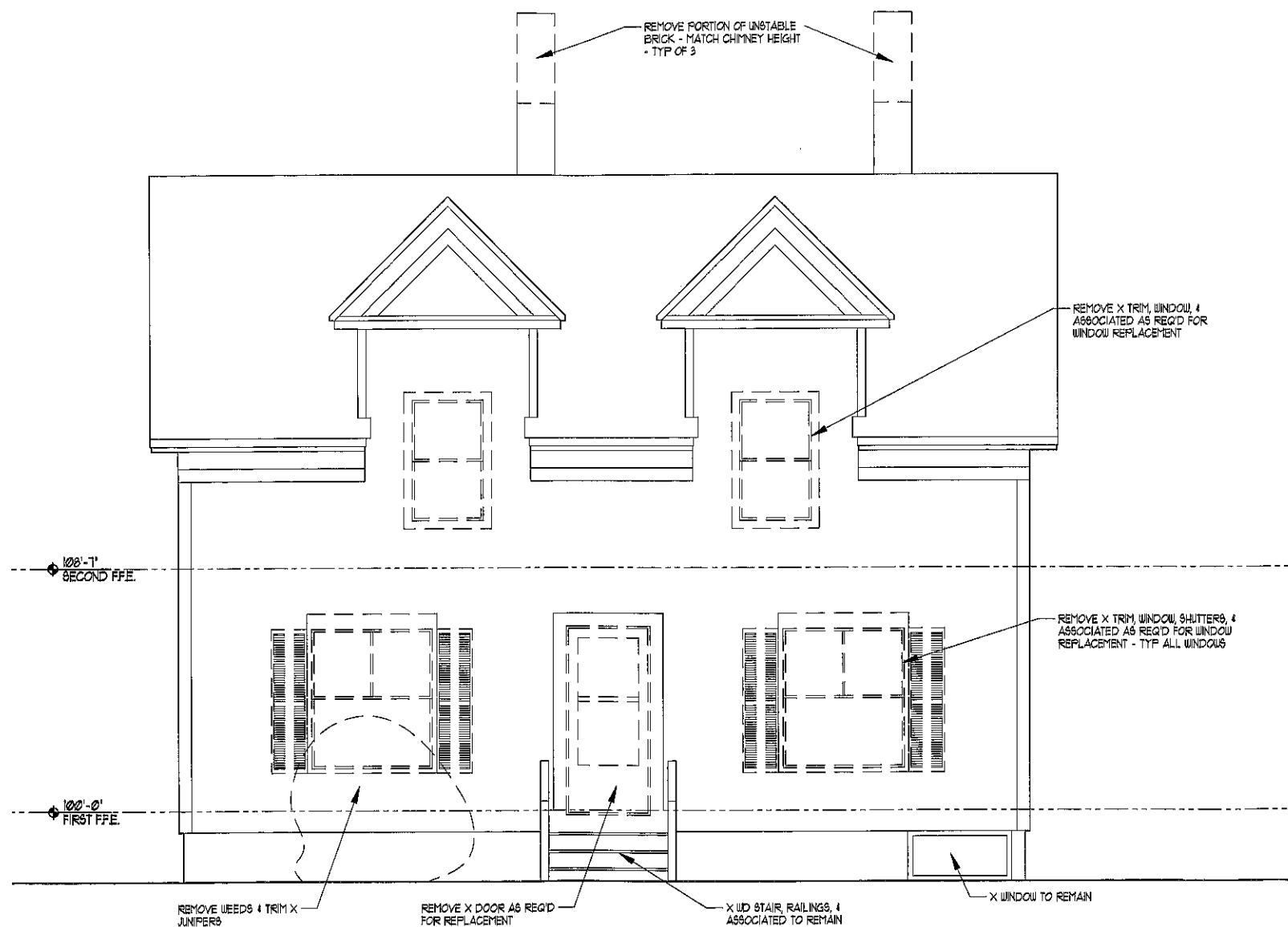
DEMO ELEVATIONS

Project Number	21114
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Date July 15th, 2021

Drawn by CR

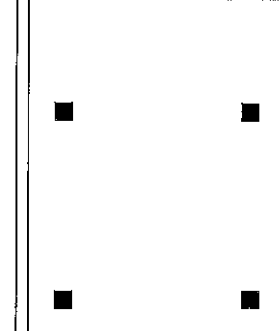
Checked by: LAS



1 DEMO ELEVATION

 \emptyset $2^1-4^{\#}$

SCALE: 3/8" = 1'-0"

[illegible]

DEMO ELEVATIONS





ZONING BOARD SET

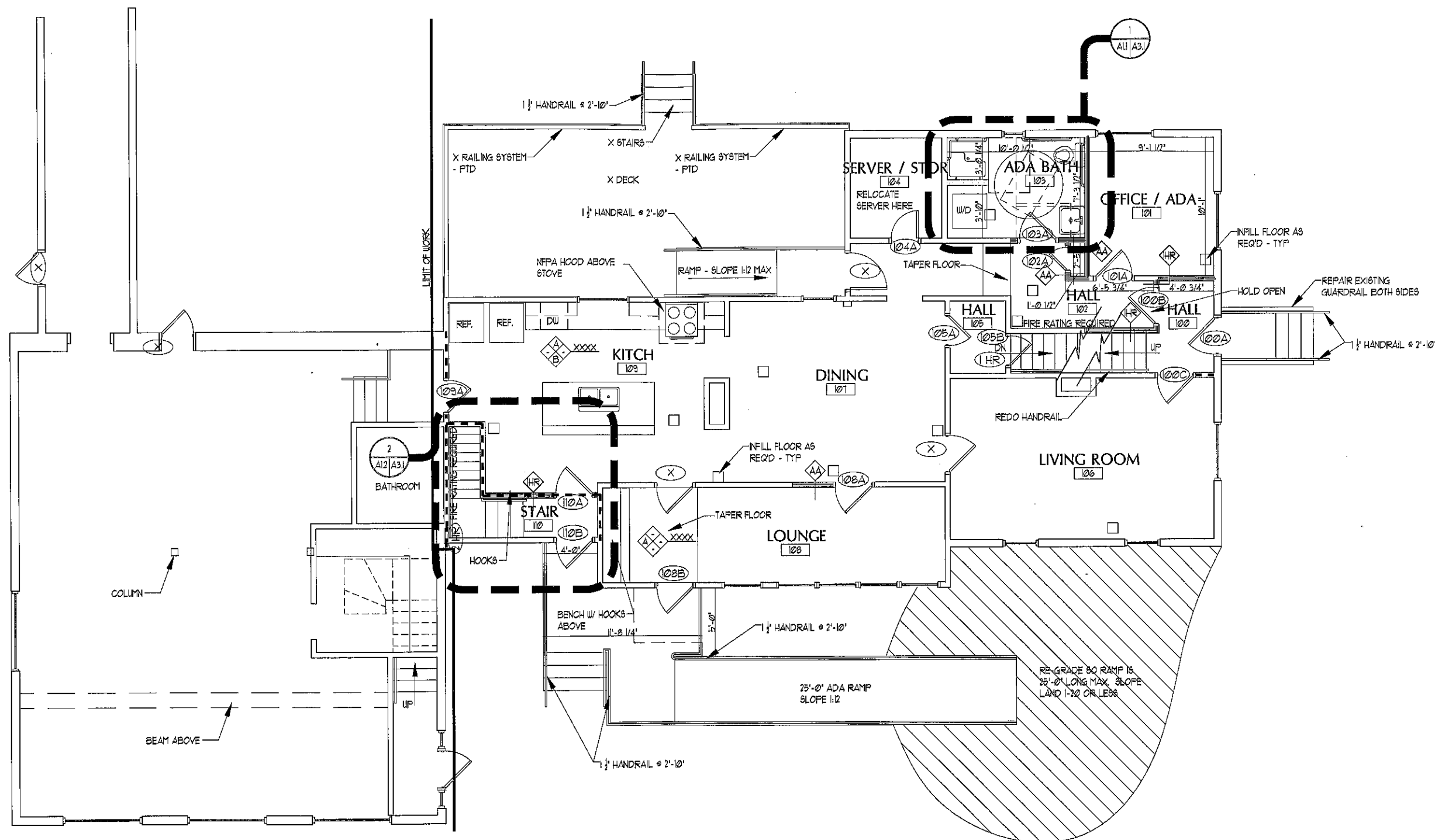
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DAY ONE

Maine

PROPOSED PLANS

Project Number	2111A
Date	July 15th, 2023
Drawn by	CR



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ZONING BOARD SET

[illegible]

DAY ONE

Maine

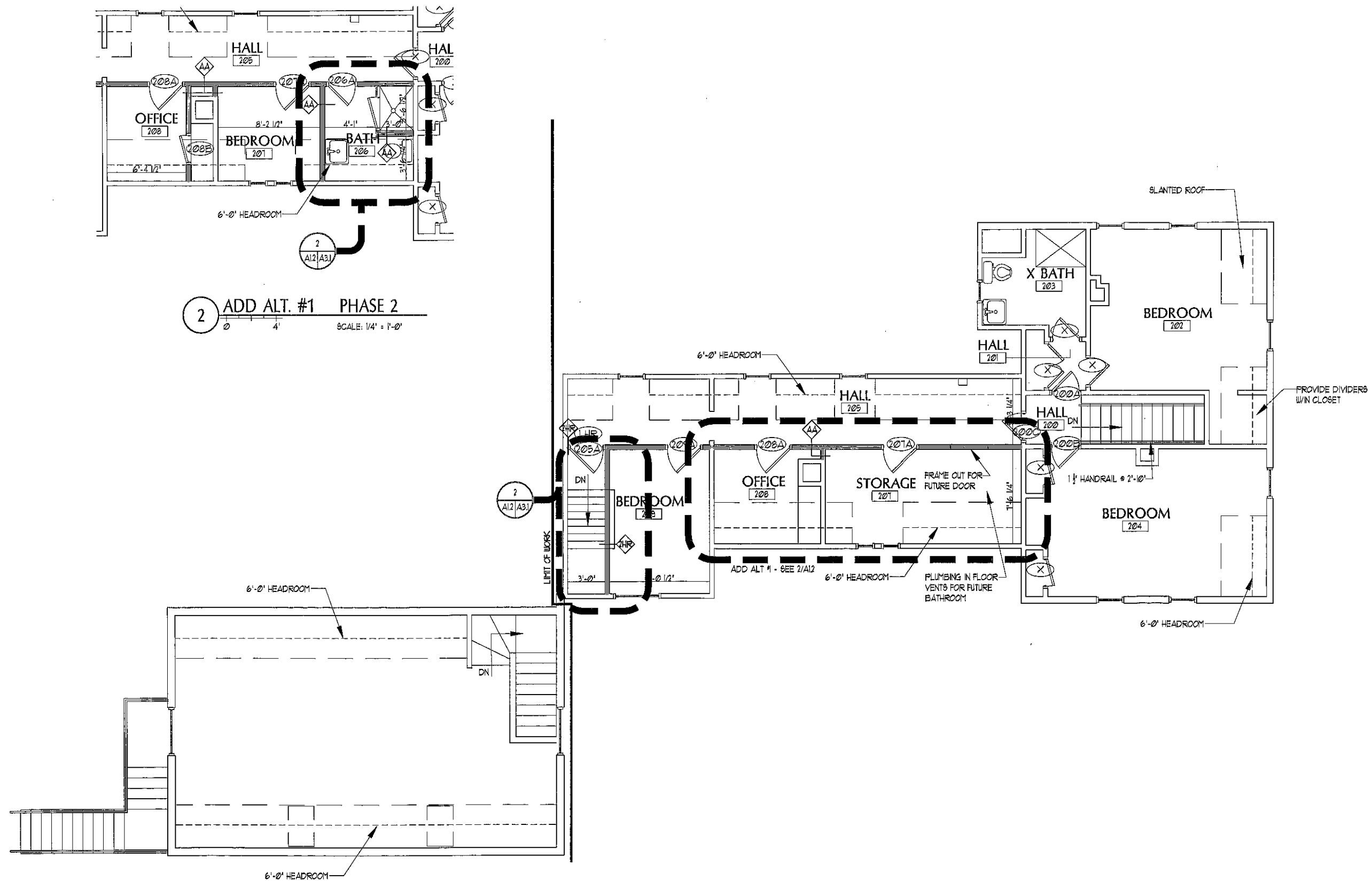
PROPOSED FLOOR PLANS

Project Number 21114

Date July 15th, 2021

Drawn by CR

Checked by: IAS



1 SECOND FLOOR PLAN

0 4'

SCALE: 1/4" = 1'-0"





ZONING BOARD SET

[illegible]

DAY ONE

Maine

BUILDING ELEVATIONS

Project Number	21114
Date	July 15th, 2021
Drawn by	CR



GENERAL NOTES:

1. PAINT EXTERIOR SIDING
2. PAINT EXTERIOR TRIM
3. PAINT EXTERIOR WINDOW TRIM, DOOR TRIM, & SILL
4. PAINT EXTERIOR DECK

1 FRONT ELEVATION

PORT CITY
ARCHITECTURE

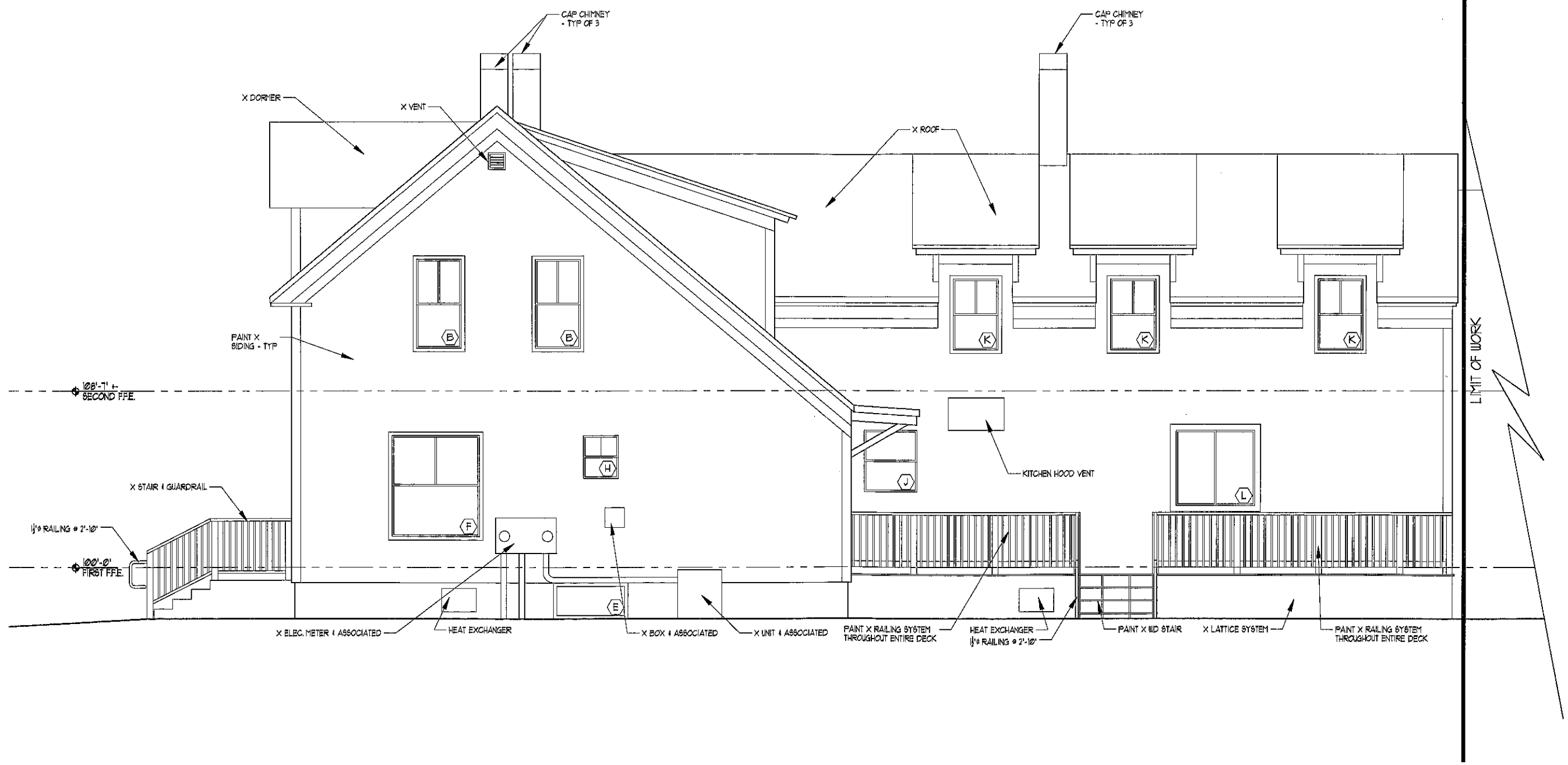
ZONING BOARD SET

[illegible]

DAY ONE

BUILDING ELEVATIONS

Project Number	21114
Date	July 15th, 2021
Drawn by	CR



1 SIDE ELEVATION